

NO: R053

COUNCIL DATE: March 31, 2025

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## REGULAR COUNCIL

TO: **Mayor & Council** DATE: **January 31, 2025**

FROM: **Trevor Welsh, Director, Building Division** FILE: **2024-059073**  
**Jon Milloy, Manager, Building Inspections**

SUBJECT: **Filing a Notice on Title, 9040 Skye Place, Surrey, BC**

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## RECOMMENDATION

The Building Inspector recommends that Council:

1. Receive this report for information; and
2. Direct the City Clerk to pay any prescribed fee and file in the Land Title Office, pursuant to Section 57 of the *Community Charter*, a notice on title to the property located at 9040 Skye Place, Surrey, BC, and legally described as:

PID: 006-394-973  
Lot 147 Section 32 Township 2 New Westminster District  
Plan 49315

(the "Property"),

which notice shall, in substance, indicate that:

- a. a resolution has been made under Section 57 of the *Community Charter*; and
- b. further information may be inspected at Surrey City Hall.

## INTENT

The purpose of this report is to provide information to Council regarding unpermitted construction on the Property and to recommend that Council direct the City Clerk to register a notice in the Land Title Office pursuant to Section 57 of the *Community Charter* on the basis that works were constructed on the Property without the required permits.

## BACKGROUND

### Section 57 of the *Community Charter*

Under Section 57 of the *Community Charter*, Council may make a resolution directing staff to file a notice in the Land Title Office relating to a property where the building inspector:

- a) observes that land, building, or other structure is in contravention of a municipal bylaw, Provincial building regulation, or any other enactment that relates to the construction or safety of buildings or other structures, and the building or other structure is unsafe [Section 57(1)(a)];
- b) discovers that something was done with respect to a building or other structure that required a permit under a municipal bylaw, Provincial building regulation or other enactment, and the permit was not obtained [Section 57(1)(b)(i)]; or
- c) discovers that something was done with respect to a building or other structure that required an inspection under a municipal bylaw, Provincial building regulation or other enactment, and the inspection was not satisfactorily completed [Section 57(1)(b)(ii)].

Section 57 requires that the registered owner(s) of the property be given written notice of the building inspector's recommendation to Council.

After the owner(s) and the building inspector have been given an opportunity to be heard by Council, Council may endorse or deny the recommendations of the building inspector.

A Section 57 notice alerts anyone searching a title to a property, such as prospective purchasers, that a property may contravene bylaws or regulations relating to building safety. The notice does not disclose details about any contraventions but indicates that further information may be obtained from City Hall.

A Section 57 notice may be cancelled under the following circumstances as set out in Section 58 of the *Community Charter*:

1. The building inspector may submit a report to the City Clerk advising that the condition that gave rise to the notice has been rectified. The City Clerk must then file a cancellation notice; or
2. The owner may ask Council to pass a resolution directing the City Clerk to cancel the notice. If the resolution is passed, then the City Clerk must file a cancellation notice in the Land Title Office. If Council does not pass a resolution cancelling the notice, then the owner may apply to the Supreme Court of British Columbia and the court may determine whether the notice should be cancelled.

## **Surrey Building By-law, 2012, No. 17850 (the “Building Bylaw”)**

The Building Bylaw regulates the construction, alteration, repair, or demolition of buildings and structures for the health, safety, and protection of persons and property, and to provide for the administration of the BC Building Code in the City.

Sections 8 and 21 of the Building Bylaw require that an owner must apply for and obtain a permit before performing construction work:

1. Section 8 of the Building Bylaw provides that no person shall commence or continue any construction unless the Building Official has issued a valid and enduring permit for the work.
3. Section 21(a) of the Building Bylaw further provides that every owner shall apply for and obtain a permit before carrying out any construction work.

The term “construction” under the Building Bylaw is defined as the process or activity by which any building or structure is erected, repaired, altered, renovated, added to, installed, demolished, removed or moved, or for which preparation is made by way of shoring or excavation.

### **The Property**

In or around August 2007, Gurpreet Singh Heer and Navneet Kaur Heer (the “Owners”) purchased the Property. They remain the registered owners of the Property.

On or about September 7, 2023, the City issued a building permit for the construction of a single-family dwelling at the Property. A revised permit was issued by the City on or about April 15, 2024. A final building approval for a single-family dwelling at the Property was issued by the City on September 4, 2024.

Unpermitted construction came to the City’s attention in October 2024. Since then, the City has made numerous attendances at the Property and have confirmed that the Owners have performed the following unpermitted work at the Property:

- Constructing a deck and attached staircase at the rear of the main floor (the “First Deck Addition”);
- Constructing a deck and attached staircase at the east side of the main floor (the “Second Deck Addition”);
- Constructing a deck on the rear of the upper floor (the “Third Deck Addition”);
- Constructing an attached laundry room to the basement floor (the “Laundry Room”);
- Installing nine exterior doors to the home; and
- Constructing eight additional dwelling units within the home.

(Collectively, the “Unpermitted Construction”)

A detailed chronology of the Property and the City's enforcement efforts is attached as Appendix "I".

The City has not issued a building permit for the Unpermitted Construction at any time.

The City has issued the Owners one bylaw contravention notice and five site visit fees, totaling \$1,526, all related to the Unpermitted Construction. The fine and fees have been paid in full.

## **DISCUSSION**

The Property meets the criteria under Section 57 of the *Community Charter* that permits Council to direct the City Clerk to file a notice in the Land Title Office. Section 57(1)(b) permits the filing of a notice in the Land Title Office if a building inspector "discovers that something was done with respect to a building or other structure, or the construction of a building or other structure, that required a permit...under a bylaw" and "the permit was not obtained...".

Sections 8 and 21(a) of the Building Bylaw require that owners apply for and obtain a building permit before carrying out construction work in the nature of the Unpermitted Construction.

At this time, there is no realistic path for the Owners to obtain a building permit to retain the Unpermitted Construction in accordance with the Building Bylaw. The Unpermitted Construction has essentially changed the use of the building from a single-family dwelling to a multi-family apartment building. As a result, the building does not comply with the British Columbia Building Code as the fire protection and life safety system requirements for multi-family buildings are more restrictive. Also, the construction has progressed to a point where many essential elements are now obscured, preventing the necessary inspections by the City to confirm safety and compliance with the Building Bylaw and British Columbia Building Code. In addition, the Property currently contravenes the Zoning Bylaw by containing more dwelling units than are permitted.

Section 57 of the *Community Charter* provides municipalities with an important tool for protecting the public by alerting the public and prospective purchasers about unpermitted construction. Prospective purchasers may not be aware that portions of the Property are unpermitted and lack the required inspections and approvals. The Building Inspector recommends that Council authorize the filing of a notice on title to the Property for the purposes of protecting the public. A notice on title to the Property will inform prospective purchasers about the Unpermitted Construction and allow them to make an informed decision regarding a potential purchase of the Property.

Council has authority under Section 57 of the *Community Charter* to accept or reject the Building Inspector's recommendation to file a notice on title to the Property with the Land Title Office.

## **Legal Services Review**

Legal Services has reviewed this report.

## CONCLUSION

This report seeks to obtain Council's approval to direct the City Clerk to file a notice in the Land Title Office stating that a resolution has been made under Section 57 of the *Community Charter* relating to the Property and that further information may be inspected at Surrey City Hall.

Trevor Welsh  
Director, Building Division

Jon Milloy  
Manager, Building Inspections

## Appendix "1": Chronology of Property and Unpermitted Construction

c.c. City Manager  
General Manager, Planning & Development  
City Clerk  
City Solicitor

## APPENDIX "I"

### CHRONOLOGY OF PROPERTY AND UNPERMITTED CONSTRUCTION

The following is a detailed summary of facts relating to the Unpermitted Construction at the Property.

Attached as Schedule "A" is a COSMOS image dated March 19, 2024, depicting the Property.

The Property was previously zoned through the Land Use Contract No. 104. The Property is currently zoned as a R3, Urban Residential Zone. Attached as Schedule "B" is a copy of the Zoning Map with the Property outlined in red.

On or around August 15, 2007, the Owners purchased the Property and are currently the registered owners of the Property. Attached as Schedule "C" is a copy of the State of Title Certificate for the Property.

On September 7, 2023, the City issued a building permit for the construction of a single-family dwelling at the Property (the "Building Permit"). Attached as Schedule "D" is a copy of the Building Permit issued by the City on September 7, 2023. Attached as Schedule "E" are the floor plans associated with the Building Permit.

On April 15, 2024, the City issued a revised building permit (the "Revised Building Permit"). Attached as Schedule "F" is a copy of the Revised Building Permit issued by the City on April 15, 2024. Attached as Schedule "G" are the floor plans associated with the Revised Building Permit (the "Approved Plans").

On September 4, 2024, the Property received final building approval from the City. Attached as Schedule "H" is a copy of the final building approval slip from the City dated September 4, 2024.

The Property consists of three storeys: a basement floor, a main floor, and an upper floor.

On October 20, 2024, Bylaw Enforcement Officer Ronald Graham ("Officer Graham") attended the Property and observed that the First Deck Addition, the Second Deck Addition, and additional door openings had been constructed at the rear of the Property. Officer Graham spoke with Mr. Heer and informed him that a building permit was required for the deck extensions and additional door openings. Officer Graham took photographs of his observations on October 20, 2024, which are attached as Schedule "I". The photographs have been numbered for ease of reference and depict the following:

- Photographs 1 and 2 depict the First Deck Addition and the Third Deck Addition being constructed; and
- Photograph 3 depicts the front of the home.

The Owners did not apply for or obtain a building permit from the City prior to building the Unpermitted Construction at the Property.

On October 22, 2024, Building Inspector, Kyle May (“Mr. May”) attended the Property and observed additional interior floor space, the First Deck Addition, the Third Deck Addition, and multiple exterior door entrances at the rear of the Property. Mr. May issued and posted a Stop Work Order on the Property as the construction was performed without a valid building permit issued by the City.

On October 23, 2024, Mr. May reattended the Property to take photographs of his observations from the previous day. Attached as Schedule “J” are the photographs Mr. May took on October 23, 2024. The photographs have been numbered for ease of reference and depict the following:

- Photographs 1 and 2 depict the Stop Work Order posted by Mr. May on October 22, 2024 along with the Site Visit Fee notices posted to the front of the Property;
- Photograph 3 depicts the First Deck Addition;
- Photograph 4 depicts the Third Deck Addition and an exterior door installed;
- Photograph 5 depicts the Laundry Room; and
- Photographs 6 7, 8, 9, 10 and 11 depict additional exterior doors installed on the basement floor.

Mr. May observed that a total of nine additional exterior doors were installed.

On the same day, the Building Division sent a Compliance Order to the Owners. A copy of the Compliance Order dated October 23, 2024 is attached as Schedule “K”.

On October 24, 2024, Bylaw Enforcement Officer, Erica Bates (“Officer Bates”), attended the Property to hand deliver a copy of the Compliance Order to the Owners. Mr. Heer was present at the Property and Officer Bates was able to hand deliver the Compliance Order to Mr. Heer.

On November 1, 2024, Mr. Heer emailed the Building Division regarding the Stop Work Order posted on the Property. On November 4, 2024, Staff responded to Mr. Heer’s email with links to information regarding Stop Work Orders and instructions on how to rectify the Unpermitted Construction. Attached as Schedule “L” is a copy of this email exchange dated November 1, 2024 and November 4, 2024, respectively.

On November 14, 2024, Bylaw Enforcement Officer Suneil Khakh (“Officer Khakh”) and Mr. May attended the Property for a scheduled inspection. Officer Khakh and Mr. May were unable to conduct an interior inspection on this day, but did conduct an exterior inspection. They observed multiple exterior doors installed on the north, east and west of the house. They also observed new

window openings that had been constructed, along with the First Deck Addition. Officer Khakh took photographs of his observations on November 14, 2024, which are attached as Schedule “M”.

On November 25, 2024, Fire Captain, Ben Wilson (“Fire Captain Wilson”), Bylaw Enforcement Officer Taj Sangha (“Officer Sangha”), Officer Bates and Building Inspections Manager, Jon Milloy (“Mr. Milloy”), attended the Property for an inspection. Staff observed that significant alterations had been made to the interior of the house to create multiple separate dwelling units. Staff observed that there was a total of eight dwelling units in addition to the main residence. During the inspection, Staff observed the following:

- The first dwelling unit was located on the basement floor of the northwest side of the house. This was an unfinished self-contained dwelling unit, with two bedrooms, a bathroom and a living/kitchen area with space for cooking facilities (“Dwelling Unit #1”).
- The second dwelling unit was located on the basement floor at the rear of the house, underneath the First Deck Addition. This was an unfinished self-contained dwelling unit, with two bedrooms, a bathroom and a living/kitchen area with space for cooking facilities (“Dwelling Unit #2”).
- The third dwelling unit was located on the basement floor at the rear of the house, also underneath the First Deck Addition. This was an unfinished self-contained dwelling unit, with two bedrooms, a bathroom and a living/kitchen area with space for cooking facilities (“Dwelling Unit #3”).
- The fourth dwelling unit was located on the basement floor at the rear of the house, underneath the Second Deck Addition. This was a self-contained dwelling unit with two bedrooms, a bathroom and a living/kitchen area that contained cooking facilities (“Dwelling Unit #4”). Dwelling Unit #4 was occupied by tenants.
- The fifth dwelling unit was located on the basement floor at the southeast side of the house. This was an unfinished self-contained dwelling unit with two bedrooms, a bathroom, and a living/kitchen area with space for cooking facilities (“Dwelling Unit #5”).
- The sixth dwelling unit was located on the basement floor at the front of the house on the south side. This was a self-contained, studio-style dwelling unit with a bathroom, a combined living/kitchen area with cooking facilities, and a door leading to a stairwell connecting to the main floor of the house (“Dwelling Unit #6”). Dwelling Unit #6 was tenanted.
- The seventh dwelling unit was also located on the basement floor at the front of the house on the south side, beside Dwelling Unit #6. This was a nearly completed self-contained dwelling unit with two bedrooms, a bathroom and a living/kitchen area with space for cooking facilities (“Dwelling Unit #7”).



- The eighth dwelling unit was located on the main floor, on the east side of the house at the rear. Internally, it was accessible through an unfinished doorway from the main residence kitchen. This was an unfinished self-contained dwelling unit with three bedrooms, a bathroom and a living/kitchen area with space for cooking facilities (“Dwelling Unit #8”). It also included an exterior door leading from the kitchen area to the Second Deck Addition, providing external access to Dwelling Unit #8.

Officer Bates took photographs of her observations on November 25, 2024, which are attached as Schedule “N”. The photographs have been numbered for ease of reference and depict the following:

1. Photograph 1 depicts the front of the house;
2. Photograph 2 depicts the northwest side of the house where the exterior door to Dwelling Unit #1 is located;
3. Photograph 3 depicts the unfinished living area in Dwelling Unit #1;
4. Photograph 4 depicts the two bedrooms in Dwelling Unit #1;
5. Photograph 5 depicts the bathroom in Dwelling Unit #1;
6. Photographs 6 and 7 depict the unfinished kitchen area with space for cooking facilities;
7. Photograph 8 depicts the rear of the house with an exterior door that leads to Dwelling Unit #2;
8. Photograph 9 depicts the unfinished living and kitchen area with space for cooking facilities in Dwelling Unit #2.
9. Photograph 10 depicts the first bedroom in Dwelling Unit #2;
10. Photograph 11 depicts the second bedroom in Dwelling Unit #2;
11. Photograph 12 depicts a bathroom in Dwelling Unit #2;
12. Photographs 13 and 14 depict the rear of the house and the First Deck Addition, where Dwelling Unit #3 is located.
13. Photographs 15 and 16 depict the unfinished living and kitchen area with space for cooking facilities in Dwelling Unit #3;
14. Photograph 17 depicts the first bedroom in Dwelling Unit #3;

15. Photograph 18 depicts the second bedroom in Dwelling Unit #3;
16. Photograph 19 depicts the bathroom in Dwelling Unit #3;
17. Photograph 20 depicts a view of the Second Deck Addition, with Dwelling Unit #4 located beneath it;
18. Photograph 21 depicts the exterior door to Dwelling Unit #4;
19. Photograph 22 depicts the kitchen area with cooking facilities in Dwelling Unit #4;
20. Photograph 23 depicts the living area in Dwelling Unit #4;
21. Photograph 24 depicts the first bedroom in Dwelling Unit #4;
22. Photograph 25 depicts the second bedroom in Dwelling Unit #4;
23. Photograph 26 depicts the exterior entrance to Dwelling Unit #5;
24. Photograph 27 depicts the unfinished living and kitchen area with space for cooking facilities in Dwelling Unit #5;
25. Photograph 28 depicts the first bedroom in Dwelling Unit #5;
26. Photograph 29 depicts the second bedroom in Dwelling Unit #5;
27. Photograph 30 depicts the bathroom in Dwelling Unit #5;
28. Photograph 31 depicts the south side of the house with two exterior doors;
29. Photograph 32 depicts the exterior door to Dwelling Unit #6;
30. Photograph 33 depicts the kitchen area with cooking facilities in Dwelling Unit #6;
31. Photograph 34 depicts the living area with a bed in Dwelling Unit #6;
32. Photograph 35 depicts the bathroom in Dwelling Unit #6;
33. Photograph 36 depicts an interior door in Dwelling Unit #6 that leads to a stairwell to the main floor of the house;

34. Photograph 37 depicts a closed exterior door, which provides access to Dwelling Unit #7;
35. Photograph 38 depicts the living and kitchen area with space for cooking facilities and a fridge in Dwelling Unit #7;
36. Photograph 39 depicts the first bedroom in Dwelling Unit #7;
37. Photograph 40 depicts the second bedroom in Dwelling Unit #7;
38. Photograph 41 depicts the bathroom in Dwelling Unit #7;
39. Photograph 42 depicts the unfinished doorway in the main residence kitchen that leads to a bedroom in Dwelling Unit #8;
40. Photograph 43 depicts the first bedroom in Dwelling Unit #8;
41. Photographs 44 and 45 depict the living and kitchen area with space for cooking facilities in Dwelling unit #8;
42. Photograph 46 depicts the second bedroom ;
43. Photograph 47 depicts the third bedroom;
44. Photograph 48 depicts the bathroom in Dwelling Unit #8;
45. Photograph 49 depicts the living/kitchen area with an exterior door to the Second Deck Addition in Dwelling Unit #8;
46. Photographs 50 and 51 depict the Second Deck Addition that provides external access to Dwelling Unit #8;
47. Photograph 52 depicts the exterior of the Laundry Room; and
48. Photograph 53 depicts the interior of the Laundry Room.

Attached as Schedule "O" is an excerpt of the Approved Plans, which staff have marked in colour to highlight some of the Unpermitted Construction at the Property. In particular, it depicts the eight additional dwelling units that were constructed within the home.

On December 26, 2024, Officer Bates attended the Property and delivered a letter dated December 20, 2024, from the Legal Services Division to the Owners (the "Letter"). The Letter warns the Owners that staff will be scheduling a hearing at a future Council Meeting, at which staff will recommend that Council make a resolution to file a notice in the land title office regarding the Unpermitted Construction, pursuant to Section 57 of the *Community Charter*. The Owners were provided with a deadline of January 10, 2025 to take steps to address this matter. Attached as Schedule "P" is a copy of the Letter.

On or around January 9, 2025, Mr. Heer submitted a building permit application for demolition (the "Demolition Permit Application"). Attached as Schedule "Q" is a copy of the Demolition Permit Application.

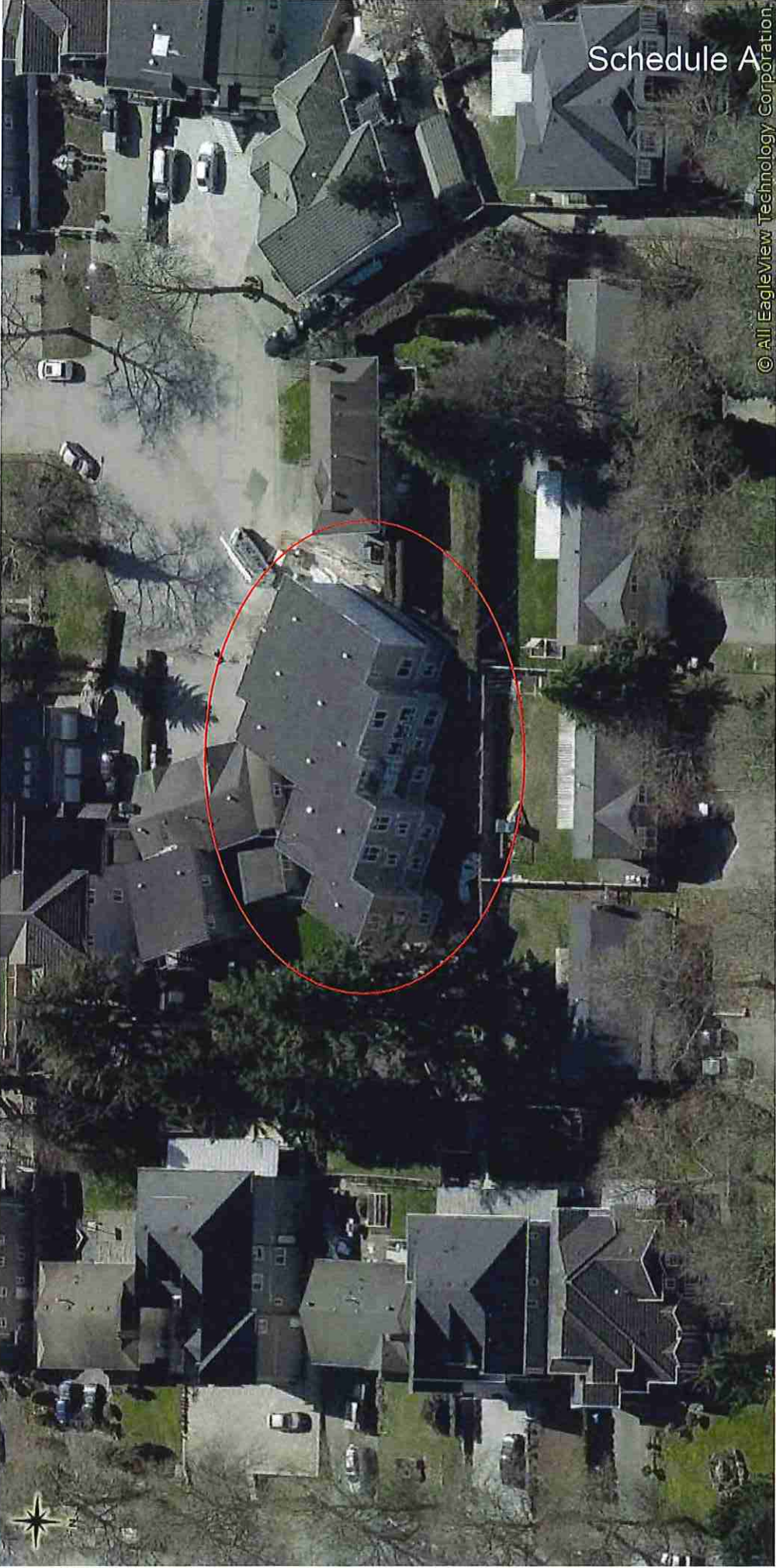
On or around January 13, 2025, and January 17, 2025, the Residential Buildings Permit Approvals Manager, Jessica Wonfor ("Ms. Wonfor"), notified Mr. Heer via email that the eight unpermitted dwelling units that were constructed within the home must also be removed. Ms. Wonfor provided instructions to Mr. Heer to resubmit a building permit application to address this issue. Attached as Schedule "R" are copies of Ms. Wonfor's emails dated January 13, 2025 and January 17, 2025.

On January 19, 2025, Mr. Heer responded to Ms. Wonfor's email, stating that he intended to submit new plans and requested an extension until March 15, 2025, to submit the aforementioned plans. Attached as Schedule "S" is a copy of this email dated January 19, 2025.

On January 22, 2025, Ms. Wonfor responded to Mr. Heer's email and granted an extension until January 29, 2025, to resubmit the building permit application along with any accompanying plans. Attached as Schedule "T" is a copy of Ms. Wonfor's email to Mr. Heer dated January 22, 2025.

The City has issued the Owners one bylaw contravention notice and five site visit fees, totaling \$1,526, all related to the Unpermitted Construction. These fines and fees have been paid in full.

At this time, there is no realistic path for the Owners to obtain a building permit to retain the Unpermitted Construction in accordance with the Building Bylaw. The Unpermitted Construction has essentially changed the use of the building from a single-family dwelling to a multi-family apartment building. As a result, the building does not comply with the British Columbia Building Code as the fire protection and life safety system requirements for multi-family buildings are more restrictive. Also, the construction has progressed to a point where many essential elements are now obscured, preventing the necessary inspections by the City to confirm safety and compliance with the Building Bylaw and British Columbia Building Code. In addition, the Property currently contravenes the Zoning Bylaw by containing more dwelling units than are permitted.



Schedule A

© All EagleView Technology Corporation.



**Map Page B 031**

**SCALE: 1:2,500**

**9040 SKYE PL ZONING**

**BY-LAW & LICENSING SERVICES**



- Legend**
- Subject Property
  - LUC Boundary
  - Zoning Boundary
  - Parks
  - Parcels
  - Creek
  - River

LAND TITLE OFFICE  
**STATE OF TITLE CERTIFICATE**

Certificate Number: STSR4136011

File Reference: Heer 9040 Skye

CITY OF SURREY  
 13450 - 104 AVENUE  
 SURREY BC V3T 1V8

A copy of this State of Title Certificate held by the land title office can be viewed for a period of one year at <https://apps.ltsa.ca/cert> (access code 549622).

I certify this to be an accurate reproduction of title number **BB536339** at 09:24 this 7th day of January, 2025.

  
 \_\_\_\_\_  
 REGISTRAR OF LAND TITLES



<b>Land Title District</b> Land Title Office	NEW WESTMINSTER NEW WESTMINSTER
<b>Title Number</b> From Title Number	BB536339 BX563105
<b>Application Received</b>	2007-08-15
<b>Application Entered</b>	2007-08-20
<b>Registered Owner in Fee Simple</b> Registered Owner/Mailing Address:	GURPREET SINGH HEER, ELECTRICIAN NAVNEET KAUR HEER, CASHIER 9040 SKYE PLACE SURREY, BC V3V 6T6 AS JOINT TENANTS
<b>Taxation Authority</b>	Surrey, City of

LAND TITLE OFFICE  
**STATE OF TITLE CERTIFICATE**

Certificate Number: STSR4136011

**Description of Land**

Parcel Identifier: 006-394-973  
Legal Description:  
LOT 147 SECTION 32 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 49315

**Legal Notations** NONE

**Charges, Liens and Interests**

Nature: MORTGAGE  
Registration Number: CB947626  
Registration Date and Time: 2023-10-12 11:28  
Registered Owner: ROYAL BANK OF CANADA

**Duplicate Indefeasible Title** NONE OUTSTANDING

**Transfers** NONE

**Pending Applications** NONE

*This certificate is to be read subject to the provisions of section 23(2) of the Land Title Act(R.S.B.C. 1996 Chapter 250) and may be affected by sections 50 and 55-58 of the Land Act (R.S.B.C. 1996 Chapter 245).*



**9040 - Skye PI (13310)**  
**SINGLE FAMILY DWELLING**  
**ENERGY STEP 3**

**B-22-019137-0-0**  
**AREA: NORTH**

## CITY OF SURREY

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### BUILDING PERMIT

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PROJECT ADDRESS: 9040 - Skye PI SINGLE FAMILY DWELLING  
ENERGY STEP 3  
LEGAL DESCRIPTION: LT 147 SE SEC 32 T2 PL 49315  
ZONE: LUC 104 (R-3 2265)  
PERMIT TYPE: Residential C-S BUILDING TYPE: Single Family WORK PROPOSED: New  
DECLARED VALUE OF CONSTRUCTION: \$700,000

**WORK DESCRIPTION:**

SINGLE FAMILY DWELLING Three storey on SLAB. Double Garage  
Code Compliance as per BCBC 2018  
BC Energy Step Code: Step 3  
Secondary Suite not permitted  
Do not remove any trees protected by the Surrey Tree Preservation By-law without permits.  
First Floor Slab: 64.67m Heating: RADIANT  
**MAXIMUM SITE COVERAGE ACHIEVED**  
P. Eng. Geotechnical & Structural as per GS DHESI  
Inspections required.  
RWL TO SPLASH PADS

**APPLICANT:**

Gurpreet S Heer 9040 Skye Place Surrey V3V 6T6

**BUILDER / GENERAL CONTRACTOR:**

JOTS 0507 ENTERPRISES LTD. 10846 141 St Surrey

**OWNER:**

Gurpreet S Heer 9040 Skye Place Surrey V3V 6T6

Navneet Heer 10251 143 St Surrey V3T 4T4

MAJOR ROAD:	No	LEGAL ACCESS FROM LANE:	No
SANITARY MAIN:	Yes	LEGAL ENCUMBRANCES:	Yes
SAN. CONNECTION:	to be applied for	WATER MAIN:	Yes
STORM SEWER:	Yes	WATER CONNECTION:	to be applied for and metered
STORM CONNECTION:	to be applied for		
DRIVEWAY WIDTH:	6	ELECTRICAL:	Underground

**COMMENTS:**

ENG - Driveway access is not to exceed 6 metres and must clear street lights, power poles, hydrants, hydro kiosks and any other utility structure by a minimum of 1 metre and must have a minimum 1.5 metre clearance from side property lines.

ENG - Any changes to the existing driveway access or construction of a new driveway access requires prior approval and a City Road and ROW permit from the Engineering Department. City Road and ROW permit for any driveway changes must be issued and completed prior to final occupancy.

ENG - Sanitary, storm and water connections must be applied for in Eng. Dept. prior to issuance of BP

ENG - Builder must implement Best Management Practises in accordance with Schedule "B" of the Erosion and Sediment Control By-law

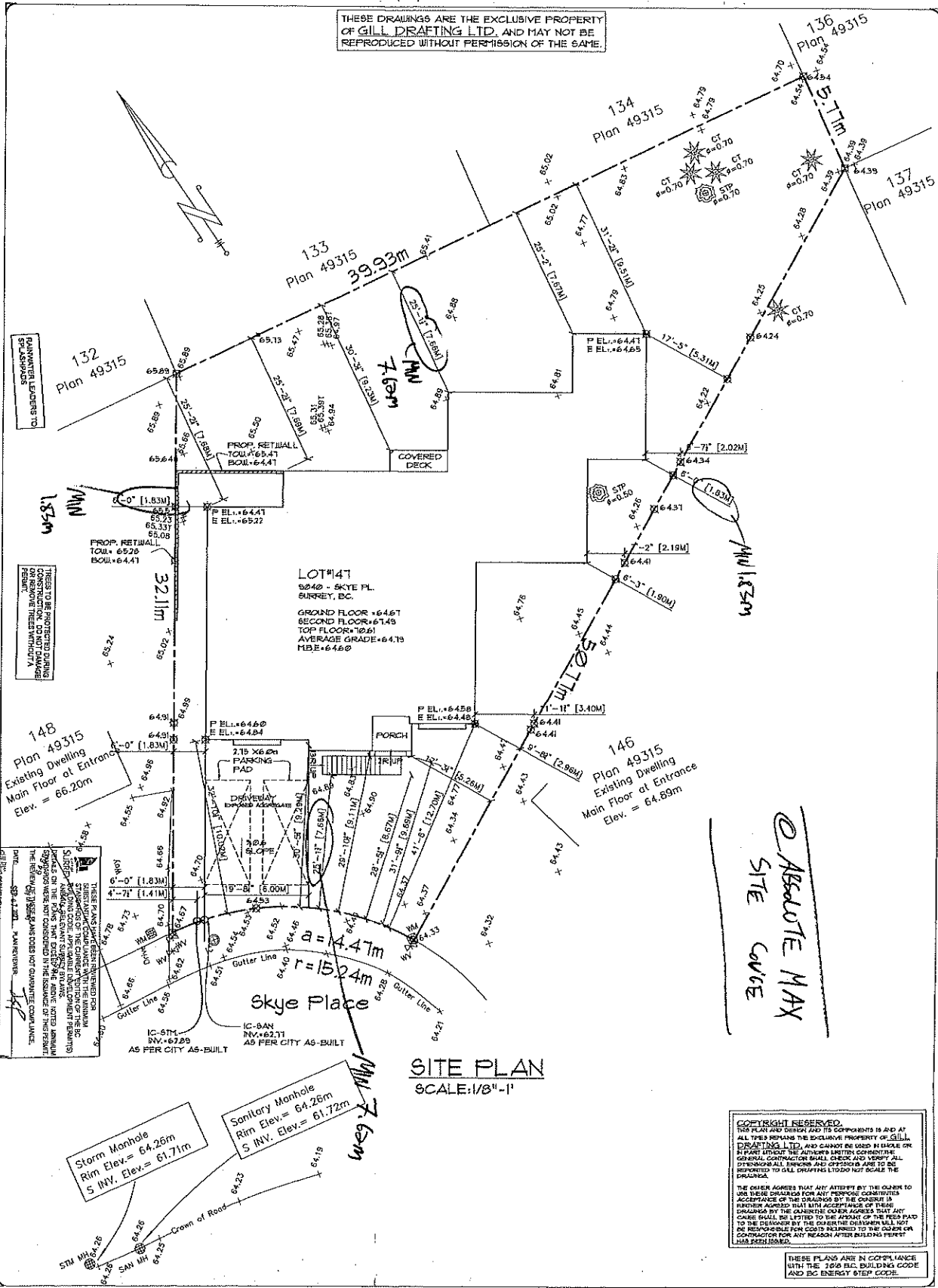
ENG - Builder is responsible for all boulevard repairs not reported and confirmed by Eng. Dept as pre-existing damage.

Builder to ensure that any fence construction does not conflict with service connections at the property line. The City must have full access to the storm and sanitary inspection chambers, water shut off and water meter. If the water meter conflicts with the fence location, applicant must relocate meter pit and setter 300mm from the proposed fence and provide a dummy, accessible without entering private property.

ENG - A FINAL BOULEVARD INSPECTION MUST BE COMPLETED BY THE ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF OCCUPANCY.

ISSUED BY: IP4  
DATE OF ISSUANCE: THURSDAY SEPTEMBER 07, 2023

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF GILL DRAFTING LTD. AND MAY NOT BE REPRODUCED WITHOUT PERMISSION OF THE SAME.



LOT#47  
9040 - SKYE FL.  
SURREY, BC.  
GROUND FLOOR +64.67  
SECOND FLOOR +64.19  
TOP FLOOR +60.61  
AVERAGE GRADE +64.19  
HB 5-64.65

**SITE PLAN**  
SCALE: 1/8" = 1'

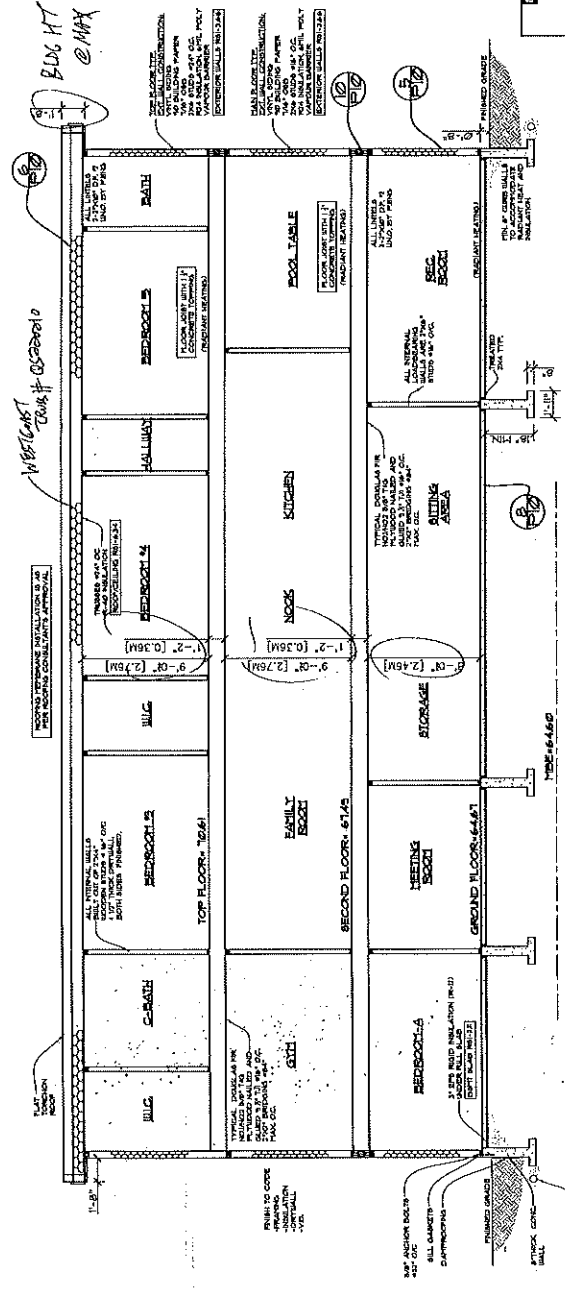
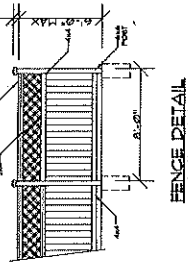
*ABSOLUTE MAX  
SITE COVER*

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THIS PLAN AND DESIGN AND ITS COMPONENTS IS AND ALL THAT REMAINS THE EXCLUSIVE PROPERTY OF GILL DRAFTING LTD. AND CANNOT BE USED IN WHOLE OR IN PART WITHOUT THE AUTHOR'S WRITTEN CONSENT. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, FINISHES AND OFFSETS ARE TO BE REFERRED TO GILL DRAFTING LTD. DO NOT SCALE THE DRAWING.  
THE OWNER AGREES THAT ANY ATTEMPT BY THE OWNER TO USE THESE DRAWINGS FOR ANY PURPOSES WITHOUT THE ACCEPTANCE OF THE DESIGNER BY THE OWNER IS STRICTLY PROHIBITED. THE OWNER AGREES THAT ANY CHANGES SHALL BE LETTED TO THE AMOUNT OF THE FEE PAID TO THE DESIGNER BY THE OWNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR FOR ANY REASON AFTER BUILDING PERMIT HAS BEEN OBTAINED.  
THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

<p>DWG: KA89A</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 04 MAY 2022</p> <p>CHKD: JPS</p> <p>FIGURE: T16-992-2511</p>	<p>PROJECT NAME:</p> <p>PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT#47 @ 9040 - SKYE FL. SURREY, BC</p>	<p>DESIGNER ADDRESS:</p> <p>GILL DRAFTING LTD. SURREY DESIGN CENTRE 1457 FLYING WING AVE. SURREY, BC V3J 1E0 TEL: (604) 595-8866 FAX: (604) 595-4331 WEBSITE: SAULGILLDRAFTING.COM</p>	<p><b>Gill Drafting</b></p>	<p>REVISIONS</p> <p>APR 2023 JPS</p>	<p>BY</p> <p>JPS</p>	<p>DRAWING NO.</p> <p>GD22-4212</p> <p>SHEET NO.</p> <p>1 OF 11</p>
--	--	--	-----------------------------	--------------------------------------	----------------------	---

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**NOTES:**  
 1. CONTRACTOR TO CHECK ALL VENTILATION AND EXHAUST SYSTEMS TO BE INSTALLED TO BE OPERATIONAL PRIOR TO COMMENCEMENT OF WORK.  
 2. ALL WORK SHALL BE TO THE SATISFACTION OF THE ARCHITECT AND IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES AND REGULATIONS.  
 3. ALL WORK SHALL BE TO THE SATISFACTION OF THE ARCHITECT AND IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES AND REGULATIONS.  
 4. ALL WORK SHALL BE TO THE SATISFACTION OF THE ARCHITECT AND IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES AND REGULATIONS.  
 5. ALL WORK SHALL BE TO THE SATISFACTION OF THE ARCHITECT AND IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES AND REGULATIONS.



**SECTION A**  
SCALE: 1/4" = 1'-0"

**BUILDING CHARACTERISTICS SUMMARY**

Roof Cladding	Asph/Flt Shingles
Above Grade Walls	2x4 CMU with 1/2" Gypsum Board
Below Grade Walls	8" CMU with 2" EPS Insulation
Floors	1 1/2" Gypsum Board on 2x10 Joists
Roof Deck	2x10 Joists with 1/2" Gypsum Board
Windows and Glass Doors	Double Glazed Windows, Low-E Argon Gas
Doors	60 Series Fiberglass Doors
Attic/Basement System & Insulation	2x10 Joists with 1/2" Gypsum Board
Space Heating/Cooling	Gas Furnace with Radiators
Domestic Hot Water	Gas Water Heater
Ventilation	Mechanical Exhaust Fans
Other	Smoke Detectors
Fire/Flood	Fire Alarm System

**F.A.R.:**  
 TOTAL LOT AREA: 10000 SQFT.  
 ALLOWABLE F.A.R.: 1.5  
 ACTUAL F.A.R.: 0.784 SQFT

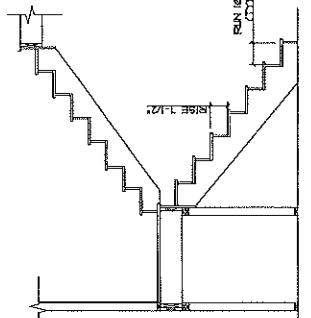
**SITE COVERAGE:**  
 TOTAL LOT AREA: 10000 SQFT.  
 ALLOWABLE SITE COVERAGE: 4335 SQFT  
 ACTUAL SITE COVERAGE: 3656 SQFT

**DECK AREA:**  
 MAIN FLOOR DECK AREA: 144 SQFT  
 TOP FLOOR DECK AREA: 1000 SQFT  
 TOTAL DECK AREA: 1144 SQFT

**ZONING: LUG**

**RECEIVED**  
 APR 14 2023

**Gill Drafting Ltd.**  
 10000 150th Street, Surrey, BC V4N 1W5  
 TEL: (604) 595-4888  
 WEBSITE: GILLDRAFTING.COM

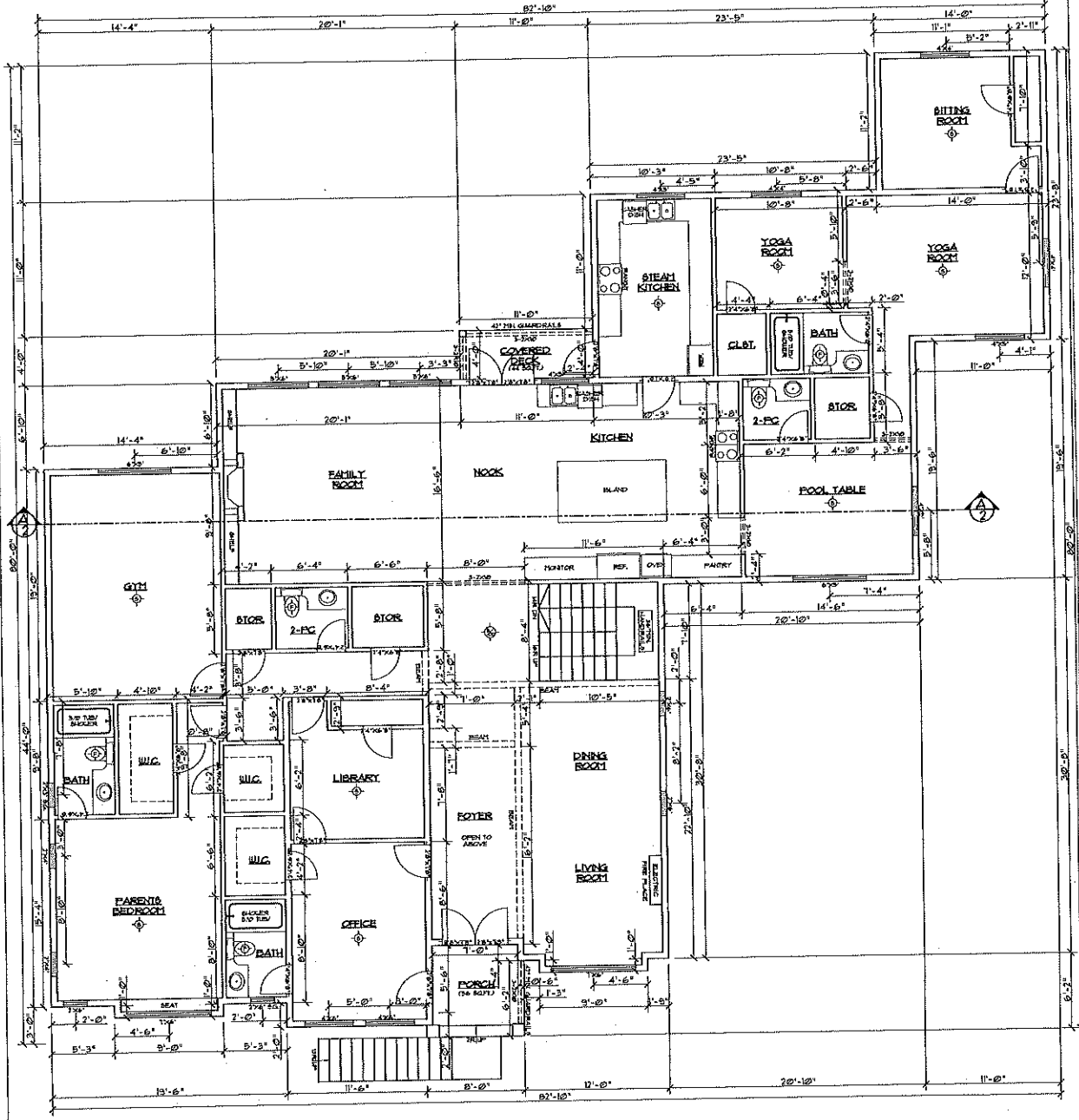


**REVISION**  
 APR 2023 JPS  
 PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER  
 LOT # 1 & 2 @ 9040 - 5KYE FL. SURREY, B.C.





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**MAIN FLOOR**  
SCALE: 1/4"=1'-0"

MAIN FLOOR AREA = 2349 SQFT.

- LEGEND**
- ⊕ SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
  - ⊕ SMOKE ALARM
  - ⊕ FLOOR DRAIN
  - ⊕ FAN

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THESE PLANS AND DRAWINGS REPRESENTED FOR SUBMITTAL TO THE BUILDING DEPARTMENT OF THE MUNICIPALITY OF SURREY, BRITISH COLUMBIA, CANADA. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE MUNICIPALITY OF SURREY, BRITISH COLUMBIA, CANADA. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE MUNICIPALITY OF SURREY, BRITISH COLUMBIA, CANADA.  
DATE: SEP 27 2023  
DRAWN BY: JPS  
CHECKED BY: JPS

THESE PLANS ARE IN COMPLIANCE WITH THE 2024 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

OWN: KASRA  
SCALE: 1/4"=1'-0"  
DATE: 04 MAY 2022  
DRAWN: JPS  
PHONE: 110-999-2511

PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER 107441 & 9040 - SKYE PL. SURREY, BC  
RESERVED  
JUL 2 2023

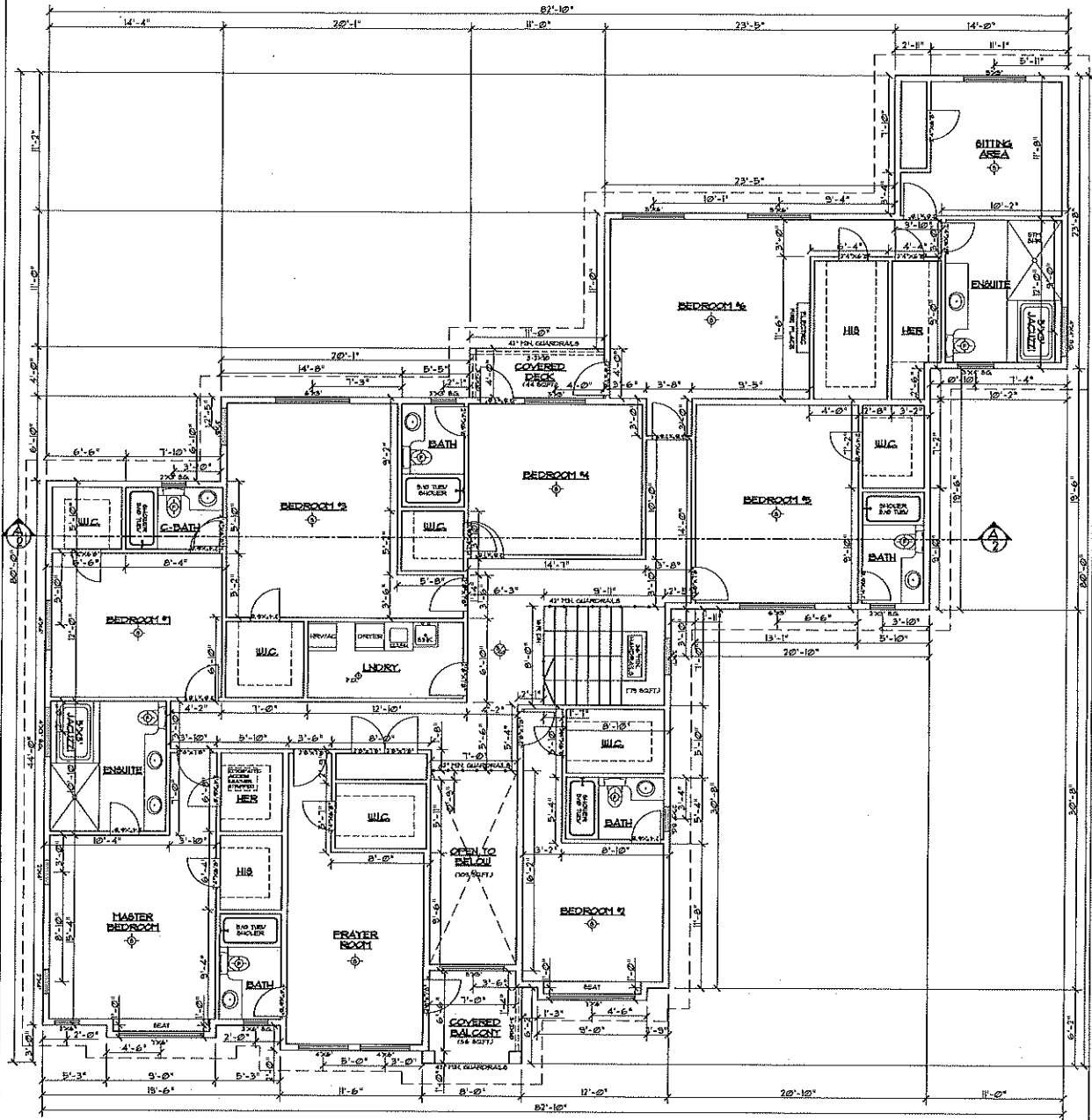
DESIGNER ADDRESS: GILL DRAFTING LTD. 3000 152ND STREET SURREY, BC V0V 1E6 TEL: (604) 852-8886 FAX: (604) 852-8881 WEBSITE: GILLDRAFTING.COM



REVISIONS	BY
APR 2023	JPS

DRAWING NO. GD22-4212  
SHEET NO. 5 OF 11

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**TOP FLOOR**  
SCALE 1/4"=1'

TOP FLOOR AREA = 3491 SQFT.  
OPEN AREA = 18919 + 188 SQFT.  
NET TOP FL. AREA = 3303 SQFT.

- LEGEND**
- SMOKE ALARM
  - CARBON MONOXIDE (CO) ALARM
  - SMOKE ALARM
  - FLOOR DRAIN
  - FAN

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THE OWNER AGREES THAT ANY ATTEST BY THE OWNER TO USE THESE DRAWINGS FOR ANY PURPOSE CONSTITUTE ACCEPTANCE OF THE DRAWINGS BY THE OWNER. IN FURTHER AGREED THAT WITH ACCEPTANCE OF THESE DRAWINGS BY THE OWNER THE OWNER AGREES THAT ANY CLAIM SHALL BE LIMITED TO THE AMOUNT OF THE FEE PAID TO THE DESIGNER BY THE OWNER. THE OWNER AGREES TO BE RESPONSIBLE FOR COSTS REFERRED TO THE OWNER OR CONTRACTOR FOR ANY REASON AFTER BUILDING PERMIT HAS BEEN OBTAINED.

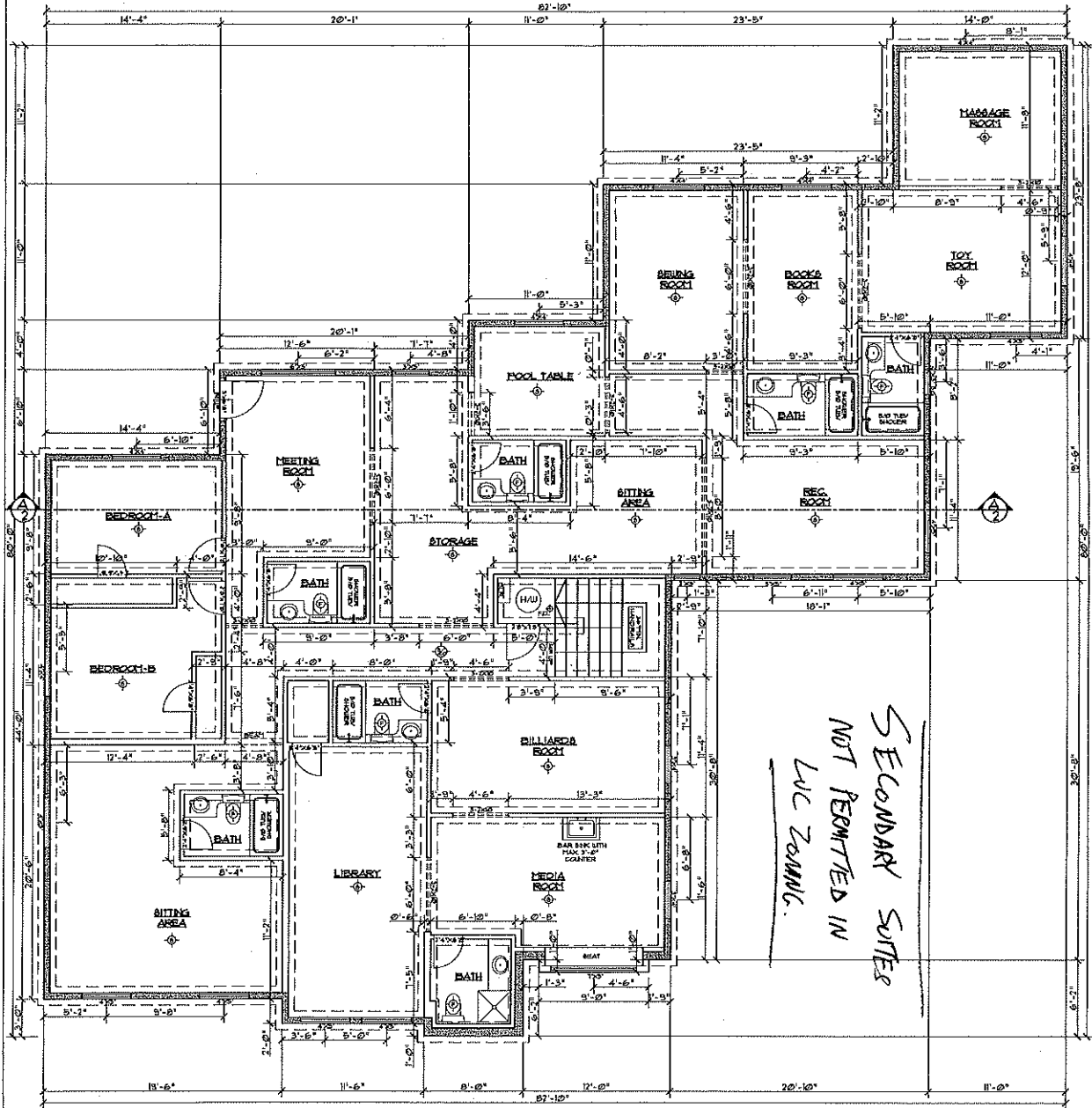
DATE: 02-14-2023  
DRAWN BY: JPS  
CHECKED BY: JPS  
DESIGNED BY: JPS

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE BC BUILDING CODE, PARTIAL DEVELOPMENT PERMITTING STANDARDS AND THE BC BUILDING CODE. THE REVIEW OF THESE PLANS DOES NOT GUARANTEE COMPLIANCE.

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 BC BUILDING CODE AND BC ENERGY STEP CODE.

DWN: KASRA SCALE: 1/4"=1'-0" DATE: 04 MAY 2022 DWR: JPS PHONE: 718-555-2571	PROJECT NAME: <b>PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT#141 @ 9240 - SKYE FL. SURREY, BC</b>	DESIGNER ADDRESS: GILL DRAFTING LTD. BURNETT DESIGN CENTRE UNIT 21, 6671-14 AVE. BURNETT, BC V3J 2G6 TEL: (604) 595-8800 FAX: (604) 595-8821 WEBSITE: WWW.GILLDRAFTING.COM		REVISIONS: APR 2023 JPS	BY: JPS	DRAWING NO. <b>GD22-4712</b> SHEET NO. <b>6 OF 11</b>
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**BASEMENT & FDN FLOOR**  
SCALE: 1/4"=1'-0"

BASEMENT FLOOR AREA = 9991 SQFT.

**LEGEND**

- ◆ SMOKE ALARM / CARBON MONOXIDE (CO) ALARM
- ◆ SMOKE ALARM
- ◆ FDN FLOOR DRAIN
- ◆ FAN

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THE OWNER AGREES THAT ANY ATTEMPT BY THE OWNER TO USE THESE DRAWINGS FOR ANY PURPOSE CONSTITUTE ACCEPTANCE OF THE DRAWINGS BY THE OWNER IS HEREBY HEREBY ADVISED THAT WITH ACCEPTANCE OF THESE DRAWINGS BY THE OWNER THE OWNER AGREES THAT ANY CLAIM SHALL BE LITIGATED TO THE ADVANT OF THE DESIGNER BY THE COURTESY DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR FOR ANY REASON AFTER BUILDING PERMIT HAS BEEN ISSUED.

THESE PLANS HAVE BEEN PREPARED FOR ASSISTING COMPLIANCE WITH THE NATIONAL BUILDING CODE, AS AMENDED BY THE BRITISH COLUMBIA BUILDING CODE, AND UNDER ENVIRONMENTAL PROTECTION ACT AND ALL RELEVANT SUPPLY STANDARDS. ANY DISCREPANCY BETWEEN THESE PLANS AND ANY REGULATIONS, CODES OR ORDINANCES SHALL BE THE RESPONSIBILITY OF THE CLIENT. THE DESIGNER HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE DESIGNER HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

On Behalf of Gill Drafting Ltd.  
DATE: 2023.04.24  
DRAWN BY: JPS  
CHECKED BY: JPS

THESE PLANS ARE IN COMPLIANCE WITH THE 2020 B.C. BUILDING CODE AND BC ENERGY STEP CODE.

OWN:	KASRA
SCALE:	1/4"=1'-0"
DATE:	04 MAY 2022
CHKD:	JPS
PHONE:	718-998-2511

PROJECT NAME  
**PROPOSED RESIDENCE FOR GURPREET SINGH HEER**  
07141 • 5040 - SKYE PL.  
SURREY, BC

DESIGNER ADDRESS:  
GILL DRAFTING LTD.  
SUITE F DESIGN CENTRE  
2421 ST. JAMES ST. W. AVE.  
SURREY, B.C. V0Z 5E6  
TEL: (604) 595-8888  
FAX: (604) 595-8223  
EMAIL: INFO@GILLDRAFTING.COM



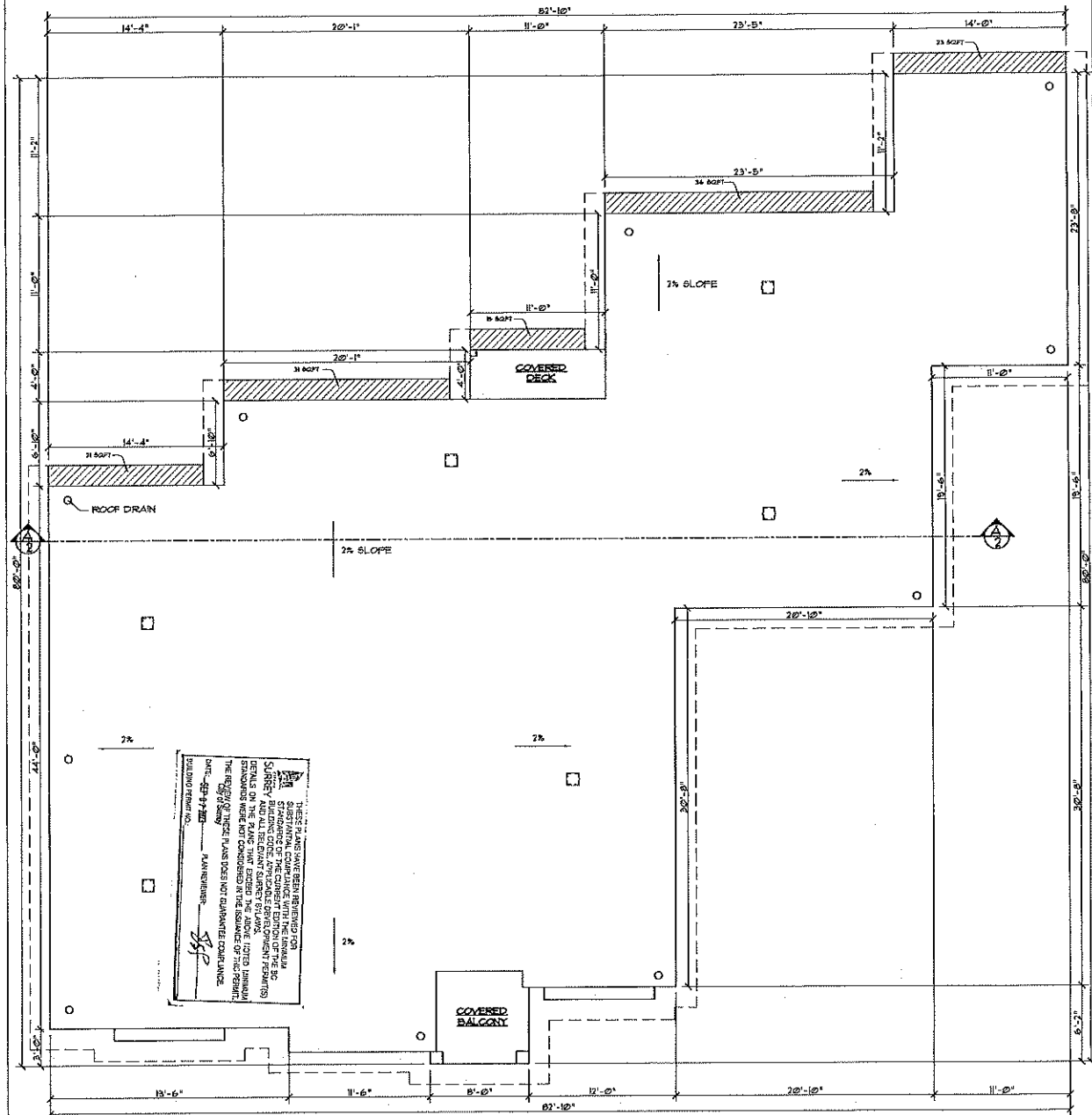
REVISIONS	BY
APR 2023	JPS

DRAWING NO.	GD22-4212
SHEET NO.	1 OF 11



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TOTAL VENTED SOFFIT AREA = 126 SQFT.



THESE PLANS HAVE BEEN PREPARED FOR THE STANDARD OF THE CONSULTING ENGINEER OR SURVEYOR AND ALL THE OTHERS (CONTRACTORS, ARCHITECTS, ENGINEERS, ETC.) SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION ALL PROVIDED AND CHECKED AND YES I AM RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. THE ENGINEER OR SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THESE PLANS DOES NOT GUARANTEE THE ACCURACY OF THESE PLANS.

**ROOF PLAN**  
SCALE 1/4"=1'-0"

CEILING AREA AT TOP FLOOR = 3419 SQFT.

**ROOF VENTILATION CALCULATIONS:**

ATTIC AREA = 3419 SQFT. X 1/300 = 1139 SQFT.  
 REQUIRED VENTILATION  
 50% SOFFIT AREA = 1153 X 0.50 = 576.5 SQFT.  
 50% ROOF AREA = 1153 X 0.50 = 576.5 SQFT.  
 AREA OF ONE VENT = 10 SQFT.  
 TOTAL NUMBER OF VENTS REQUIRED ON TOP = 57.65/10 = 6

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THESE PLANS ARE IN COMPLIANCE WITH THE 2024 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

DWG: KA5RA SCALE: 1/4"=1'-0" DATE: 04 MAY 2022 CHKD: JPS PHONE: 718-999-2977	PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT#141 @ 9040 - SKYE PL. SURREY, BC	DESIGNER ADDRESS: GILL DRAFTING LTD BESSET DESIGN CENTRE UNIT 01, 1871-16 AVE. SURREY, BC V3R 4E4 TEL: (604) 535-8286 FAX: (604) 599-8281 WEBSITE: WWW.GILLDRAFTING.COM		REVISIONS BY: APR 2023 JPS RECEIVED JUL 06 2023 [Signature]	DRAWING NO. GD22-4272 SHEET NO. 8 OF 11
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CLIMATE ZONE 4 (HARDPLANK)

AS PER SECTION B.56.2.1.0  
NOTES RELATING TO LEAKAGE PATHS  
IN PROBLEMATIC AIR BARRIERS

- FLOORING GRADE
- FOUNDATION TO HILL PLANT AND AIR JOINTS
- INSULATION ABOVE AND BELOW SLAB WITH CONTINUOUS AIR BARRIER
- INSULATION ABOVE AND BELOW SLAB WITH CONTINUOUS AIR BARRIER
- INSULATION ABOVE AND BELOW SLAB WITH CONTINUOUS AIR BARRIER
- INSULATION ABOVE AND BELOW SLAB WITH CONTINUOUS AIR BARRIER
- INSULATION ABOVE AND BELOW SLAB WITH CONTINUOUS AIR BARRIER

SPECIFIC REQUIREMENTS
- CLIMATE ZONE 4
- CLIMATE ZONE 4
- CLIMATE ZONE 4
- CLIMATE ZONE 4
- CLIMATE ZONE 4

GENERAL INFORMATION
- CLIMATE ZONE 4
- CLIMATE ZONE 4
- CLIMATE ZONE 4
- CLIMATE ZONE 4
- CLIMATE ZONE 4

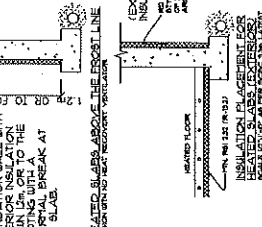


Table 1: FLOORS OVER UNHEATED SPACES (HARDWOOD FLOORING) with columns for DESCRIPTION, NORMAL, and IMPROVED thermal resistance values.

Table 2: CEILING'S BELOW CATHEDRAL / FLAT ROOFS with columns for DESCRIPTION, NORMAL, and IMPROVED thermal resistance values.

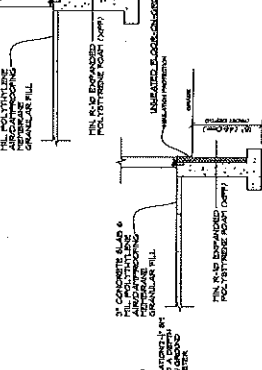
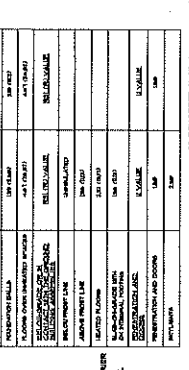
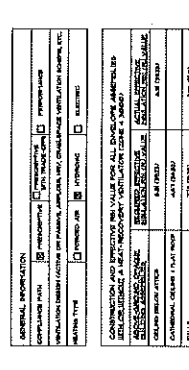
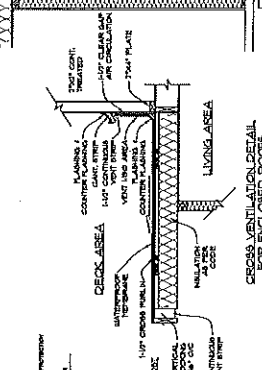
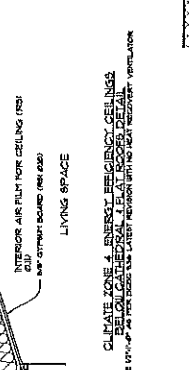
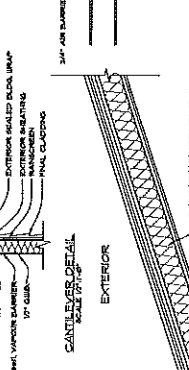


Table 3: FLOORS OVER UNHEATED SPACES (HARDWOOD FLOORING) with columns for DESCRIPTION, NORMAL, and IMPROVED thermal resistance values.

Table 4: CEILING'S BELOW CATHEDRAL / FLAT ROOFS with columns for DESCRIPTION, NORMAL, and IMPROVED thermal resistance values.



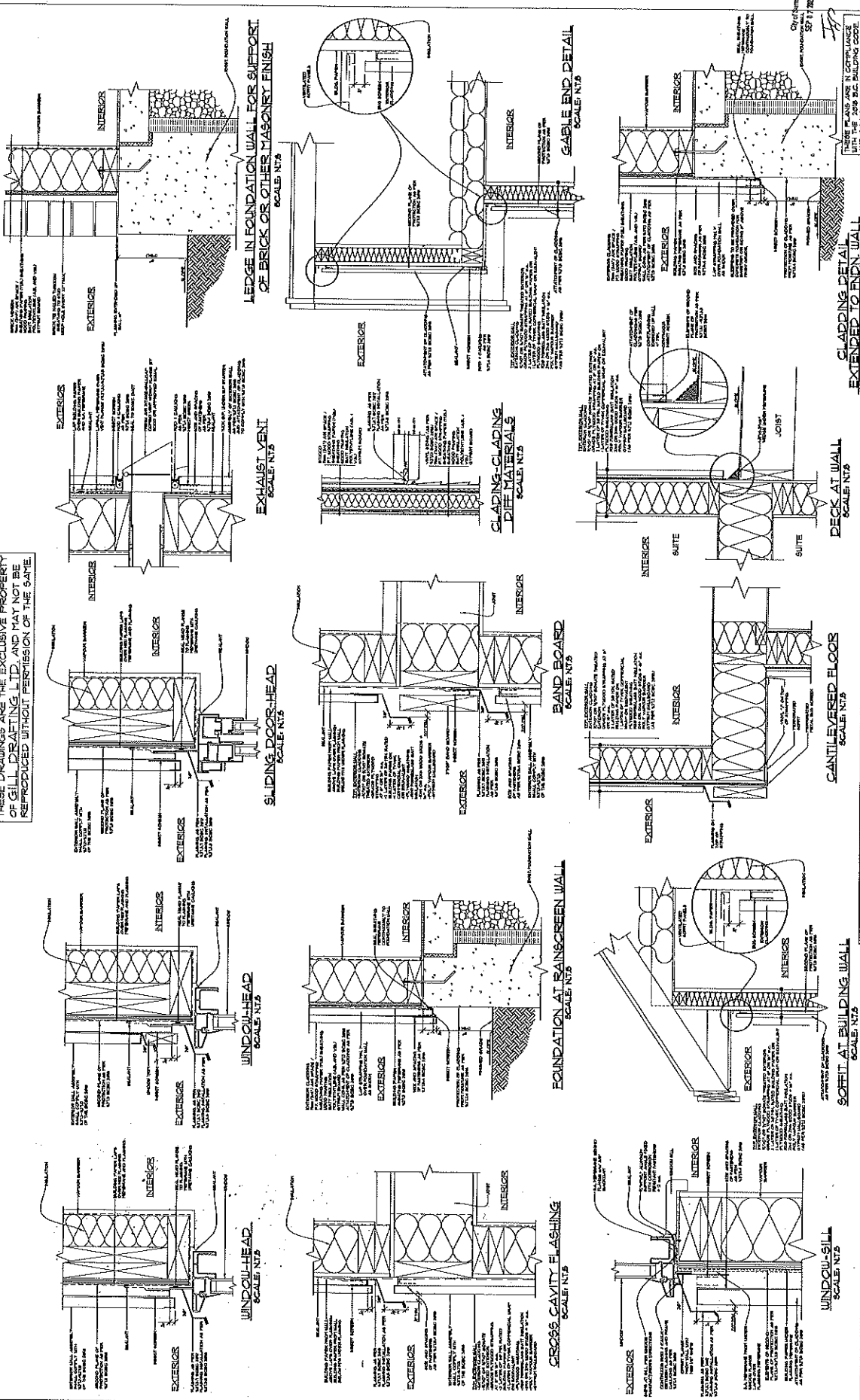
PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT#141 @ 9040 - 5KYE FL., SURREY SURREY, B.C.

Gill Drafting Ltd. logo and contact information.

REVISION BY LEGAL DESCRIPTION, SHEET NO. 9 OF 11, DRAWING NO. GD22-4272, and RECEIVED stamp dated JUL 15 2022.



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DESIGNER ADDRESS: GILL DRAFTING LTD. SURREY DESIGN CENTRE LOT 4.1 & 5040 - 8 KYTE PL., SURREY, B.C. V3R 5E5 TEL: (604) 273-4456 FAX: (604) 273-4456 WWW.GILLDRAFTING.COM	DRAWING NO. GD22-4272	PROJECT NAME PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT 4.1 & 5040 - 8 KYTE PL., SURREY, B.C.
SHEET NO. 11 OF 11	DATE 24 MAY 2022	BY KASRA
SCALE AS NOTED	DATE 24 MAY 2022	BY AS NOTED
PROJECT 17B-352-851	DATE 24 MAY 2022	BY AS NOTED
PROJECT 17B-352-851	DATE 24 MAY 2022	BY AS NOTED

**Gill Drafting Ltd.**



REV	DESCRIPTION	DATE
0	ISSUED FOR PERMIT	MAY 19, 2022
1	REVISIONS	JAN 27, 2022
2	REVISIONS	APRIL 20, 2022

**GILL DRAFTING**

ARCHITECTURAL

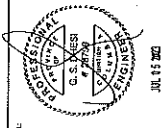
CONSULTING ENGINEERS

100 W. Main Street  
 Suite 200  
 Raleigh, NC 27601  
 Phone: 919.850.0000  
 Fax: 919.850.0001  
 www.gilldrafting.com

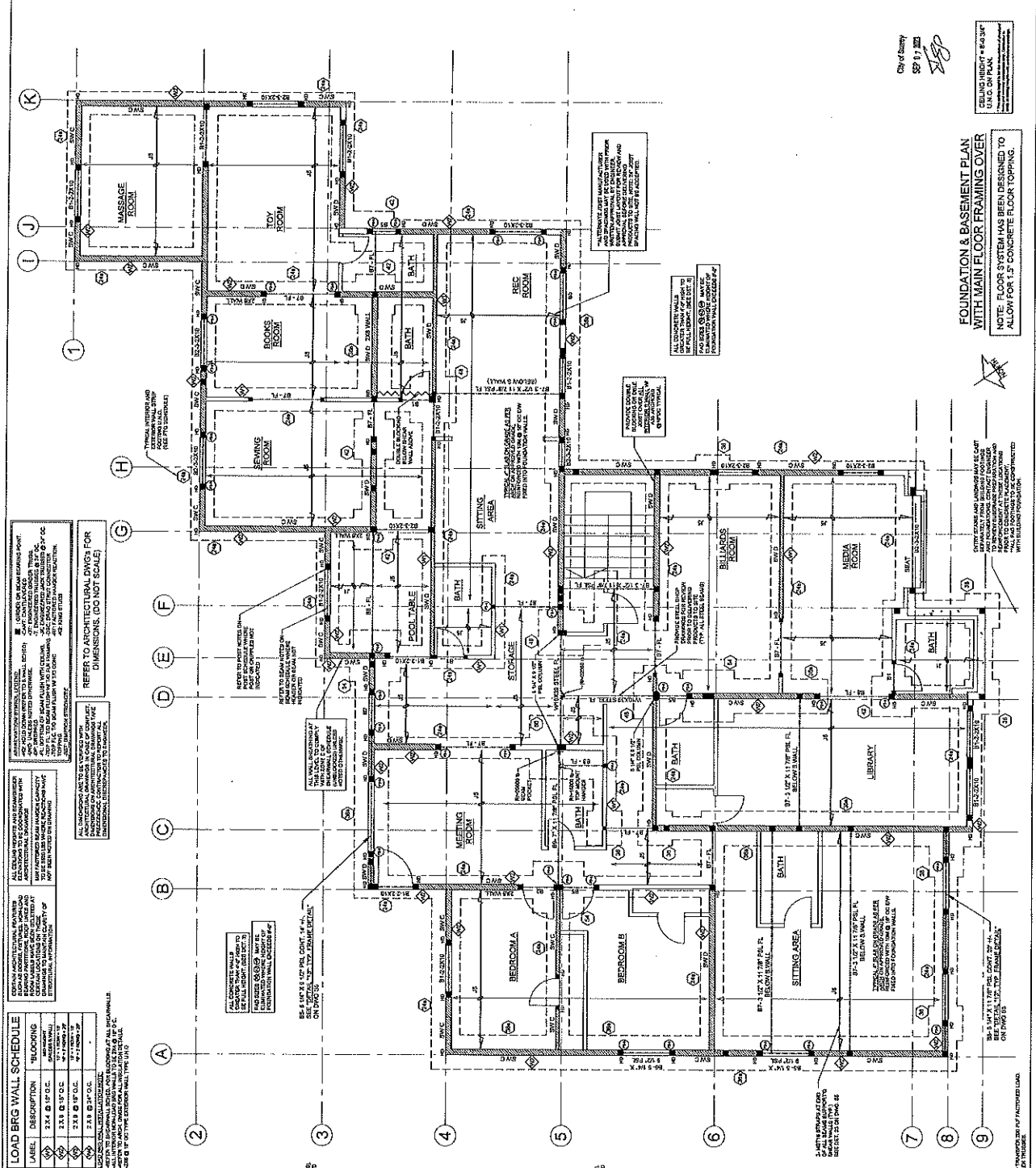
**PROPOSED RESIDENCE  
FOR GURPREET HEER**

100 W. Main Street  
 Suite 200  
 Raleigh, NC 27601  
 Phone: 919.850.0000  
 Fax: 919.850.0001  
 www.gilldrafting.com

**FOUNDATION &  
FRAMING PLAN AND  
SCHEDULES**



DATE:	MAY 19, 2022
SCALE:	1/4" = 1'-0" (AS SHOWN ON PLAN)
DRAWN BY:	DR/MSK
CHECKED BY:	DR/MSK
PROJECT NO.:	22158
SHEET NO.:	07 of 2



**FOUNDATION & BASEMENT PLAN WITH MAIN FLOOR FRAMING OVER**

NOTE: FLOOR SYSTEM HAS BEEN DESIGNED TO ALLOW FOR 1.5" CONCRETE FLOOR TOPPING.

**LOAD BRG WALL SCHEDULE**

LABEL	DESCRIPTION	SPACING	REMARKS
WB1	2" X 8" @ 16" O.C.	16" O.C.	
WB2	2" X 8" @ 12" O.C.	12" O.C.	
WB3	2" X 8" @ 10" O.C.	10" O.C.	
WB4	2" X 8" @ 8" O.C.	8" O.C.	

**POST SCHEDULE**

LABEL	DESCRIPTION	BASE	CAP
PA1	4" X 4" POST	CONCRETE	STEEL
PA2	4" X 4" POST	CONCRETE	STEEL
PA3	4" X 4" POST	CONCRETE	STEEL

**BEAM SCHEDULE**

LABEL	DESCRIPTION	REMARKS
B1	2" X 12" @ 16" O.C.	
B2	2" X 12" @ 12" O.C.	
B3	2" X 12" @ 10" O.C.	
B4	2" X 12" @ 8" O.C.	

**FLOOR/ROOF JOIST SCHEDULE**

LABEL	DESCRIPTION	SPACING	REMARKS
J1	2" X 12" @ 16" O.C.	16" O.C.	
J2	2" X 12" @ 12" O.C.	12" O.C.	
J3	2" X 12" @ 10" O.C.	10" O.C.	
J4	2" X 12" @ 8" O.C.	8" O.C.	

**DIAPHRAGM SCHEDULE**

ZONE	FRAMING	REMARKS
1	2" X 8" @ 16" O.C.	
2	2" X 8" @ 12" O.C.	
3	2" X 8" @ 10" O.C.	
4	2" X 8" @ 8" O.C.	

**SHOE WALL SCHEDULE**

LABEL	DESCRIPTION	REMARKS
SW1	2" X 8" @ 16" O.C.	
SW2	2" X 8" @ 12" O.C.	
SW3	2" X 8" @ 10" O.C.	
SW4	2" X 8" @ 8" O.C.	

**SHOE WALL SCHEDULE**

LABEL	DESCRIPTION	REMARKS
SW1	2" X 8" @ 16" O.C.	
SW2	2" X 8" @ 12" O.C.	
SW3	2" X 8" @ 10" O.C.	
SW4	2" X 8" @ 8" O.C.	

**SHOE WALL SCHEDULE**

LABEL	DESCRIPTION	REMARKS
SW1	2" X 8" @ 16" O.C.	
SW2	2" X 8" @ 12" O.C.	
SW3	2" X 8" @ 10" O.C.	
SW4	2" X 8" @ 8" O.C.	

REV	NO.	DESCRIPTION	DATE
0	1	ISSUED FOR PERMIT	MAY 19, 2022
1	2	REVISIONS TO PERMIT	JUNE 22, 2022
2	3	REVISIONS TO PERMIT	JUNE 29, 2022

**GILL DRAFTING**

1000 University Road  
 Suite 100  
 Raleigh, NC 27601  
 Phone: 919.876.1234  
 Fax: 919.876.1235  
 Email: info@gilldrafting.com

**PROPOSED RESIDENCE FOR GURPREET MEER**

LOT 147 AND 148 PLOT 2002  
 RUMBLE, N.C.

**GS Dhessi & Associates Consulting Engineers**

1000 University Road  
 Suite 100  
 Raleigh, NC 27601  
 Phone: 919.876.1234  
 Fax: 919.876.1235  
 Email: info@gsdhessi.com

SCALE: JUL 13, 2022

DATE: MAY 13, 2022

SCALE: 1/8" = 1'-0" (AS SHOWN IN LOT 2002)

DRAWN BY: [Signature]

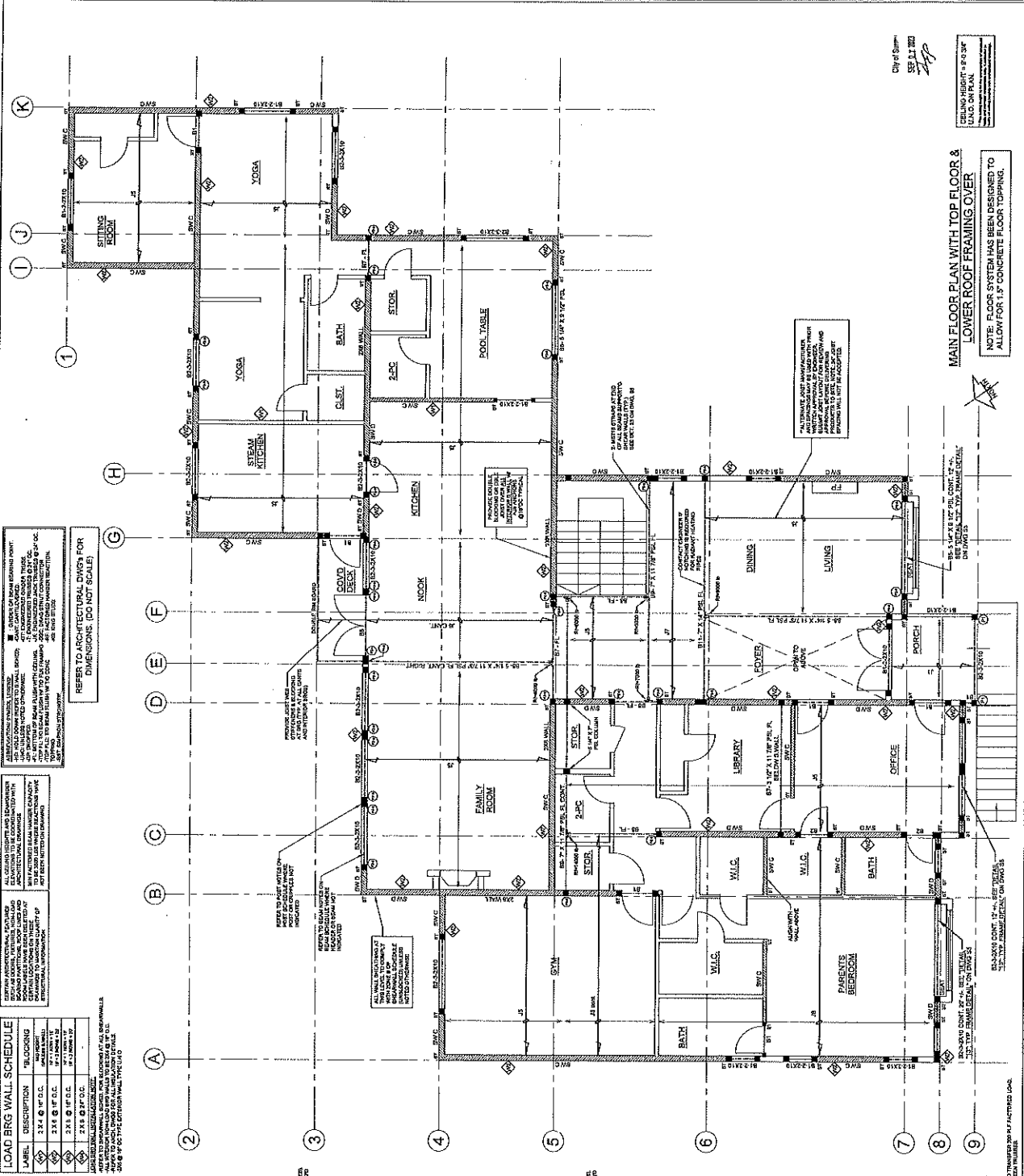
PROJECT NO.: 2019A

CHECKED BY: [Signature]

DATE: [Signature]

REV: 2

**S3** of 5



**LOAD BRG WALL SCHEDULE**

LABEL	DESCRIPTION	SPACING
W1	3/4" x 12" CMU	16" O.C.
W2	3/4" x 12" CMU	16" O.C.
W3	3/4" x 12" CMU	16" O.C.
W4	3/4" x 12" CMU	16" O.C.

**FOOTING SCHEDULE**

LABEL	DESCRIPTION	SPACING
F1	3/4" x 12" CMU	16" O.C.
F2	3/4" x 12" CMU	16" O.C.
F3	3/4" x 12" CMU	16" O.C.
F4	3/4" x 12" CMU	16" O.C.

**POST SCHEDULE**

LABEL	DESCRIPTION	BASE	CAP
P1	4" x 4" x 8' LVL	POST-CAST CONCRETE	POST-CAST CONCRETE
P2	4" x 4" x 8' LVL	POST-CAST CONCRETE	POST-CAST CONCRETE
P3	4" x 4" x 8' LVL	POST-CAST CONCRETE	POST-CAST CONCRETE

**BEAM SCHEDULE**

LABEL	DESCRIPTION	REMARKS
B1	12" x 18" PRECAST	
B2	12" x 18" PRECAST	
B3	12" x 18" PRECAST	
B4	12" x 18" PRECAST	
B5	12" x 18" PRECAST	
B6	12" x 18" PRECAST	
B7	12" x 18" PRECAST	
B8	12" x 18" PRECAST	
B9	12" x 18" PRECAST	
B10	12" x 18" PRECAST	
B11	12" x 18" PRECAST	
B12	12" x 18" PRECAST	

**FLOOR ROOF JOIST SCHEDULE**

LABEL	DESCRIPTION	SPACING
J1	2" x 8" LVL	16" O.C.
J2	2" x 8" LVL	16" O.C.
J3	2" x 8" LVL	16" O.C.
J4	2" x 8" LVL	16" O.C.
J5	2" x 8" LVL	16" O.C.
J6	2" x 8" LVL	16" O.C.
J7	2" x 8" LVL	16" O.C.
J8	2" x 8" LVL	16" O.C.
J9	2" x 8" LVL	16" O.C.
J10	2" x 8" LVL	16" O.C.
J11	2" x 8" LVL	16" O.C.
J12	2" x 8" LVL	16" O.C.

**DIAPHRAGM SCHEDULE**

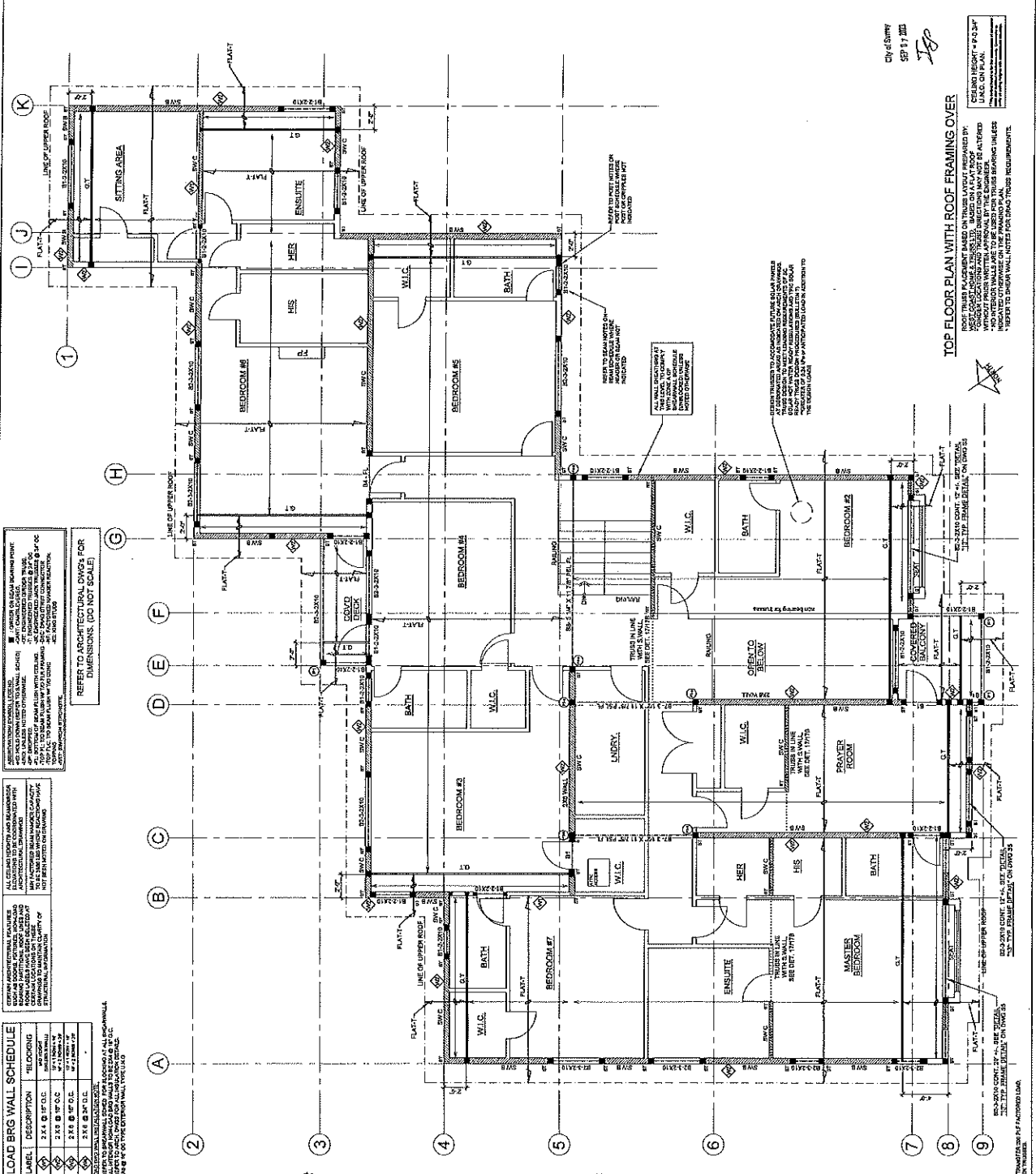
ZONE	FRAMING	PANELLING	REMARKS
1	2" x 8" LVL	1/2" GYPSUM BOARD	
2	2" x 8" LVL	1/2" GYPSUM BOARD	
3	2" x 8" LVL	1/2" GYPSUM BOARD	
4	2" x 8" LVL	1/2" GYPSUM BOARD	
5	2" x 8" LVL	1/2" GYPSUM BOARD	
6	2" x 8" LVL	1/2" GYPSUM BOARD	
7	2" x 8" LVL	1/2" GYPSUM BOARD	
8	2" x 8" LVL	1/2" GYPSUM BOARD	
9	2" x 8" LVL	1/2" GYPSUM BOARD	
10	2" x 8" LVL	1/2" GYPSUM BOARD	
11	2" x 8" LVL	1/2" GYPSUM BOARD	
12	2" x 8" LVL	1/2" GYPSUM BOARD	

**SHEAR WALL SCHEDULE**

ZONE	FRAMING	PANELLING	REMARKS
1	2" x 8" LVL	1/2" GYPSUM BOARD	
2	2" x 8" LVL	1/2" GYPSUM BOARD	
3	2" x 8" LVL	1/2" GYPSUM BOARD	
4	2" x 8" LVL	1/2" GYPSUM BOARD	
5	2" x 8" LVL	1/2" GYPSUM BOARD	
6	2" x 8" LVL	1/2" GYPSUM BOARD	
7	2" x 8" LVL	1/2" GYPSUM BOARD	
8	2" x 8" LVL	1/2" GYPSUM BOARD	
9	2" x 8" LVL	1/2" GYPSUM BOARD	
10	2" x 8" LVL	1/2" GYPSUM BOARD	
11	2" x 8" LVL	1/2" GYPSUM BOARD	
12	2" x 8" LVL	1/2" GYPSUM BOARD	

**NOTES:**

- ALL DIMENSIONS UNLESS OTHERWISE NOTED.
- ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
- ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
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- ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.



**LOAD BRG WALL SCHEDULE**

LABEL	DESCRIPTION	SPACING	REMARKS
1	2 1/2" x 8" BRG	48" O.C.	
2	2 1/2" x 8" BRG	48" O.C.	
3	2 1/2" x 8" BRG	48" O.C.	
4	2 1/2" x 8" BRG	48" O.C.	
5	2 1/2" x 8" BRG	48" O.C.	
6	2 1/2" x 8" BRG	48" O.C.	
7	2 1/2" x 8" BRG	48" O.C.	
8	2 1/2" x 8" BRG	48" O.C.	
9	2 1/2" x 8" BRG	48" O.C.	

**POST SCHEDULE**

LABEL	DESCRIPTION	REMARKS
1	2" x 8" POST	
2	2" x 8" POST	
3	2" x 8" POST	
4	2" x 8" POST	
5	2" x 8" POST	
6	2" x 8" POST	
7	2" x 8" POST	
8	2" x 8" POST	
9	2" x 8" POST	

**BEAM SCHEDULE**

LABEL	DESCRIPTION	REMARKS
1	2" x 8" BEAM	
2	2" x 8" BEAM	
3	2" x 8" BEAM	
4	2" x 8" BEAM	
5	2" x 8" BEAM	
6	2" x 8" BEAM	
7	2" x 8" BEAM	
8	2" x 8" BEAM	
9	2" x 8" BEAM	

**FLOOR/ROOF JOIST SCHEDULE**

LABEL	DESCRIPTION	SPACING	REMARKS
1	2" x 8" JOIST	48" O.C.	
2	2" x 8" JOIST	48" O.C.	
3	2" x 8" JOIST	48" O.C.	
4	2" x 8" JOIST	48" O.C.	
5	2" x 8" JOIST	48" O.C.	
6	2" x 8" JOIST	48" O.C.	
7	2" x 8" JOIST	48" O.C.	
8	2" x 8" JOIST	48" O.C.	
9	2" x 8" JOIST	48" O.C.	

**DIAPHRAGM SCHEDULE**

ZONE	PLACING	REMARKS
1	2" x 8" PLACING	
2	2" x 8" PLACING	
3	2" x 8" PLACING	
4	2" x 8" PLACING	
5	2" x 8" PLACING	
6	2" x 8" PLACING	
7	2" x 8" PLACING	
8	2" x 8" PLACING	
9	2" x 8" PLACING	



REV	NO.	DESCRIPTION	DATE
1	1	ISSUED FOR PERMIT	MAY 19, 2022
2	2	REVISIONS PER PERMIT	JUNE 22, 2022
3	3	REVISIONS PER PERMIT	JUNE 28, 2022

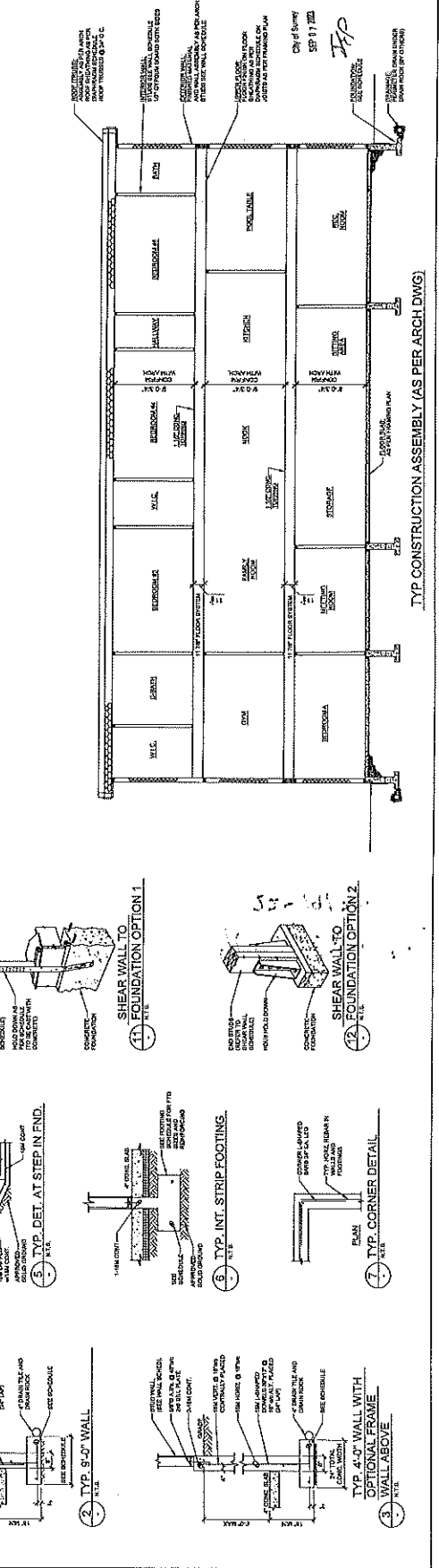
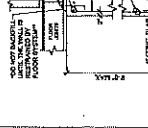
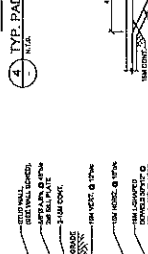
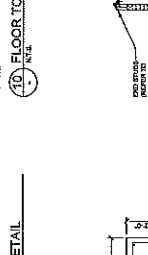
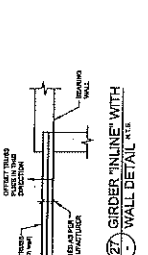
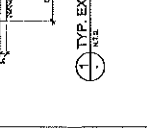
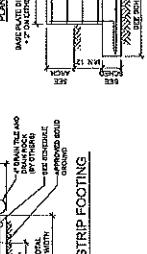
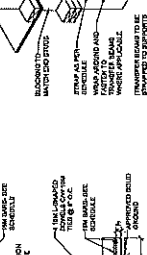
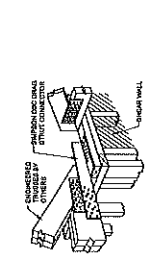
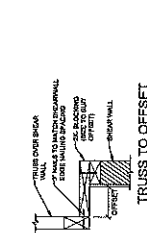
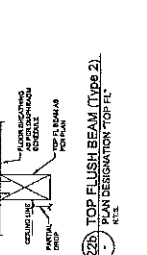
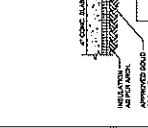
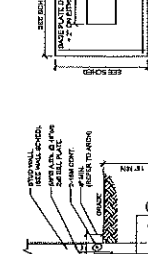
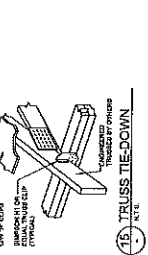
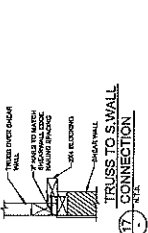
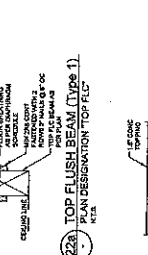
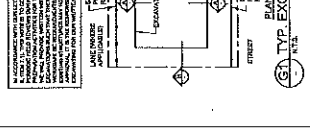
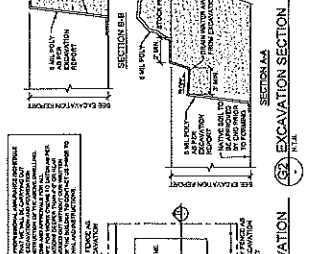
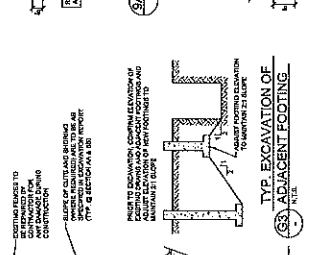
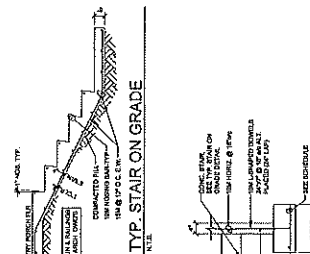
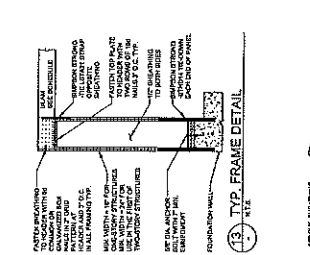
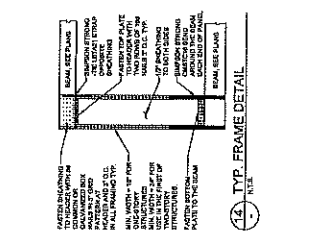
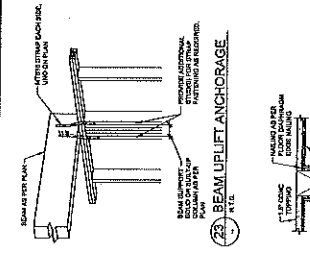
**GILL DRAFTING**

PROFESSIONAL ENGINEER  
 PROJECT: **PROPOSED RESIDENCE FOR GURPREET HEER**  
 1000 W. 10th Street, Suite 200  
 Lincoln, NE 68502  
 (402) 441-1111  
 www.gilldrafting.com

**GS Diesel & Associates Consulting Engineers**  
 1000 W. 10th Street, Suite 200  
 Lincoln, NE 68502  
 (402) 441-1111  
 www.gs-diesel.com

DATE: MAY 19, 2022  
 SCALE: 1/4" = 1'-0" (AS PER ARCH DETS)  
 DRAWN BY: JESSICA MA  
 CHECKED BY: JESSICA MA  
 PROJECT NO: 20184  
 SHEET NO: **S5** OF 5

PROJECT: PROPOSED RESIDENCE FOR GURPREET HEER  
 SHEET: S5 OF 5  
 DATE: MAY 19, 2022  
 SCALE: 1/4" = 1'-0" (AS PER ARCH DETS)  
 DRAWN BY: JESSICA MA  
 CHECKED BY: JESSICA MA  
 PROJECT NO: 20184  
 SHEET NO: **S5** OF 5



**9040 - Skye PI (13310)**  
**REVISION 1**  
**SINGLE FAMILY DWELLING**  
**ENERGY STEP 3**

**B-22-019137-0-1**  
**AREA: NORTH**

## CITY OF SURREY

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### BUILDING PERMIT

---

PROJECT ADDRESS: 9040 - Skye PI REVISION 1

SINGLE FAMILY DWELLING

ENERGY STEP 3

LEGAL DESCRIPTION: LT 147 SE SEC 32 T2 PL 49315

ZONE: LUC 104 (R-3 2265)

PERMIT TYPE: Residential C-S

BUILDING TYPE: Single Family

WORK PROPOSED: New

DECLARED VALUE OF CONSTRUCTION: \$0

**WORK DESCRIPTION:**

Revision 01: Retaining wall added on left side and back @0.8m < 1.2m height .window added in front basement washroom; media room and gym room swapped places from main floor from basement.

SINGLE FAMILY DWELLING Three storey on SLAB.

Code Compliance as per BCBC 2018

BC Energy Step Code: Step 3

Secondary Suite not permitted

Do not remove any trees protected by the Surrey Tree Preservation By-law without permits.

First Floor Slab: 64.67m Heating: RADIANT

MAXIMUM SITE COVERAGE ACHIEVED

P. Eng. Geotechnical & Structural as per GS DHESI

Inspections required.

RWL TO SPLASH PADS

**APPLICANT:**

Gurpreet S Heer 9040 Skye Place Surrey V3V 6T6

**BUILDER / GENERAL CONTRACTOR:**

JOTS 0507 ENTERPRISES LTD. 10846 141 St. Surrey

**OWNER:**

Gurpreet S Heer 9040 Skye Place Surrey V3V 6T6

Navneet Heer 10251 143 St. Surrey V3T 4T4

MAJOR ROAD:	No	LEGAL ACCESS FROM LANE:	No
SANITARY MAIN:	Yes	LEGAL ENCUMBRANCES:	Yes
SAN. CONNECTION:	to be applied for	WATER MAIN:	Yes
STORM SEWER:	Yes	WATER CONNECTION:	to be applied for and metered
STORM CONNECTION:	to be applied for	ELECTRICAL:	Underground
DRIVEWAY WIDTH:	6		

**COMMENTS:**

ENG - Driveway access is not to exceed 6 metres and must clear street lights, power poles, hydrants, hydro kiosks and any other utility structure by a minimum of 1 metre and must have a minimum 1.5 metre clearance from side property lines. ENG - Any changes to the existing driveway access or construction of a new driveway access requires prior approval and a City Road and ROW permit from the Engineering Department. City Road and ROW permit for any driveway changes must be issued and completed prior to final occupancy. ENG - Sanitary, storm and water connections must be applied for in Eng. Dept. prior to issuance of BP ENG - Builder must implement Best Management Practises in accordance with Schedule "B" of the Erosion and Sediment Control By-law ENG - Builder is responsible for all boulevard repairs not reported and confirmed by Eng. Dept as pre-existing damage. Builder to ensure that any fence construction does not conflict with service connections at the property line. The City must have full access to the storm and sanitary inspection chambers, water shut off and water meter. If the water meter conflicts with the fence location, applicant must relocate meter pit and setter 300mm from the proposed fence and provide a dummy, accessible without entering

ISSUED BY: IP4

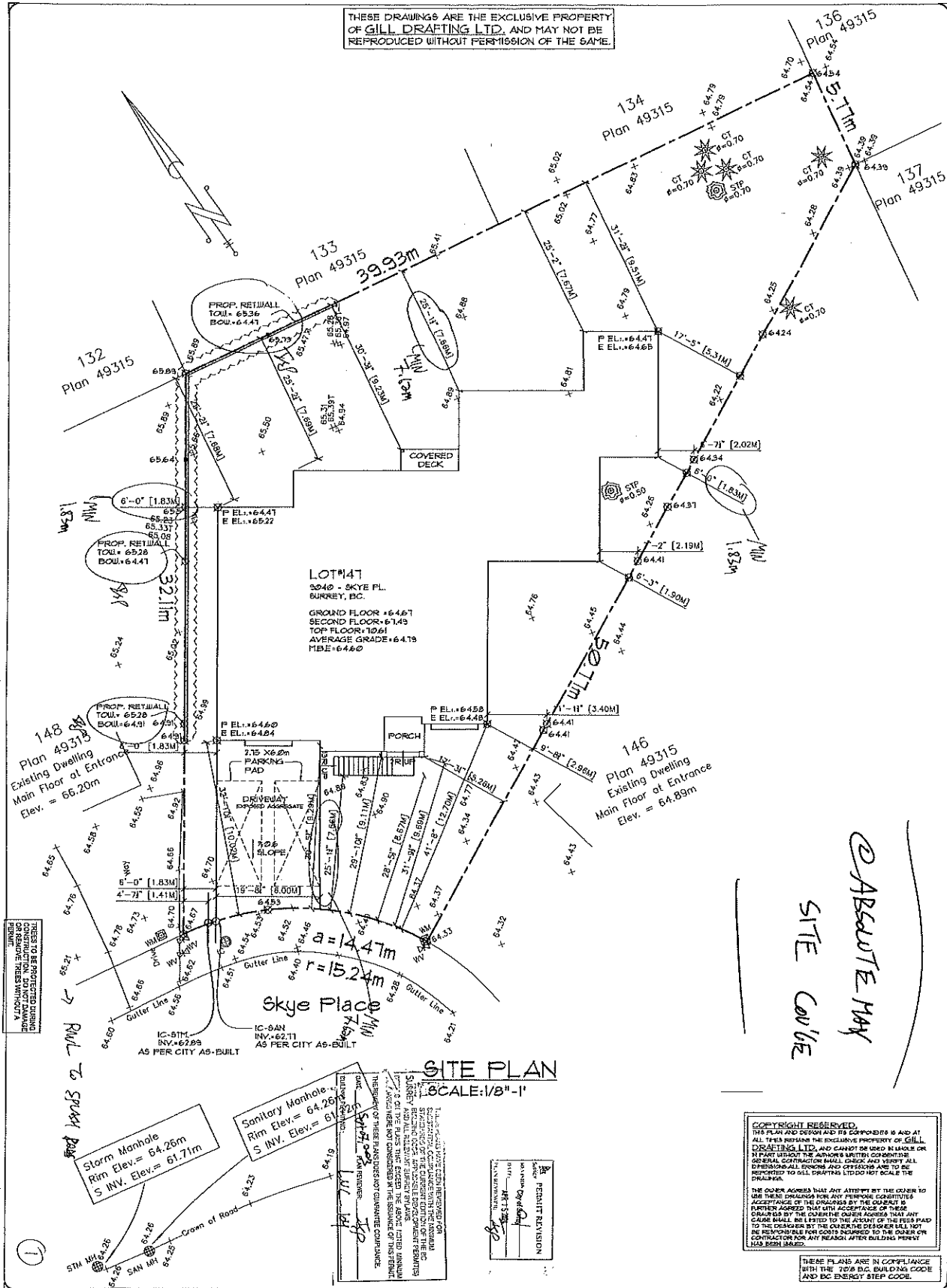
DATE OF ISSUANCE: MONDAY APRIL 15, 2024

private property. ENG - A FINAL BOULEVARD INSPECTION MUST BE COMPLETED BY THE  
ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF OCCUPANCY.

---

ISSUED BY: IP4  
DATE OF ISSUANCE: MONDAY APRIL 15, 2024

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THESE TO BE PROTECTED DURING CONSTRUCTION. DO NOT DAMAGE THEM. THESE NOTES APPLY TO ALL SHEETS.

Storm Manhole  
Rim Elev. = 64.26m  
S INV. Elev. = 61.71m

Sanitary Manhole  
Rim Elev. = 64.28  
S INV. Elev. = 61.71

**SITE PLAN**  
SCALE: 1/8"=1'-0"

1. THE DESIGNER HAS CONDUCTED VISUAL SURVEILLANCE OF THE QUANTIFIED RISKS OF THE PROPOSED DEVELOPMENT AND HAS DETERMINED THAT THE PROPOSED DEVELOPMENT IS SUBSTANTIAL AND WILL AFFECT THE VISUAL CHARACTER OF THE AREA. THE DESIGNER HAS CONSIDERED THE VISUAL IMPACT OF THE PROPOSED DEVELOPMENT AND HAS DETERMINED THAT THE PROPOSED DEVELOPMENT IS SUBSTANTIAL AND WILL AFFECT THE VISUAL CHARACTER OF THE AREA.

PERMIT REVISION  
DATE: 04 MAY 2022  
BY: JFS

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THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

OWN:	KABRA
SCALE:	1/8"=1'-0"
DATE:	04 MAY 2022
BY:	JFS
PHONE:	718-999-2811

PROJECT NAME:	PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT #47 @ 3040 - SKYE PL. SURREY, BC
---------------	---

DESIGNER ADDRESS:	GILL DRAFTING LTD. BARRY DESIGN CENTRE 1470 38TH ST. AVE. SURREY, BC V3V 2E6 TEL: (604) 999-8866 FAX: (604) 999-8861 WEBSITE: GILLDRAFTING.COM
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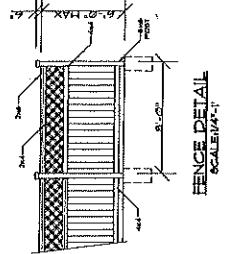
REVISIONS:	BY:
AFR 2023	JFS

DRAWING NO.:	GD22-4212
SHEET NO.:	1 OF 11

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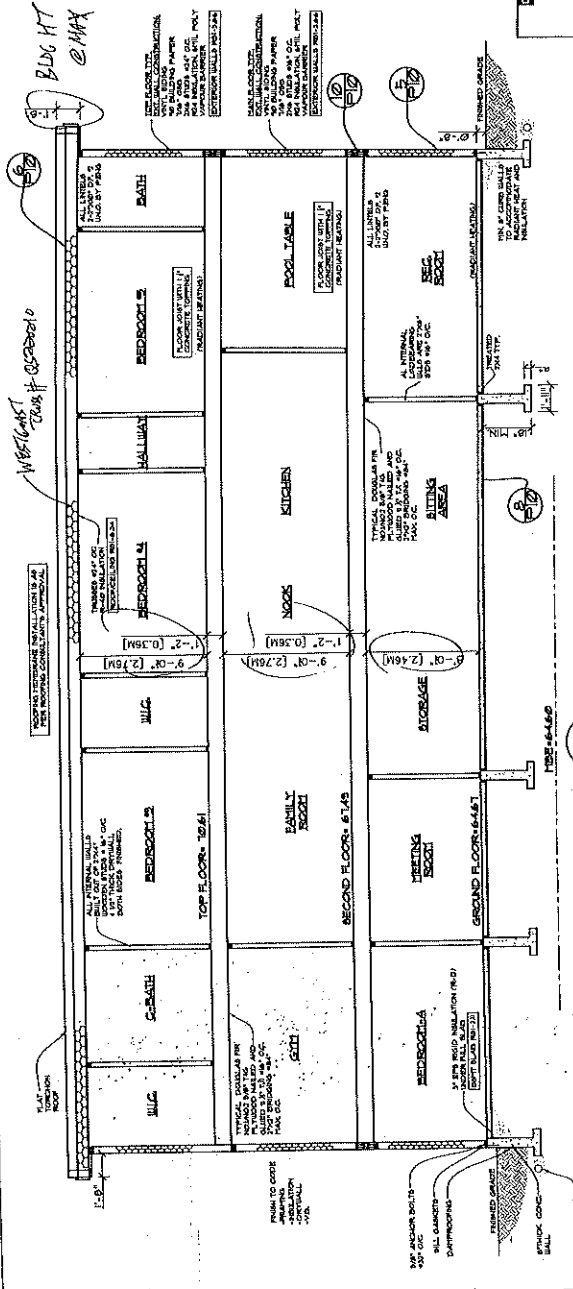
**NOTES:**

- CONTRACTOR TO CHECK ALL DIMENSIONS AND LOCATIONS OF ALL STRUCTURAL MEMBERS ARE NOT REQUIRED, BUT WHERE NECESSARY TO BE CHECKED.
- THE FENCE IS COMPLETED OF TREATED MATERIAL AND SUITABLY FINISHED.
- FENCE ON THE SIDE OF THE ANGLE FAMILY DOUBLING ARE LOCATED AT LEAST 10' FROM THE ANGLE FAMILY DOUBLING FACE OF THE ANGLE FAMILY DOUBLING.
- AS THE FENCE STRUCTURE IS SUBSTANTIALLY AS FOLLOWS.



**D. BUILDING CHARACTERISTICS SUMMARY**

Details (Assembly / System Type / Fin. Type / Etc.)	ANGLE ENDORSEMENT
Roof Ceiling 1.61, Truss 20' x 20' R40 Insulation; Deck-210 @ 16" OC, with 3/4" batt 1/2" PY	RB 2.24
Above Grade Walls 1.68 @ 16" OC R24 batt 1/2" PY, 1/2" or every Header	RB 3.18
Fin Joists / Floor Heads and Linths 2.04, batt 1/2" OC, 1/2" every Joist	RB 4.22
Floor One Unfinished Space 1.72, 1/2" OC, 1/2" every Joist	RB 4.05
Walls Below Grade Finement with 1/2"	RB 2.11
Slabs Slab - 2" EPS rigid insulation (R12) under full slab (RB-2.1)	RB 2.11
Windows and glassed doors Double or Triple glazing, Low-E, Argon Gas 1/4" SHGC 0.40	0.40
Doors Fiberglass reinforced door frame	0.85
All Built-up Roofs & Locations Sloped poly walls and ceiling - Minimum 20 Barriers	ACB 2.10 NLS 1.72 NLS 1.28
Spans Heating/ Cooling Radiant ceiling with central air conditioning unit 15% of floor area	ACB 1.65
Domestic Hot Water Gas Water Heating Unit 180 CFM	NLS 79.00
Ventilation Other	5.00 60.00
Final Finish	



**SECTION A-B-6**  
SCALE 1/4" = 1'-0"

**F.A.R.:**  
TOTAL LOT AREA: 10900 SQFT.  
ALLOWABLE F.A.R.: N/A  
ACTUAL F.A.R.: 4784 SQFT

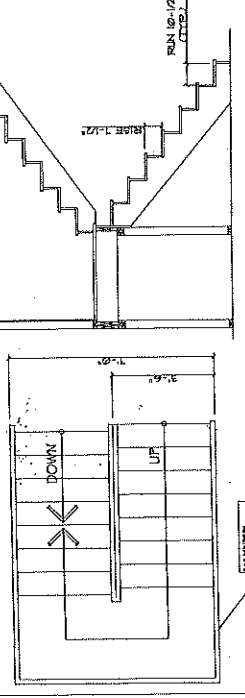
**SITE COVERAGE:**  
TOTAL LOT AREA: 10900 SQFT.  
ALLOWABLE SITE COVERAGE: 43% = 4693 SQFT  
ACTUAL SITE COVERAGE: 36.56% = 3976 SQFT

**DECK AREA:**  
MAIN FLOOR DECK AREA: 444 SQFT.  
TOP FLOOR DECK AREA: 1000 SQFT.  
TOTAL DECK AREA: 1444 SQFT.

**ZONING: LUC**

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**STAIR DETAIL**  
SCALE 1/4" = 1'-0"

**RECEIVED**  
JUL 15 2023

**DESIGNER ADDRESS:**  
GILL DRAFTING LTD.  
1000 WEST BAY STREET  
SURREY, B.C. V8V 1B6  
TEL: (604) 273-4444  
FAX: (604) 273-4444  
WWW.GILLDRAFTING.COM

**DRAWING NO.:** 2 OF 11  
**PROJECT NO.:** GD22-4212

**DATE:** 04 MAY 2022  
**SCALE:** 1/4" = 1'-0"

**Gill Drafting Ltd.**

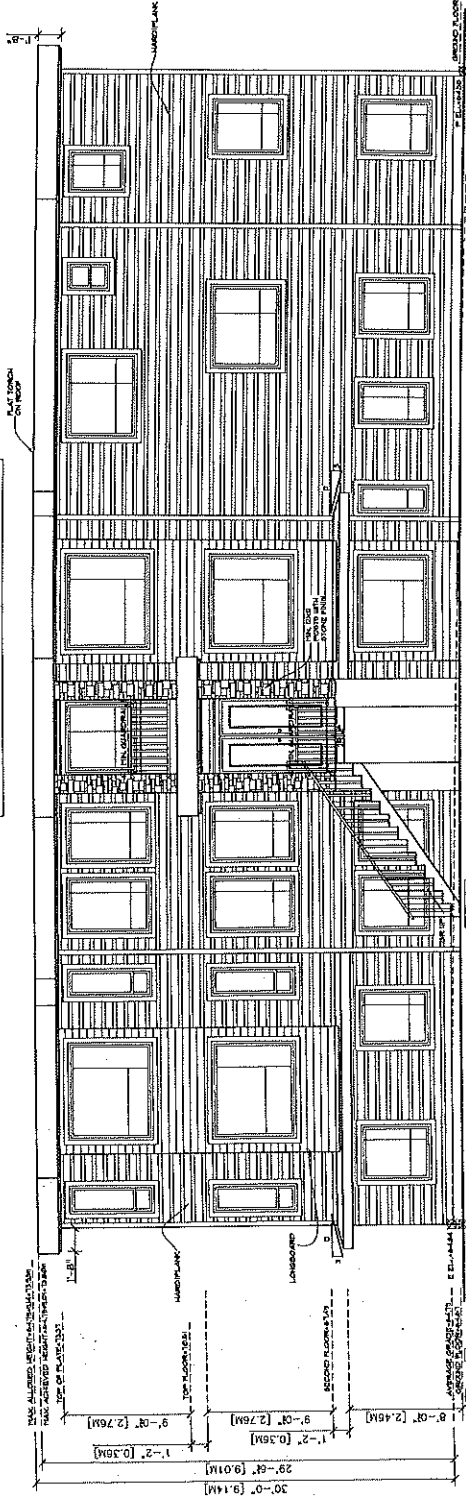
**PROPOSED RESIDENCE FOR**  
GURPREET SINGH HEER  
LOT 141 @ 9040 - SKYE PL.  
SURREY, B.C.

**REVISION BY:** APR 2023 JPS

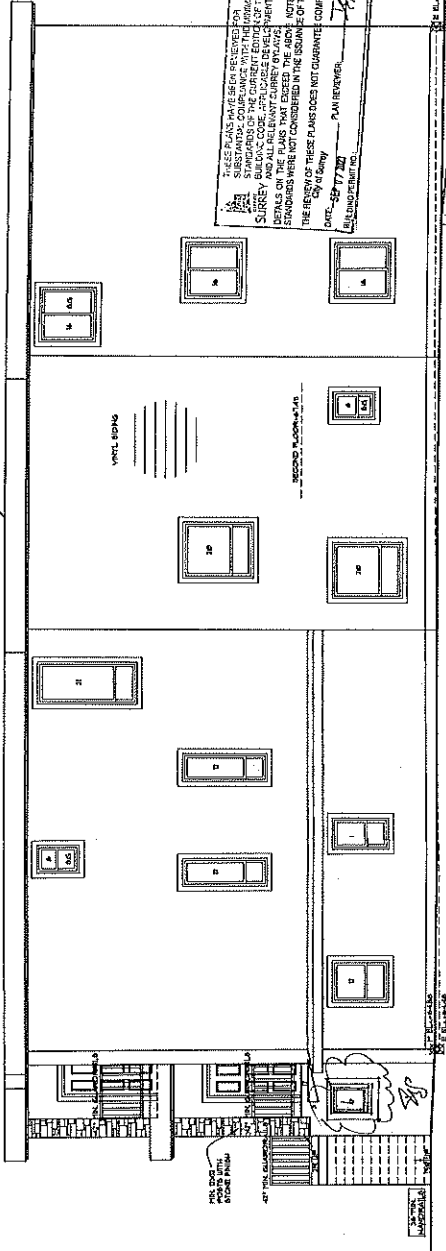
**LEGAL DESCRIPTION:**

**PROJECT NAME:**

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FRONT ELEVATION  
SCALE 1/8" = 1'-0"



RIGHT ELEVATION  
SCALE 1/8" = 1'-0"

GILL DRAFTING LTD.  
3011 KINGSWAY  
SUITE 101  
VANCOUVER, BC V6T 1W4  
TEL: (604) 271-8888  
WWW.GILLDRAFTING.COM

RECEIVED  
JUL 21 2023

PERMIT REVISION  
DATE: 08/17/2023  
DRAWN BY: JF

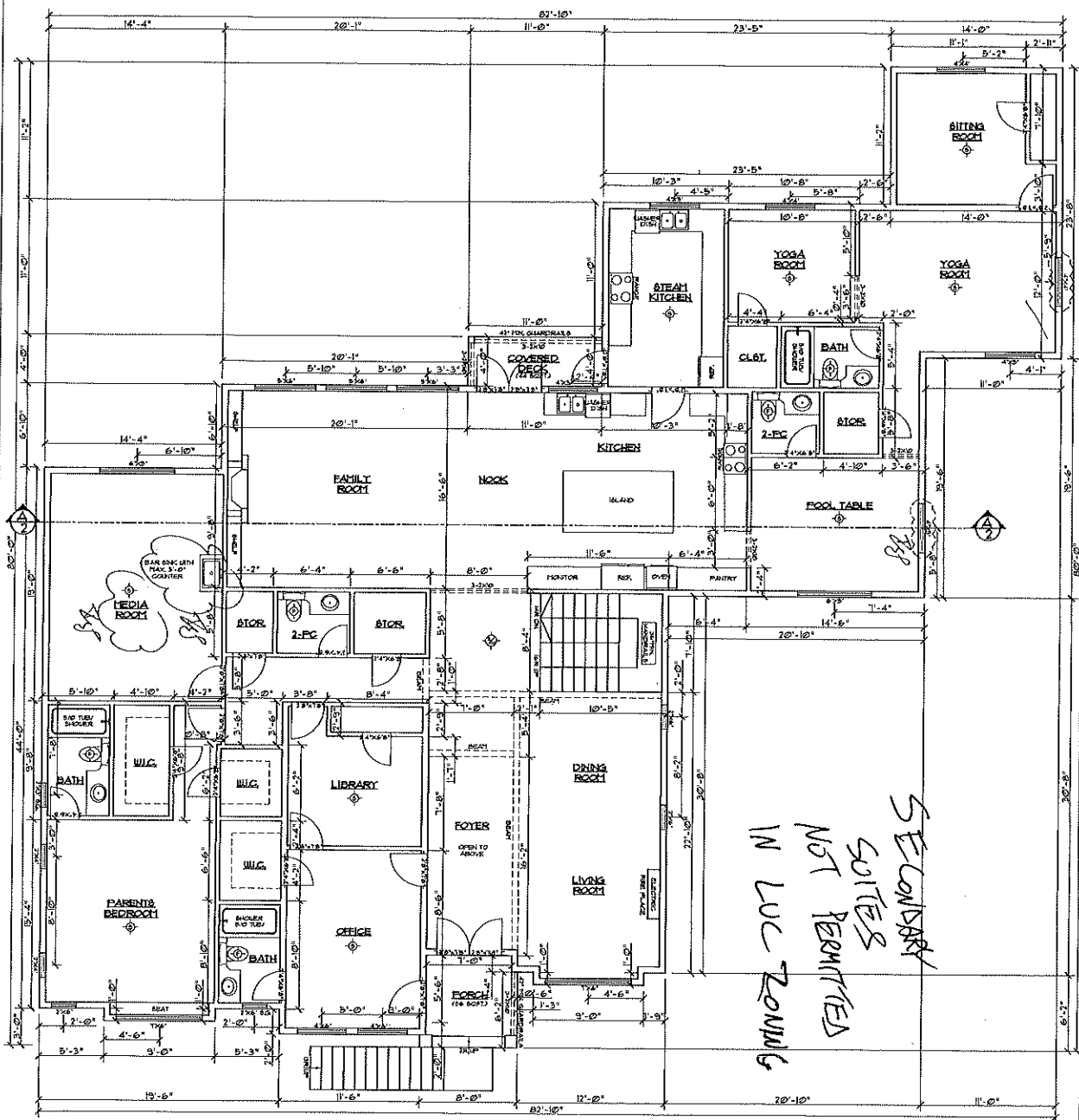
THESE PLANS HAVE BEEN REVIEWED FOR CONFORMANCE WITH THE BRITISH COLUMBIA BUILDING CODE, APPROVED DESIGN DETAILS ON THE PLANS THAT CARRY OR AFFECT LOADS WERE NOT CONSIDERED IN THE REVIEW OF THESE PLANS DOES NOT GUARANTEE COMPLIANCE WITH THE BUILDING CODE.

REVISION	DATE	LEGAL DESCRIPTION	PROJECT NAME
	APR 2023 JFS	PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT 141 & 304D - SKYE PL. SURREY, B.C.	
DATE	SCALE	DRAWING NO.	SHEET NO.
24 MAY 2023	1/8" = 1'-0"	GD22-4272	3 OF 11
DATE	DATE	DATE	DATE
24 MAY 2023	24 MAY 2023	24 MAY 2023	24 MAY 2023
DATE	DATE	DATE	DATE
DESIGNER ADDRESS:		GILL DRAFTING LTD.	
3011 KINGSWAY SUITE 101 VANCOUVER, BC V6T 1W4		3011 KINGSWAY SUITE 101 VANCOUVER, BC V6T 1W4	
TEL: (604) 271-8888		TEL: (604) 271-8888	
WWW.GILLDRAFTING.COM		WWW.GILLDRAFTING.COM	



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SEE COMMENTS  
NOT REVERTED  
IN LUC ZONING

MAIN FLOOR  
SCALE: 1/4"=1'-0"

MAIN FLOOR AREA = 3491 SQFT.

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STUBBINS BUILDING CORP. ARCHITECTURE  
1000 WEST 10TH AVENUE  
SUITE 200  
DENVER, CO 80202  
TEL: 303.733.8888  
FAX: 303.733.8889  
WWW.STUBBINSBUILDINGCORP.COM

PERMIT REVISION  
DATE: 04 MAY 2022  
BY: JPS

- LEGEND**
- ◆ SMOKE ALARM
  - ◆ CARBON MONOXIDE (CO) ALARM
  - ◆ SMOKE ALARM
  - FD FLOOR DRAIN
  - FAN

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

DRAWN	KASRA
SCALE	1/4"=1'-0"
DATE	04 MAY 2022
COND.	JPS
PHONE	718-955-2511

PROPOSED RESIDENCE FOR  
GURPREET SINGH HEER  
LOT 141 @ 9040 - SKYE PL.  
SURREY, BC

DESIGNER ADDRESS:  
GILL DRAFTING LTD.  
BURNBY DESIGN CENTRE  
107 92 BURNBY AVE.  
SURREY, BC V3U 2E4  
TEL: (604) 595-8888  
FAX: (604) 595-8889  
WEBSITE: WWW.GILLDRAFTING.COM

Gill  
Drafting



REVISIONS	BY
APR 2023	JPS

DRAWING NO.	GD22-4212
SHEET NO.	5 OF 11





REV	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	MAY 19, 2023
2	REVISION FOR PERMIT	JUNE 27, 2023
3	REVISION FOR PERMIT	JUNE 27, 2023
4	REVISION FOR PERMIT	FEB 16, 2024
5	REVISION FOR PERMIT	APRIL 04, 2024

**GILL DRAFTING**

CONSULTING ENGINEERS

SS Dhesi & Associates  
Consulting Engineers

10745 WOODBURY PLACE  
SUITE 100  
MIRAMONTE, CA 91358  
TEL: 626-255-1000  
WWW.SSDHESI.COM  
GILL DRAFTING

**PROPOSED RESIDENCE  
FOR GURPREET HEER**

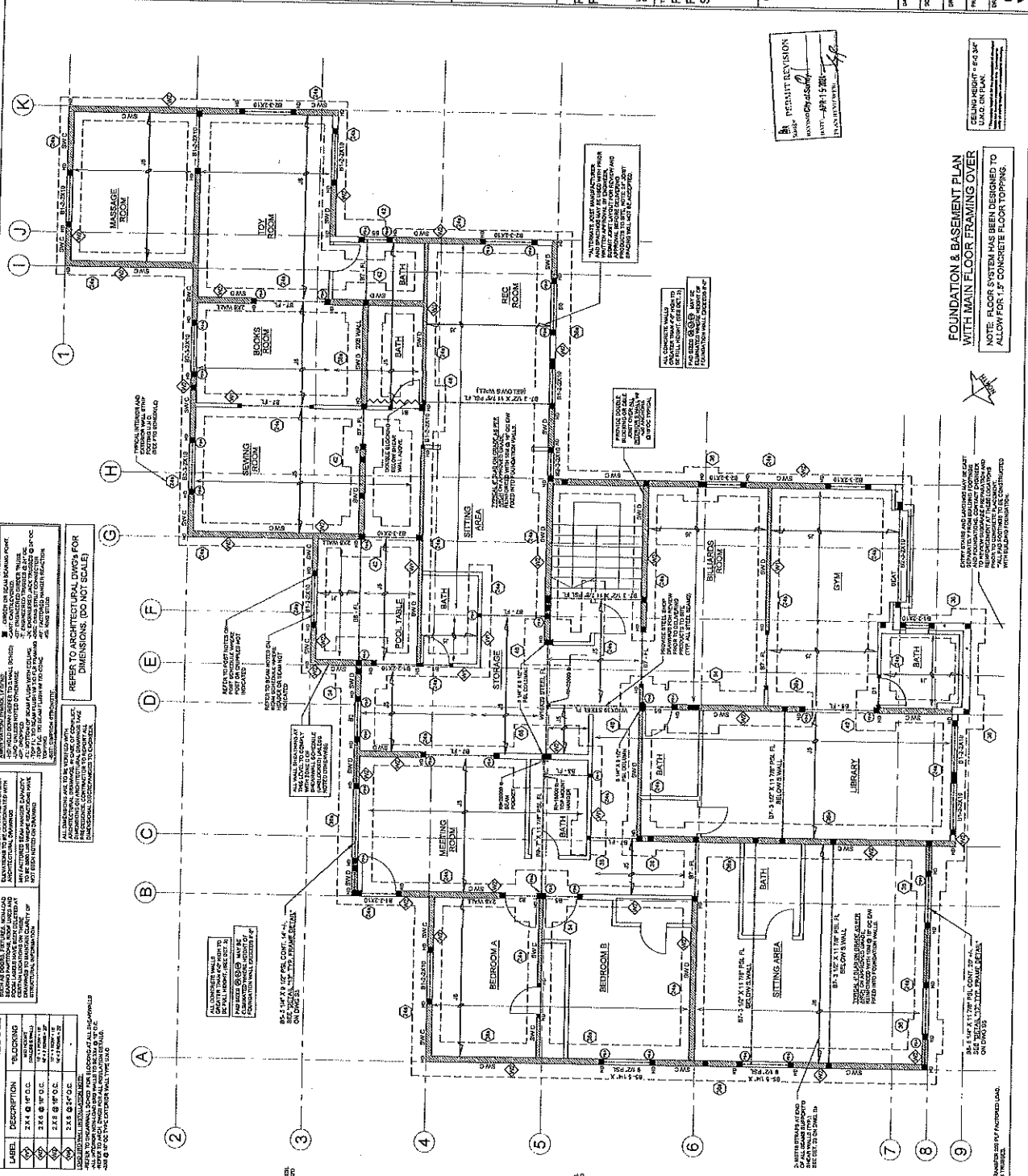
10745 WOODBURY PLACE  
MIRAMONTE, CA

**FOUNDATION &  
FRAMING PLAN AND  
SCHEDULES**

DATE: MAY 12, 2023  
SCALE: 1/4" = 1'-0" (AS SHOWN UNLESS NOTED)

DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
PROJECT NO.: [Number]  
DWG NO.: [Number]

**S2** OF 4



**LOAD BRG WALL SCHEDULE**

LABEL	DESCRIPTION	BLOCKING
1	2 1/4\"/>	

**POST SCHEDULE**

LABEL	DESCRIPTION	BASE	CAP
1	4\"/>		

**BEAM SCHEDULE**

LABEL	DESCRIPTION	REMARKS
B1	3 1/2\"/>	

**FLOOR/ROOF JOIST SCHEDULE**

LABEL	DESCRIPTION	SPACING
1	2\"/>	

**DIAPHRAGM SCHEDULE**

ZONE	P.W.D.	SHORING	WALL	REMARKS
1	4\"/>			

**FOUNDATION & BASEMENT PLAN  
WITH MAIN FLOOR FRAMING OVER**

NOTE: FLOOR SYSTEM HAS BEEN DESIGNED TO ALLOW FOR 1.5\"/>

CONCRETE WALLS SHALL BE CAST WITH 1\"/>

CONCRETE WALLS SHALL BE CAST WITH 1\"/>

CONCRETE WALLS SHALL BE CAST WITH 1\"/>

REV	NO.	DESCRIPTION	DATE
1	2	ISSUED FOR PERMIT	MAY 15, 2024
2	1	REVISIONS	JAN 27, 2024
3	2	REVISIONS	JAN 27, 2024
4	3	REVISIONS	FEB 13, 2024
5	4	REVISIONS	JAN 27, 2024
6	5	REVISIONS	MAY 15, 2024

**GILL DRAFTING**

ARCHITECT/ENGINEER

CONSULTING ENGINEER:  
**GS Dhessi & Associates**  
 Consulting Engineers  
 15151 Highway Blvd  
 Suite 100  
 Irvine, CA 92618  
 Tel: 949.453.8333  
 Fax: 949.453.8334  
 www.gsengineering.com

PROJECT:  
**PROPOSED RESIDENCE  
 FOR GURPREET HEER**

USE OF SEAL OFF-COMPLEX  
 SHERMAN, S.C.

DATE: MAY 15, 2024

SCALE: 1/4" = 1'-0" (AS SHOWN)

DRAWN BY: [Signature]  
 PROJECT NO.: 202418  
 SHEET NO.: 4

**FRAMING PLAN AND SCHEDULES**

PERMIT REVISION  
 DATE: MAY 15, 2024  
 BY: GS Dhessi & Associates

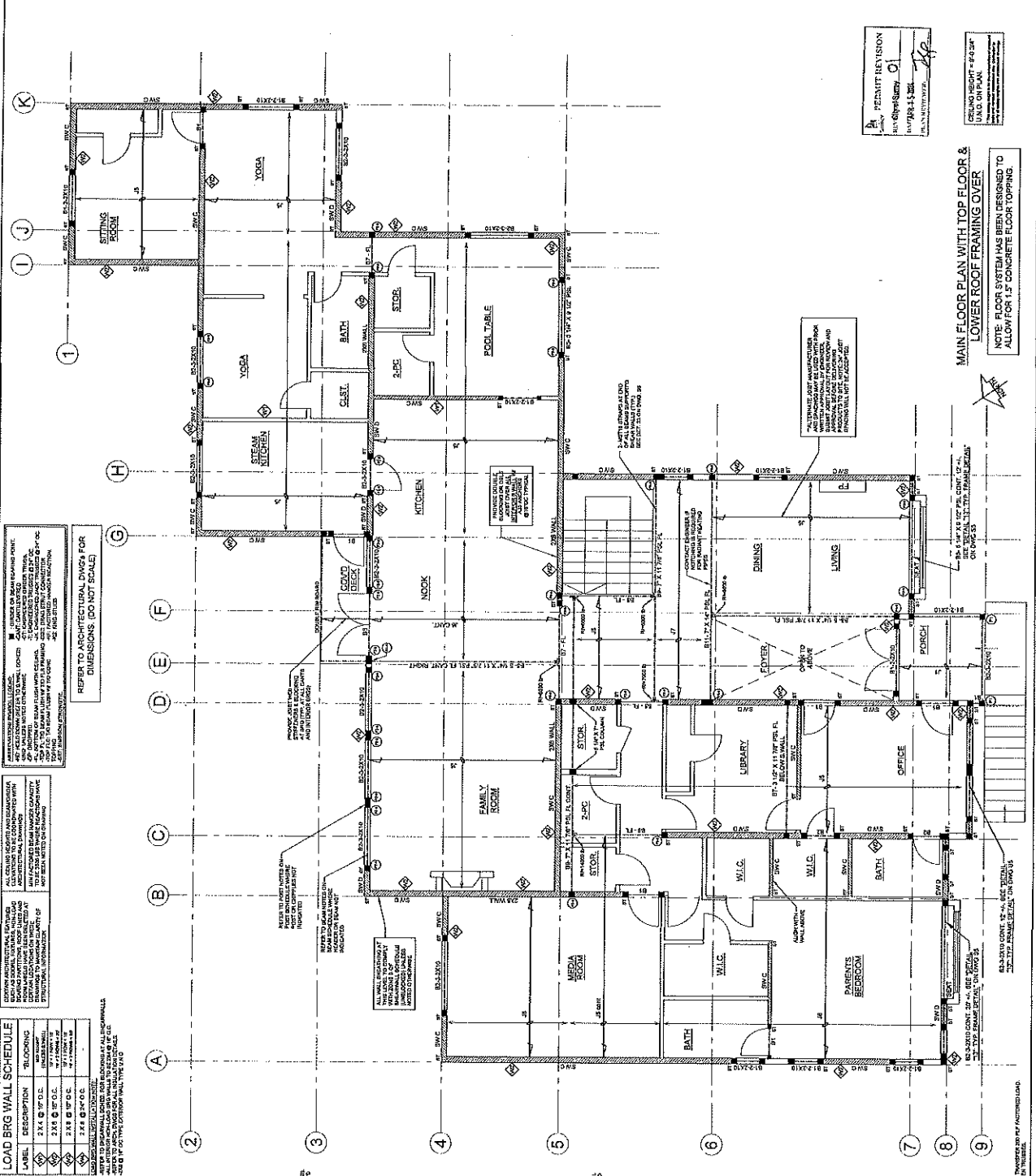
CEILING HEIGHT = 8'-0" (24")

PLAN: [Signature]

DATE: APR 01, 2024

SCALE: 1/4" = 1'-0" (AS SHOWN)

DRAWN BY: [Signature]  
 PROJECT NO.: 202418  
 SHEET NO.: 4



LABEL	DESCRIPTION	SPACING	REMARKS
W1	2"x4 @ 16" O.C.	24" (16" MIN)	
W2	2"x4 @ 16" O.C.	24" (16" MIN)	
W3	2"x4 @ 16" O.C.	24" (16" MIN)	
W4	2"x4 @ 16" O.C.	24" (16" MIN)	

LABEL	DESCRIPTION	BASE	TYPE	REMARKS
P1	4"x4	CONCRETE	POST	
P2	4"x4	CONCRETE	POST	
P3	4"x4	CONCRETE	POST	

LABEL	DESCRIPTION	REMARKS
B1	2"x11 @ 16" O.C.	
B2	2"x11 @ 16" O.C.	
B3	2"x11 @ 16" O.C.	
B4	2"x11 @ 16" O.C.	

LABEL	DESCRIPTION	SPACING	REMARKS
J1	2"x11 @ 16" O.C.	24" (16" MIN)	
J2	2"x11 @ 16" O.C.	24" (16" MIN)	
J3	2"x11 @ 16" O.C.	24" (16" MIN)	
J4	2"x11 @ 16" O.C.	24" (16" MIN)	

ZONE	DESCRIPTION	REMARKS
D1	2"x11 @ 16" O.C.	
D2	2"x11 @ 16" O.C.	
D3	2"x11 @ 16" O.C.	

ZONE	DESCRIPTION	REMARKS
S1	2"x11 @ 16" O.C.	
S2	2"x11 @ 16" O.C.	
S3	2"x11 @ 16" O.C.	

ALL BEAM WALLS TO BE PERMIT SCHEDULED  
 ALL BEAM WALLS TO BE PERMIT SCHEDULED  
 ALL BEAM WALLS TO BE PERMIT SCHEDULED  
 ALL BEAM WALLS TO BE PERMIT SCHEDULED  
 ALL BEAM WALLS TO BE PERMIT SCHEDULED

REV	DESCRIPTION	DATE
0	ISSUED FOR PERMIT	MAY 13, 2022
1	REVISION FOR PERMIT	JUNE 21, 2022
2	REVISION FOR PERMIT	JUNE 23, 2022
3	REVISION FOR PERMIT	FEB 14, 2024
4	REVISION FOR PERMIT	APRIL 26, 2024

**PROPOSED RESIDENCE FOR GURPREET HEER**

**GS Dhesi & Associates Consulting Engineers**

100 KENNEDY ROAD, SUITE 100, RICHMOND, BC V6V 2G9  
 TEL: (604) 273-1600  
 FAX: (604) 273-1601  
 www.gsdesi.com

PROJECT: COST: PART 1 & PART 2: 1001212

DATE: MAY 13, 2022

SCALE: 1/4" = 1'-0" (AS SHOWN FOR ALL SHEETS)

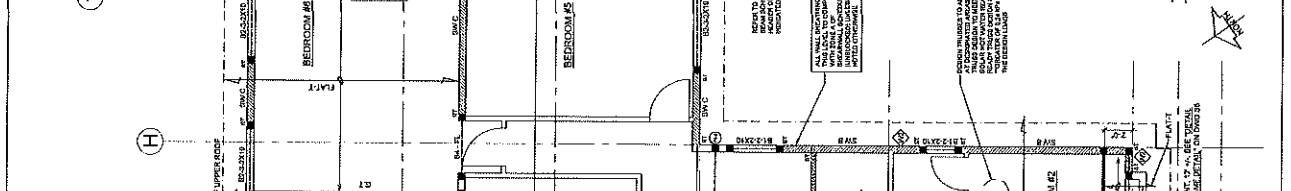
DRAWN BY: DS

CHECKED BY: DS

PROJECT NO: 20194

DRAWING NO: **S4**

NO. OF SHEETS: 4



**TOP FLOOR PLAN WITH ROOF FRAMING OVER**

ROOF TRUSS BRIDGE IS BASED ON THE TRUSS MANUFACTURER'S RECOMMENDATIONS. BASED ON A PLAT REVISION BY THE TRUSS MANUFACTURER, THE TRUSS BRIDGE IS BASED ON THE TRUSS MANUFACTURER'S RECOMMENDATIONS. THE TRUSS BRIDGE IS BASED ON THE TRUSS MANUFACTURER'S RECOMMENDATIONS. THE TRUSS BRIDGE IS BASED ON THE TRUSS MANUFACTURER'S RECOMMENDATIONS.

REFER TO ARCHITECTURAL DWG# 1 FOR DIMENSIONS. (DO NOT SCALE)

SEE ARCHITECTURAL DWG# 1 FOR DIMENSIONS. (DO NOT SCALE)

**LOAD BRG WALL SCHEDULE**

LABEL	DESCRIPTION	LOADING
WB1	2" X 4 @ 16" O.C.	17.0 PSF
WB2	2" X 4 @ 12" O.C.	22.5 PSF
WB3	2" X 4 @ 10" O.C.	27.0 PSF
WB4	2" X 4 @ 8" O.C.	33.0 PSF

**FOOTING SCHEDULE**

LABEL	DESCRIPTION	SPACING
F1	24" X 24" (TOP) 24" X 36" (BOTTOM)	24" X 24" (TOP) 24" X 36" (BOTTOM)
F2	36" X 36" (TOP) 36" X 48" (BOTTOM)	36" X 36" (TOP) 36" X 48" (BOTTOM)
F3	48" X 48" (TOP) 48" X 60" (BOTTOM)	48" X 48" (TOP) 48" X 60" (BOTTOM)
F4	60" X 60" (TOP) 60" X 72" (BOTTOM)	60" X 60" (TOP) 60" X 72" (BOTTOM)

**POST SCHEDULE**

LABEL	DESCRIPTION	BASE	CAP
P1	4" X 4	CONCRETE	WOOD
P2	6" X 6	CONCRETE	WOOD
P3	8" X 8	CONCRETE	WOOD
P4	10" X 10	CONCRETE	WOOD

**BEAM SCHEDULE**

LABEL	DESCRIPTION	REMARKS
B1	2" X 12 @ 12" O.C.	
B2	2" X 12 @ 16" O.C.	
B3	2" X 12 @ 20" O.C.	
B4	2" X 12 @ 24" O.C.	
B5	2" X 12 @ 28" O.C.	
B6	2" X 12 @ 32" O.C.	
B7	2" X 12 @ 36" O.C.	
B8	2" X 12 @ 40" O.C.	
B9	2" X 12 @ 44" O.C.	
B10	2" X 12 @ 48" O.C.	
B11	2" X 12 @ 52" O.C.	
B12	2" X 12 @ 56" O.C.	

**FLOOR ROOF JOIST SCHEDULE**

LABEL	DESCRIPTION	SPACING
J1	2" X 12 @ 16" O.C.	16" O.C.
J2	2" X 12 @ 20" O.C.	20" O.C.
J3	2" X 12 @ 24" O.C.	24" O.C.
J4	2" X 12 @ 28" O.C.	28" O.C.
J5	2" X 12 @ 32" O.C.	32" O.C.
J6	2" X 12 @ 36" O.C.	36" O.C.
J7	2" X 12 @ 40" O.C.	40" O.C.
J8	2" X 12 @ 44" O.C.	44" O.C.
J9	2" X 12 @ 48" O.C.	48" O.C.
J10	2" X 12 @ 52" O.C.	52" O.C.
J11	2" X 12 @ 56" O.C.	56" O.C.

**DIAPHRAGM SCHEDULE**

ZONE	PLYWOOD SHEATH	BOUNDARY	PANEL CODE	INTERM.	REMARKS
D1	5/8"	2" X 4 @ 16" O.C.	FD 150	NO	
D2	5/8"	2" X 4 @ 12" O.C.	FD 150	NO	
D3	5/8"	2" X 4 @ 10" O.C.	FD 150	NO	
D4	5/8"	2" X 4 @ 8" O.C.	FD 150	NO	

**CEILING SCHEDULE**

LABEL	DESCRIPTION
C1	1/2" GYP
C2	5/8" GYP
C3	1" GYP
C4	1 1/2" GYP
C5	2" GYP

**WALL SCHEDULE**

LABEL	DESCRIPTION
W1	5/8" GYP
W2	1" GYP
W3	1 1/2" GYP
W4	2" GYP

**FLOOR FINISH SCHEDULE**

LABEL	DESCRIPTION
F1	1" POLYURETHANE
F2	1/2" POLYURETHANE
F3	3/4" POLYURETHANE
F4	1" POLYURETHANE
F5	1 1/2" POLYURETHANE
F6	2" POLYURETHANE

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	APRIL 18, 2022
2	REVISIONS FOR COMMENTS	JUNE 17, 2022
3	REVISIONS FOR COMMENTS	APRIL 15, 2022
4	REVISIONS FOR COMMENTS	APRIL 15, 2022
5	REVISIONS FOR COMMENTS	APRIL 15, 2022

**GILL DRAFTING**

ENGINEERING CONSULTANT:  
**GS Dresi & Associates**  
Consulting Engineers  
10000 West 11th Avenue  
Suite 200  
Denver, Colorado 80233  
Phone: (303) 750-1111  
www.gsdrresi.com

PROJECT:  
GUSCO Parks to Phase 2 1000132

PROPOSED RESIDENCE  
FOR GURPREET MEER

DATE: MAY 12, 2022

SCALE: 1/4" = 1'-0" (AS PER PLAN NOTED)

DRAWN: [Signature]

CHECKED: [Signature]

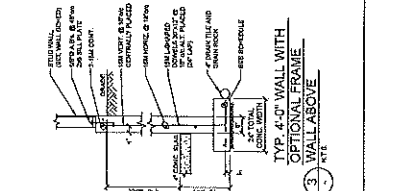
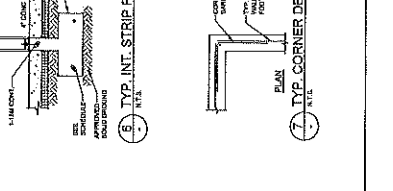
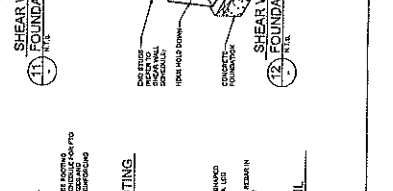
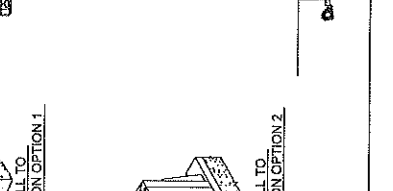
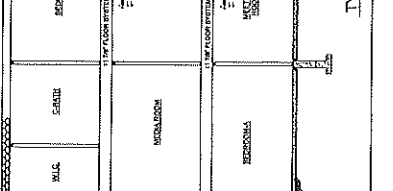
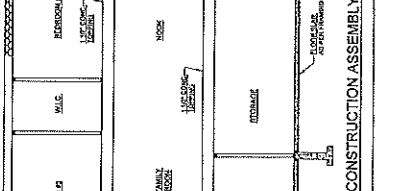
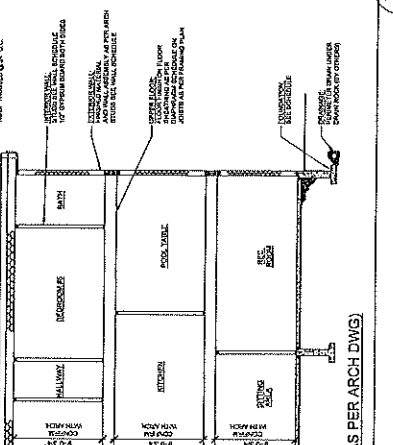
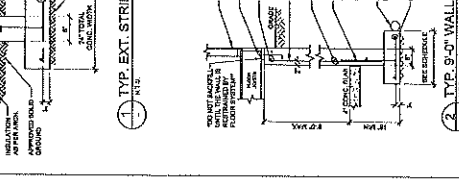
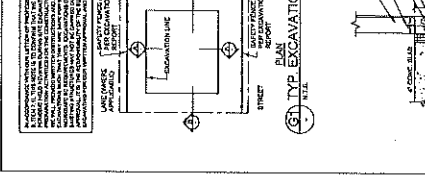
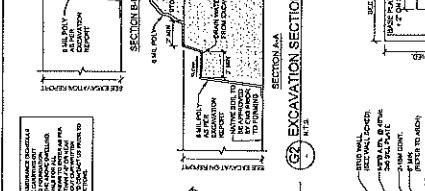
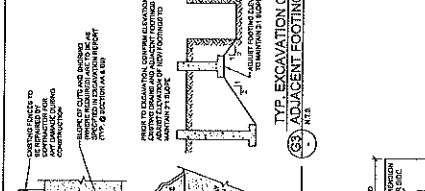
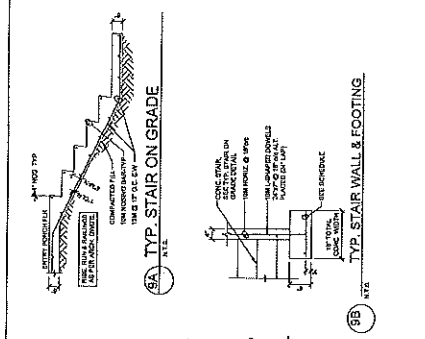
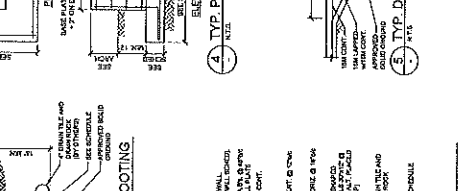
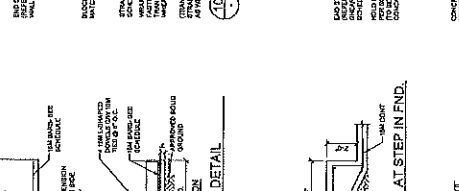
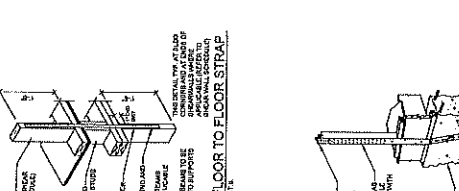
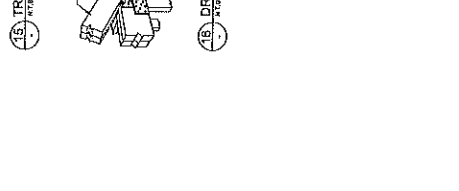
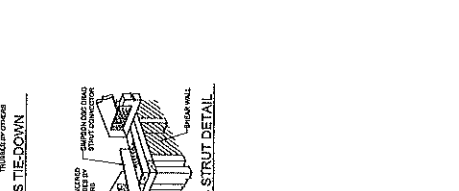
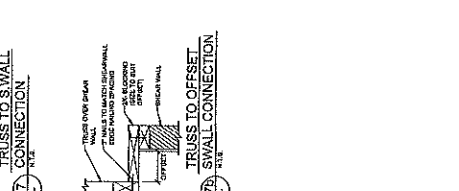
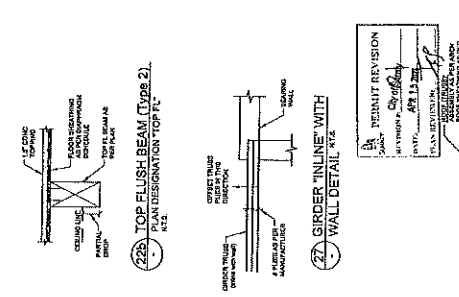
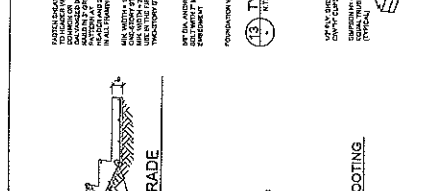
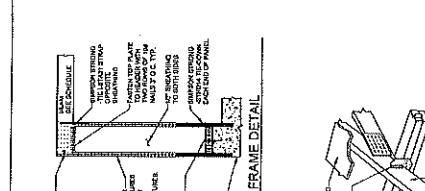
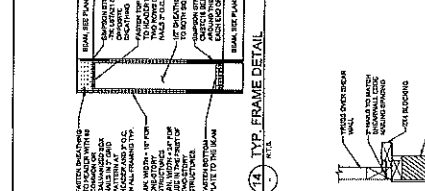
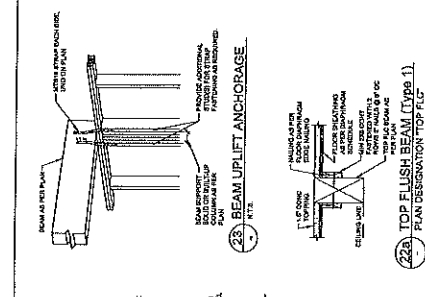
PROJECT NO: 22019

REVISIONS: 05

DATE: APR 18 2022

S5

OF 4





PLANNING AND DEVELOPMENT DEPT.  
**BUILDING DIVISION**

# FINAL BUILDING APPROVAL

Date: Sep 04, 2024 11:32

**Address:** 9040 Skye Pl  
REVISION 1  
SINGLE FAMILY DWELLING  
ENERGY STEP 3

**Legal Description:** LT 147 SE SEC 32 T2 PL 49315

**Permit Number:** 22-019137-000-01

**Permit Type:** Residential C-S-Single Family-New

Page 1 of 1

A handwritten signature in black ink, appearing to read "Kyle May".

Kyle May

Please allow 3-4 weeks from the date of Final Building Approval to process damage deposit refunds.





Photograph 3





**SURREY**  
9040 SAGE TR  
Oct 23 24 12 19 PM  
**STOP WORK ORDER**

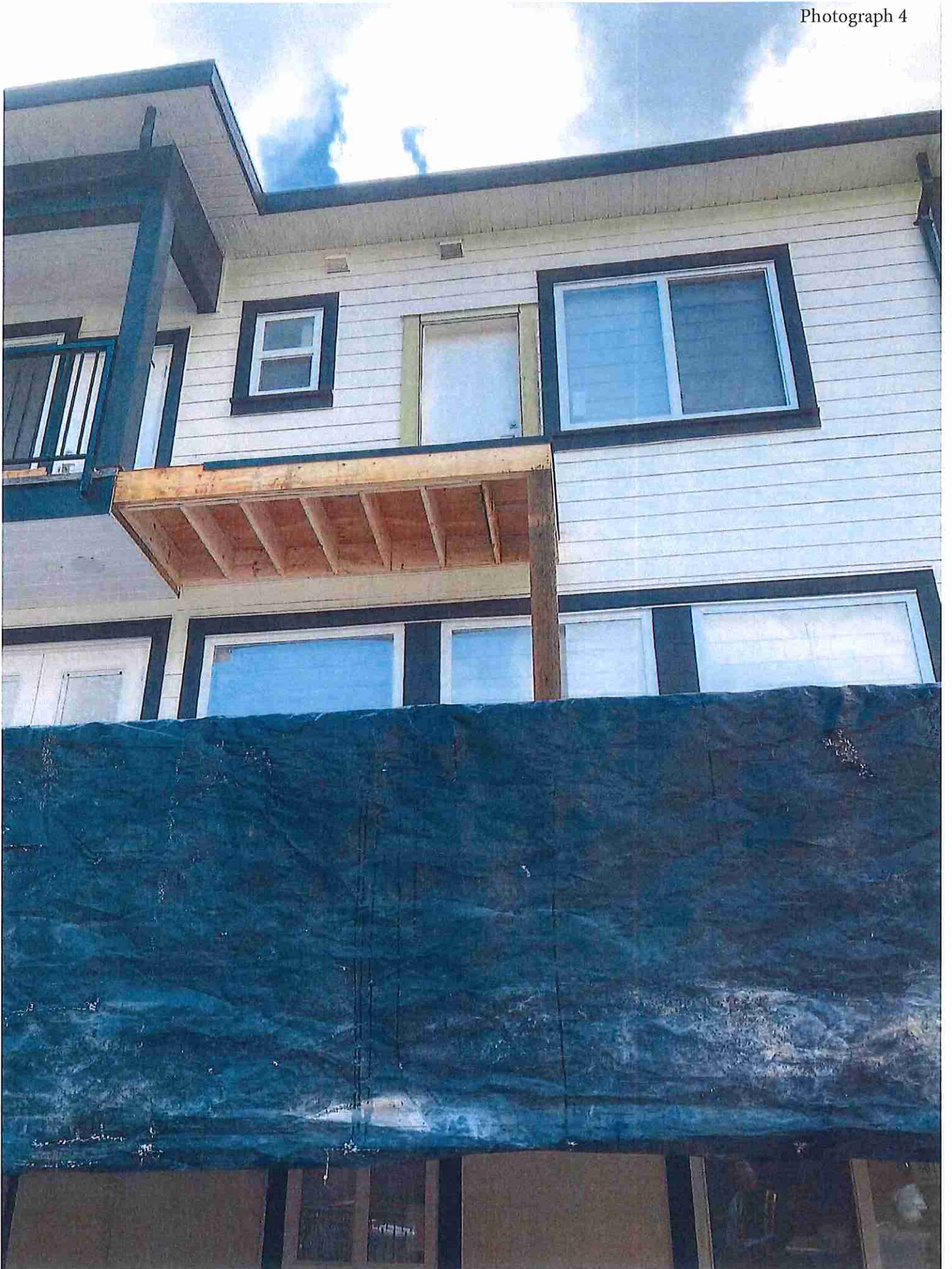
**SURREY**  
**IMPORTANT NOTICE**  
9040 SAGE TR Oct 23/24  
As a result of an inspection of  
the site work for all 2214 units at this site, it was found that the  
property owner was not following the approved  
plans and specifications for the project.  
The work must be stopped immediately until the  
owner provides a satisfactory explanation and  
corrective action plan to the satisfaction of the  
City of Surrey.  
If you are the owner, please contact the City of Surrey  
at (604) 593-1111 for more information.  
If you are a contractor, please contact the City of Surrey  
at (604) 593-1111 for more information.  
If you are a resident, please contact the City of Surrey  
at (604) 593-1111 for more information.  
If you are a tenant, please contact the City of Surrey  
at (604) 593-1111 for more information.  
If you are a visitor, please contact the City of Surrey  
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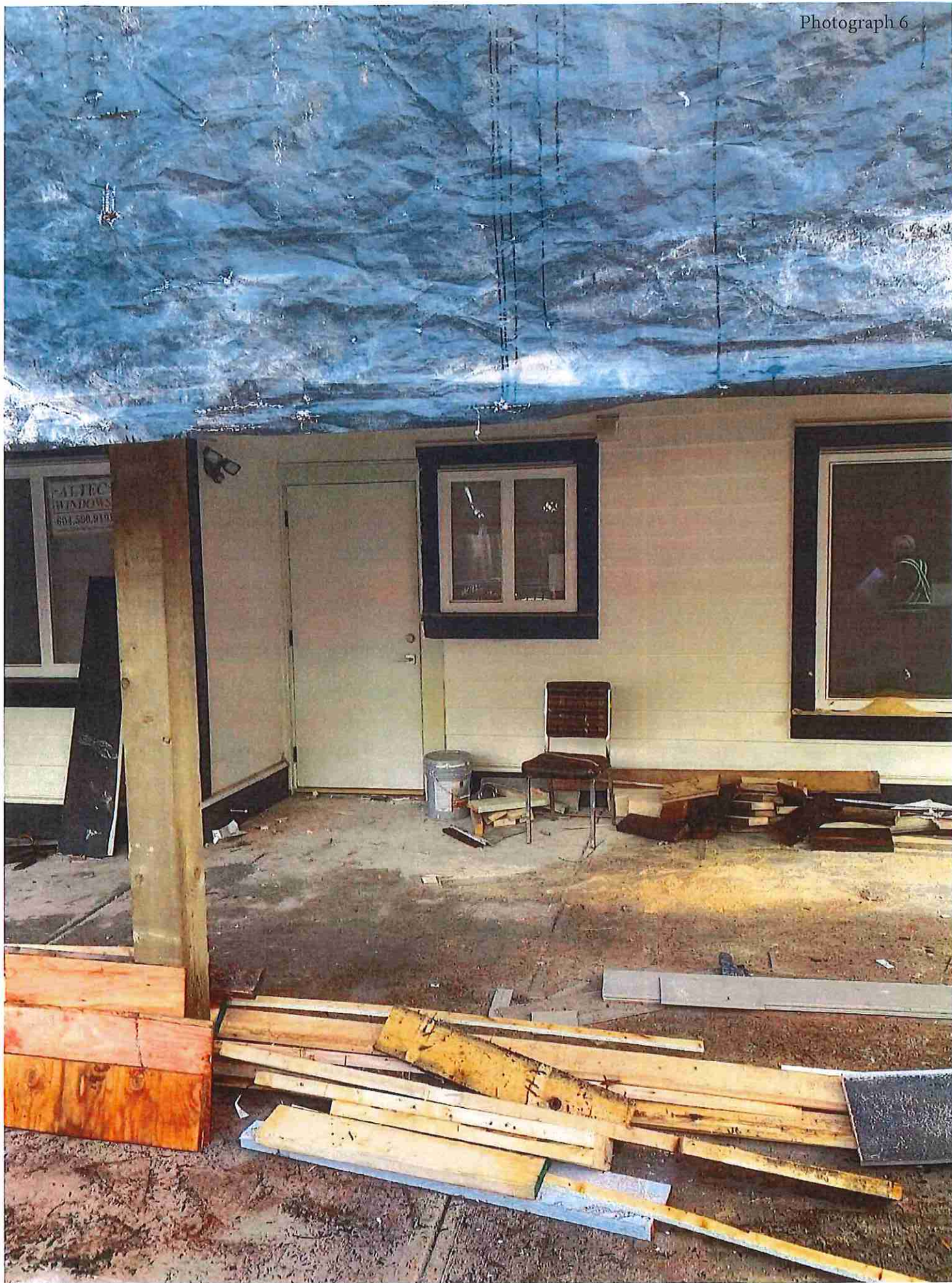
Photograph 4



Photograph 5



Photograph 6



Photograph 7

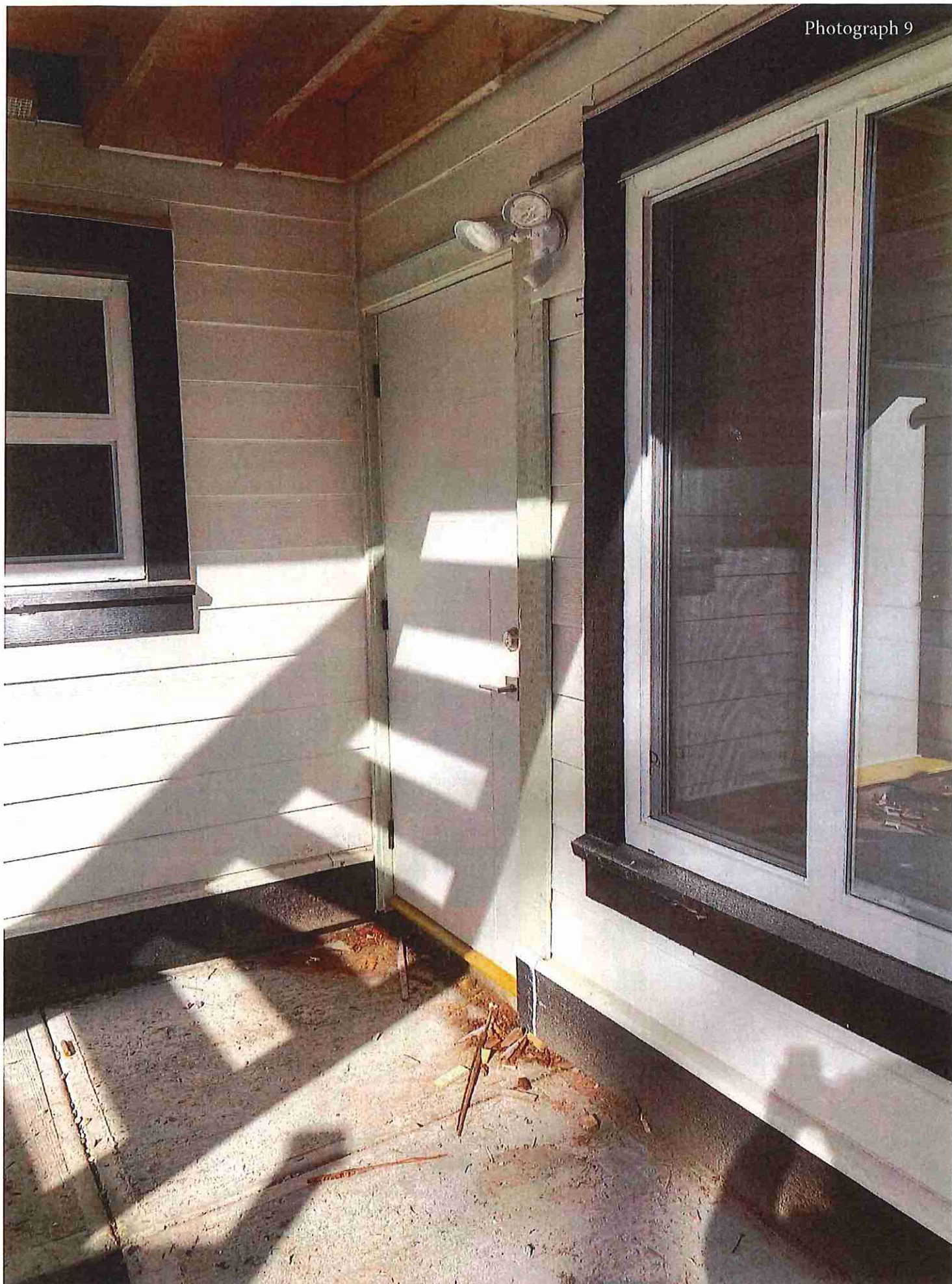


Photograph 8





Photograph 9



Photograph 10





the future lives here.

**VIA REGISTERED MAIL (RN 721 630 814 CA)**

October 23, 2024

File: 09040-13310

GURPREET S HEER  
 NAVNEET K HEER  
 9040 SKYE PLACE  
 SURREY BC V3V 6T6

Dear Gurpreet S Heer and Navneet K Heer:

**Re: 9040 SKYE PLACE - UNAUTHORIZED CONSTRUCTION**

An Inspection conducted by the City of Surrey's Building Division on October 22, 2024, indicated that a large addition for extra interior floor space was added to the rear, as well as a large deck, multiple exterior doors, and deck entrances have been added to the exterior of the dwelling, and secondary suite(s) (the "Works") have been constructed without valid building permits [and are being occupied without valid occupancy permits] in contravention of *Surrey Building Bylaw, 2012, No. 17850* (the "*Bylaw*").

Pursuant to Section 19 of the *Bylaw*, you are hereby ordered to do the following **on or before November 25, 2024:**

- 1) Submit to the City of Surrey's Building Division a building permit application for the demolition of the Works, along with all required documents and information, as required by the *Bylaw*; **and**
- 2) Perform the demolition of the Works in accordance with the permit issued by the City of Surrey and applicable laws.

We will review the City's file after the above deadline to ascertain whether you have complied with this order. **Failure to comply with this order is a breach of Section 96 of the *Bylaw* and will result in further action, including legal proceedings, being taken by the City to enforce compliance with the *Bylaw*.**

Please be advised that under Section 73 of the *Bylaw*, the Works must not be used or occupied until you have applied for and obtained a valid occupancy permit for the Works.

Should you require further information, kindly contact the Front Counter in Planning & Development at 604-591-4086.

Regards,

Jon Milloy, RBO  
 Manager, Building Inspection Section  
 /arb

Planning & Development Department | 13450 - 104 Avenue | Surrey, British Columbia, Canada | V3T 1V8  
 T 604.591.4441 F 604.591.2507 www.surrey.ca

**From:** [REDACTED]  
**Sent:** November 1, 2024 10:19 AM  
**To:** Building Violations <BuildingViolations@surrey.ca>  
**Subject:** 9040 Skye pl.

Good morning Sir/madam,

My name is Gurpreet Heer and own my house at 9040 Skye pl. A stop work notice has been put at the house. Also building inspector has been here multiple times to put orange sticker. I have never had issue with city before and have no knowledge how to go about this stop work. Also sometimes work out of town. The situation is very stressful for me so please want to personally talk with someone. So came to second floor at city hall and at reception they told me to email here. So please I would like to request an appointment to see someone and talk about it. Thank you.

Regards,

Gurpreet heer

[REDACTED]

Get [Outlook for Android](#)

**From:** [Building Violations](#)  
**To:** [gurpreet\\_singh](#)  
**Subject:** RE: Stop Work Notice | 9040 Skye Place  
**Date:** November 4, 2024 11:31:40 AM  
**Attachments:** [image001.png](#)

---

Hi Gurpreet,

The City of Surrey's Building Division completed a search in the database and found that a Stop Work Order was posted October 22, 2024, due to a large addition and deck have been constructed without valid building permits.

A building permit application is to be submitted to normalize the outstanding violation. For more information on how to submit a permit application, please review the links provided below.

For interior renovation work, please refer

to [https://www.surrey.ca/sites/default/files/media/documents/BP\\_Interior\\_Renovation.pdf](https://www.surrey.ca/sites/default/files/media/documents/BP_Interior_Renovation.pdf)

For additions constructed to the dwelling, please refer

to [https://www.surrey.ca/sites/default/files/media/documents/BP\\_for\\_Addition.pdf](https://www.surrey.ca/sites/default/files/media/documents/BP_for_Addition.pdf)

For accessory buildings constructed, please refer

to [https://www.surrey.ca/sites/default/files/media/documents/BP\\_for\\_detached\\_garage.pdf](https://www.surrey.ca/sites/default/files/media/documents/BP_for_detached_garage.pdf)

The City appreciates your efforts in normalizing the unauthorized construction. In order to move forward, please submit the requirements detailed in the links provided above as soon as possible.

Once the documents are submitted and accepted at the City, someone from our team will reach out to provide further steps.

Please contact our Customer Service team at 604-591-4086 for more information.

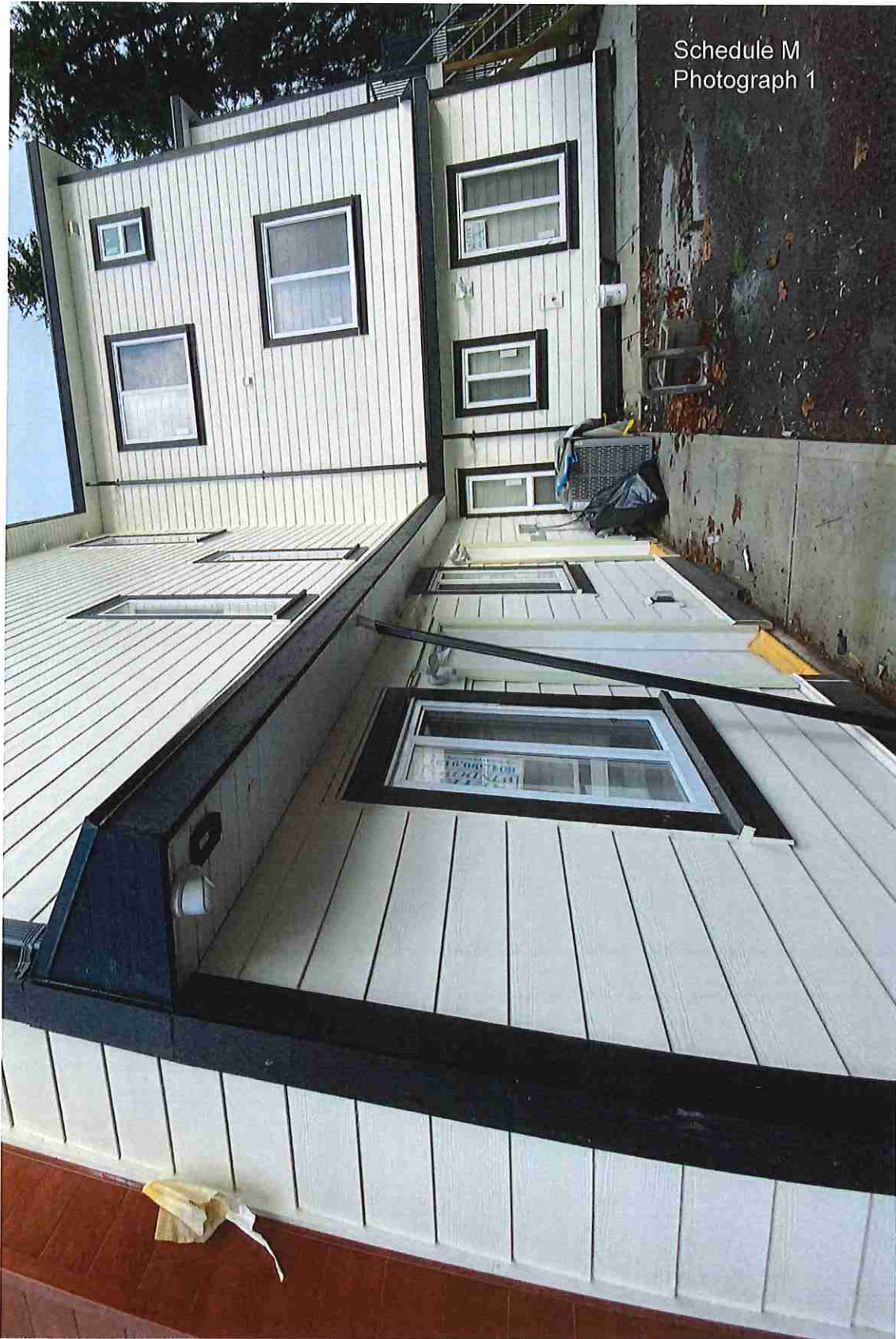
Regards,

Building Violations | Building Division

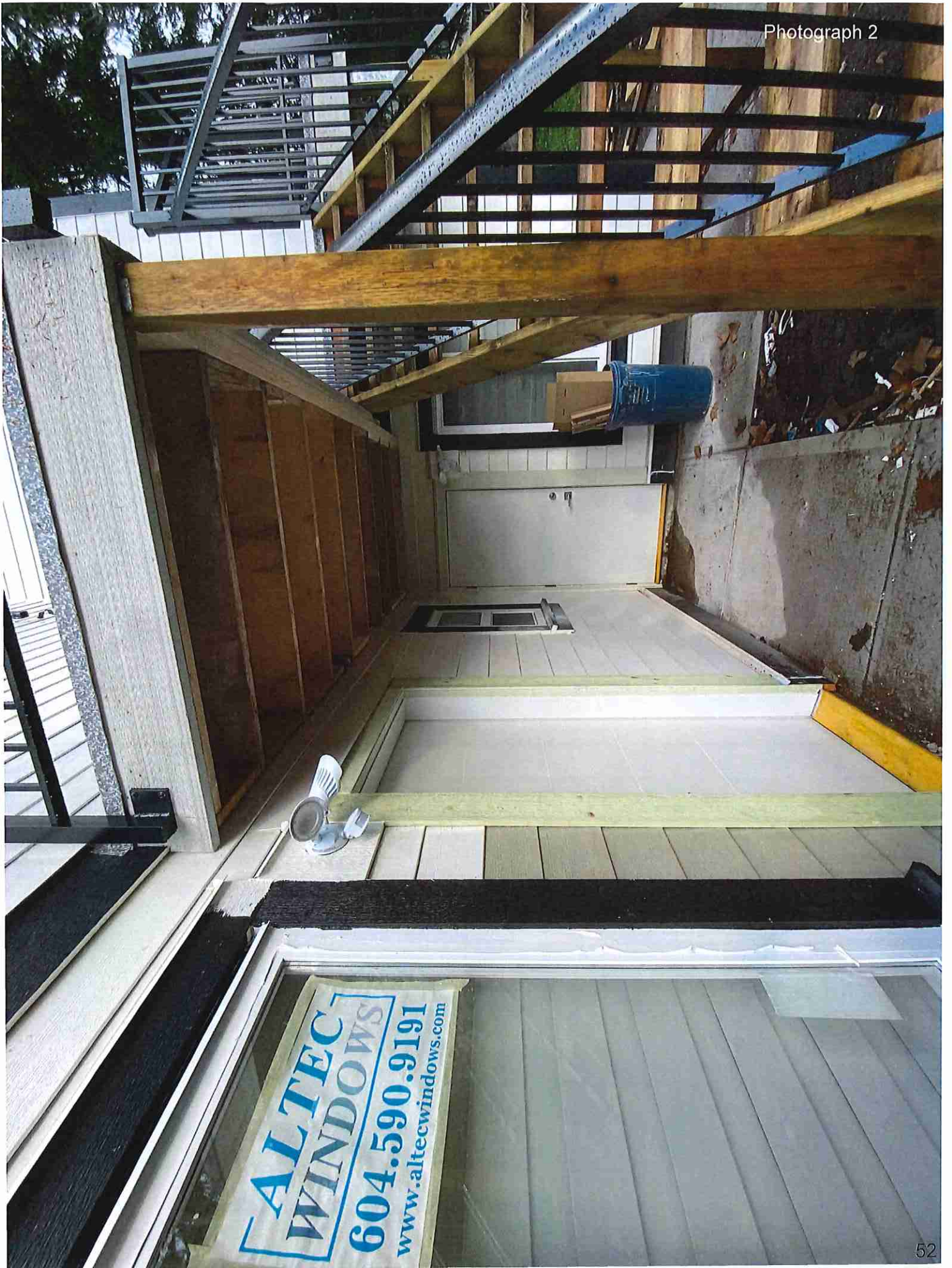


**CITY OF SURREY**  
Planning & Development Department  
13450 104th Ave, Surrey, BC, Canada V3T 1V8  
[www.surrey.ca](http://www.surrey.ca)

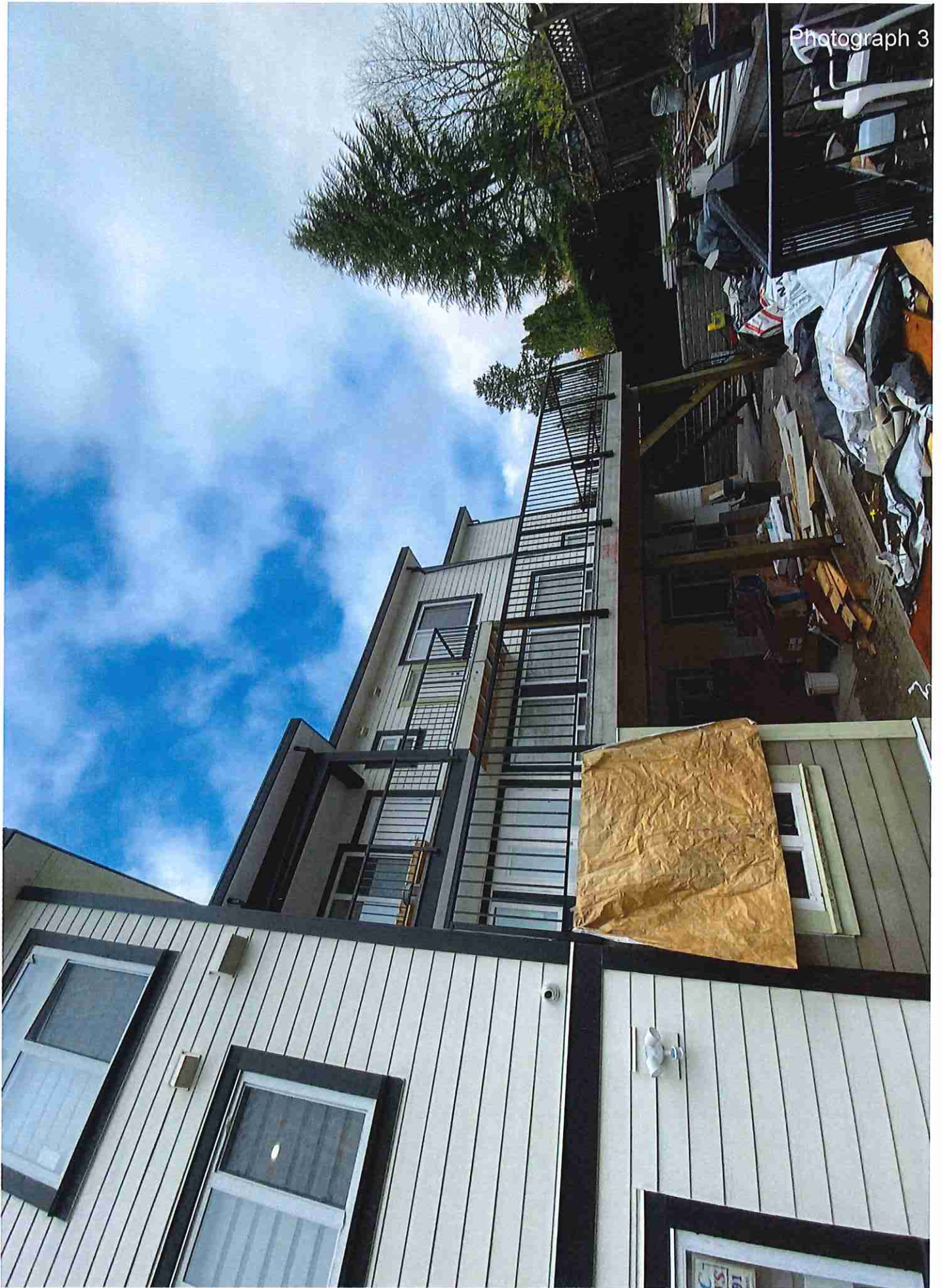
Schedule M  
Photograph 1



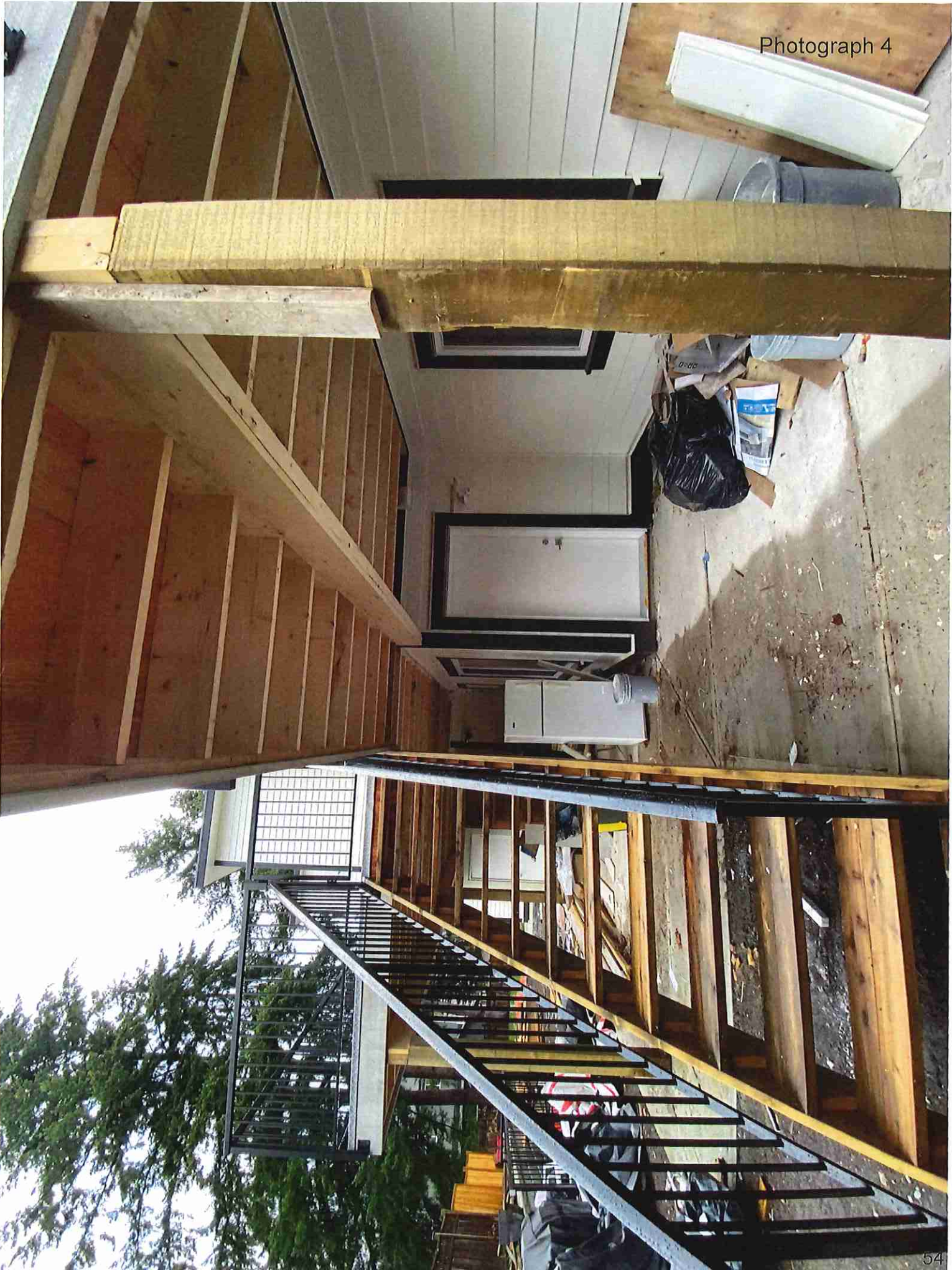
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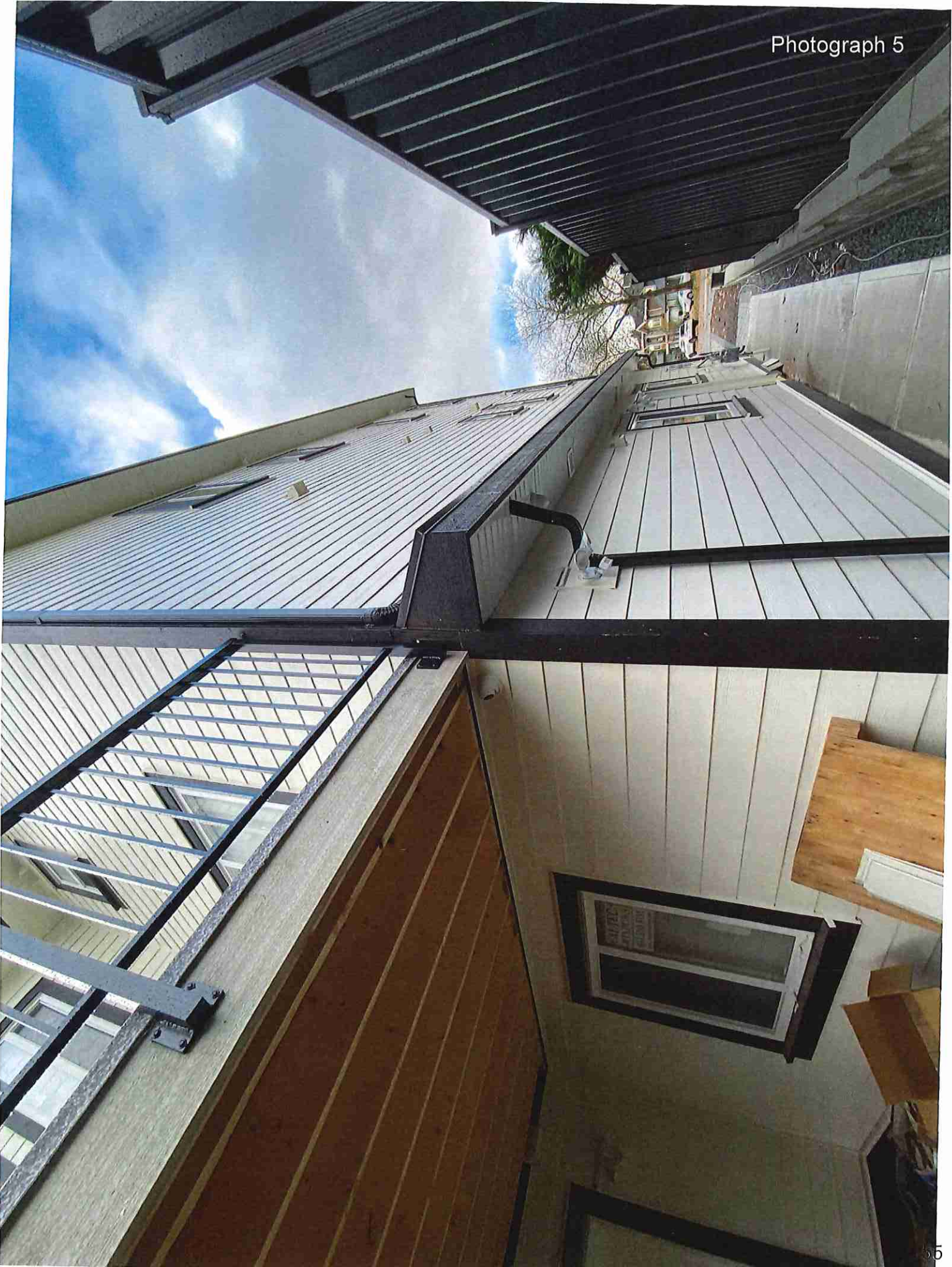




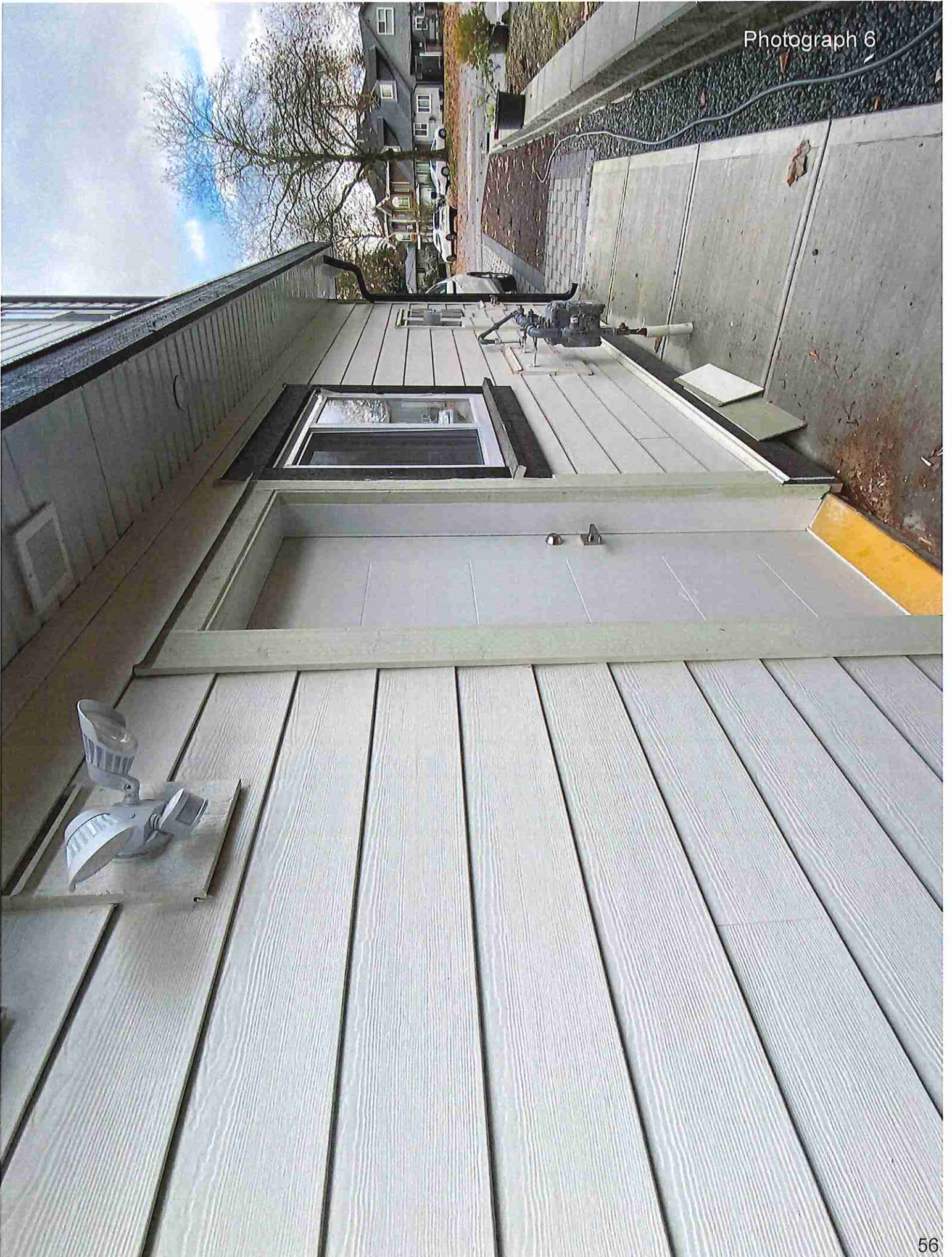
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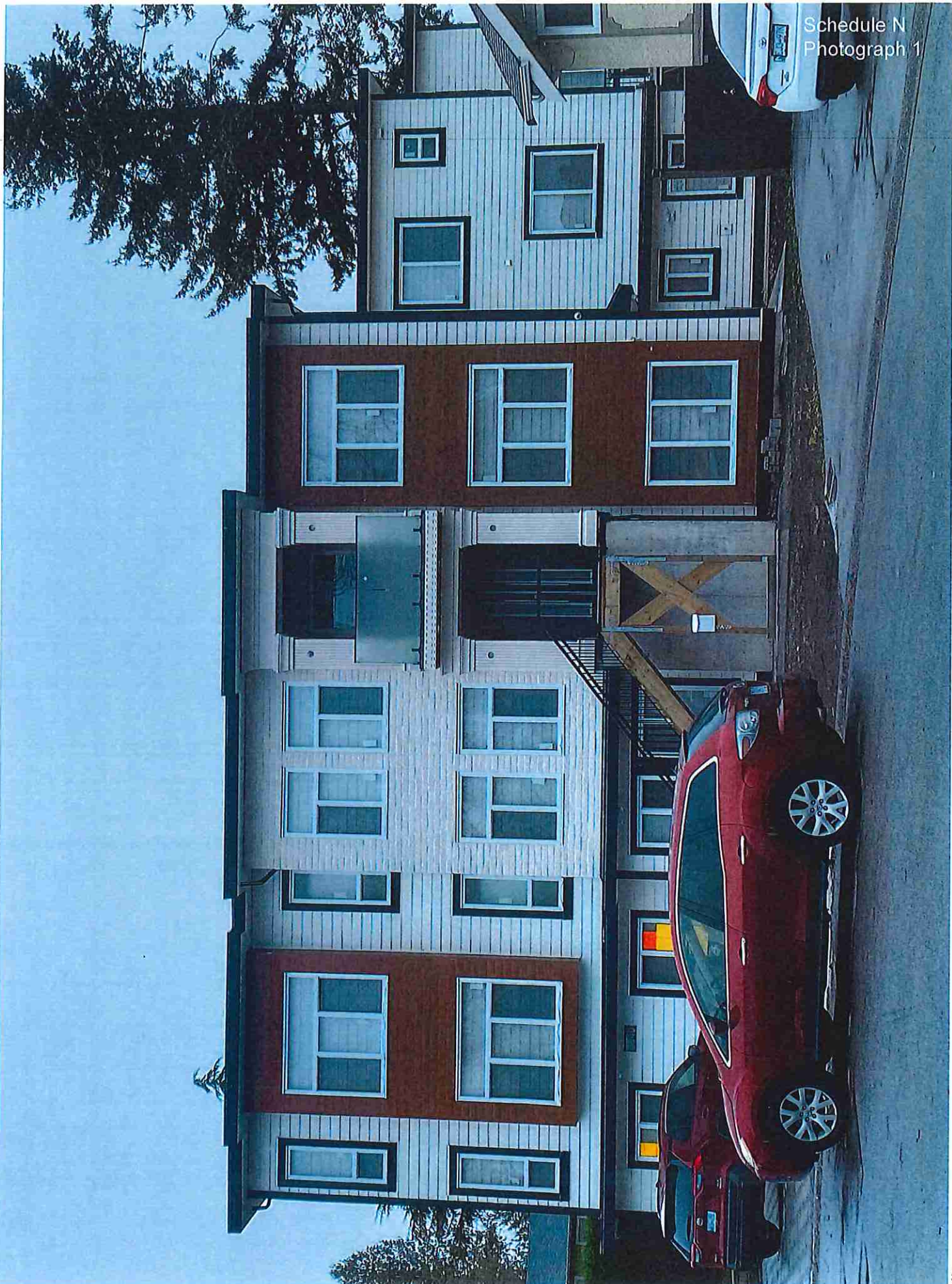


Photograph 5



Photograph 6





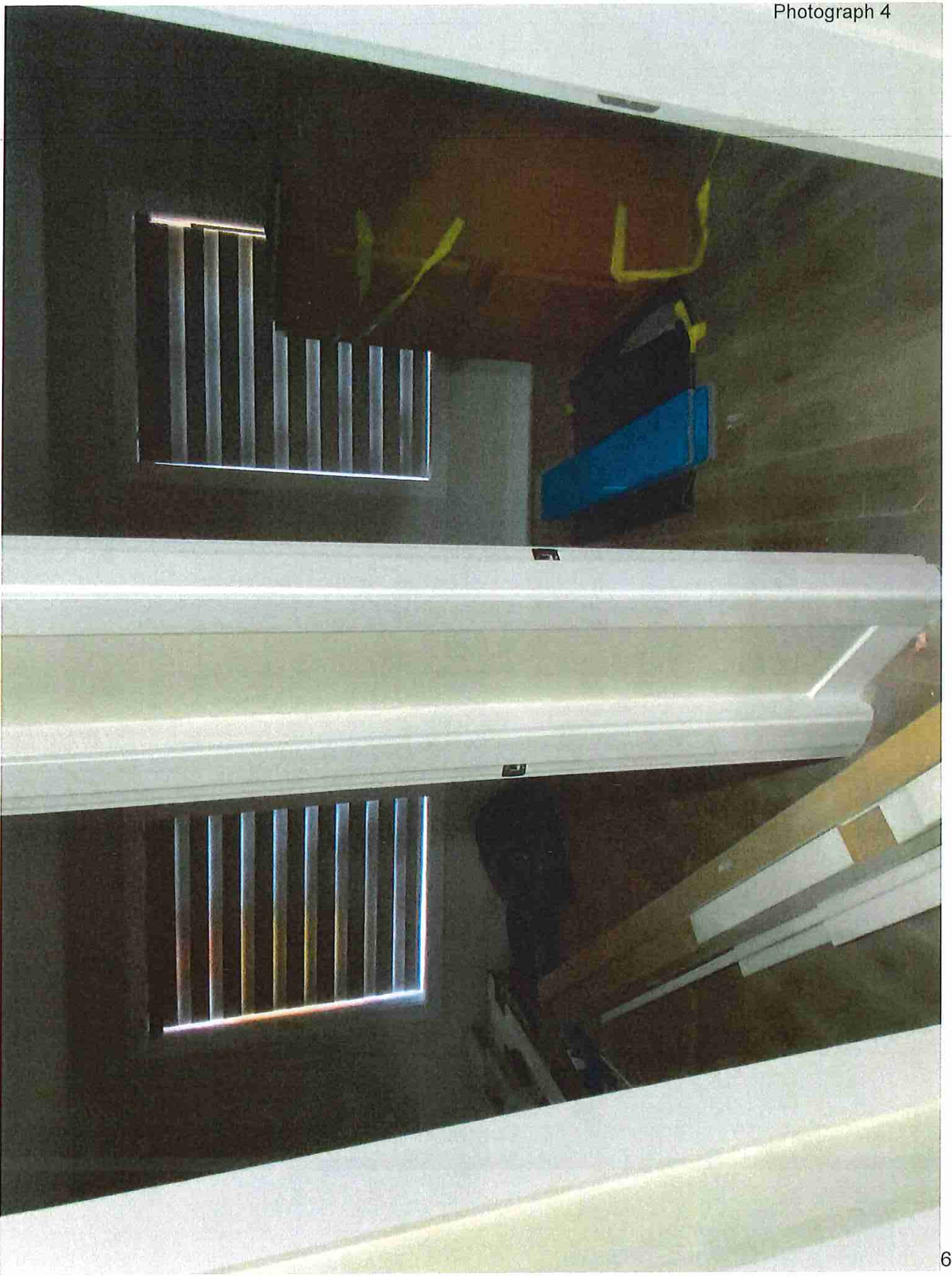
Photograph 2



Photograph 3

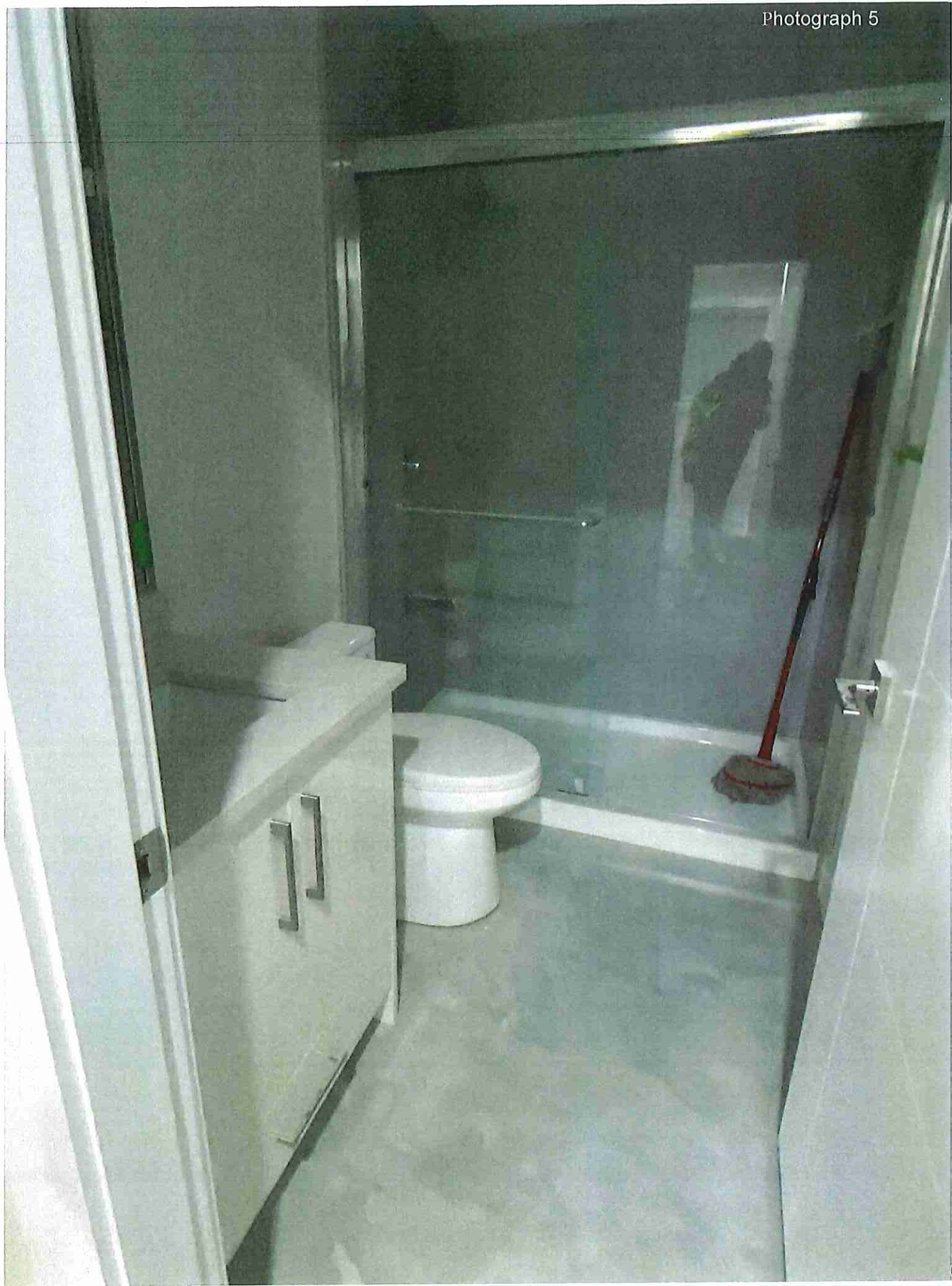


Photograph 4





Photograph 5



Photograph 6





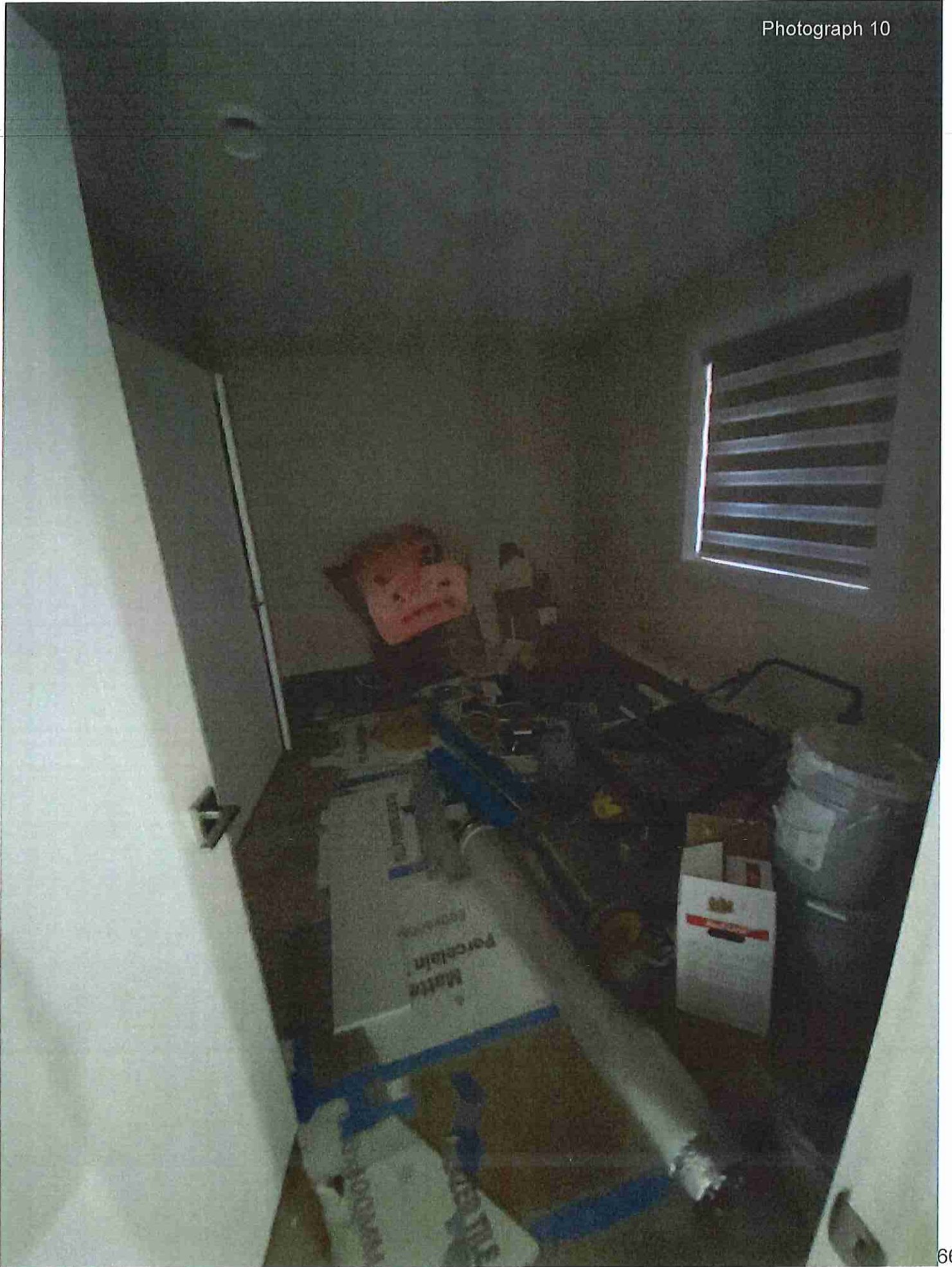
Photograph 8



Photograph 9



Photograph 10



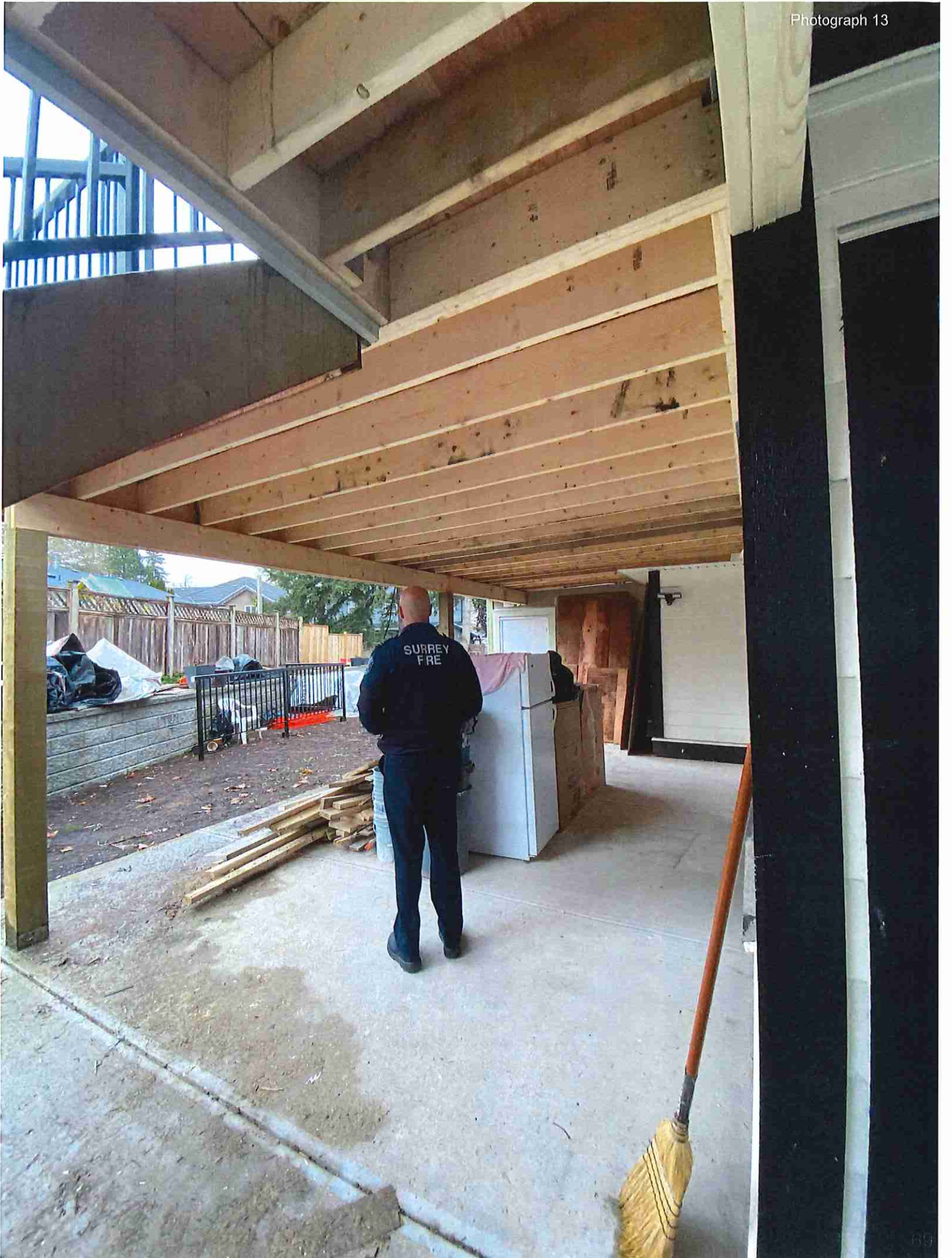
Photograph 11



Photograph 12



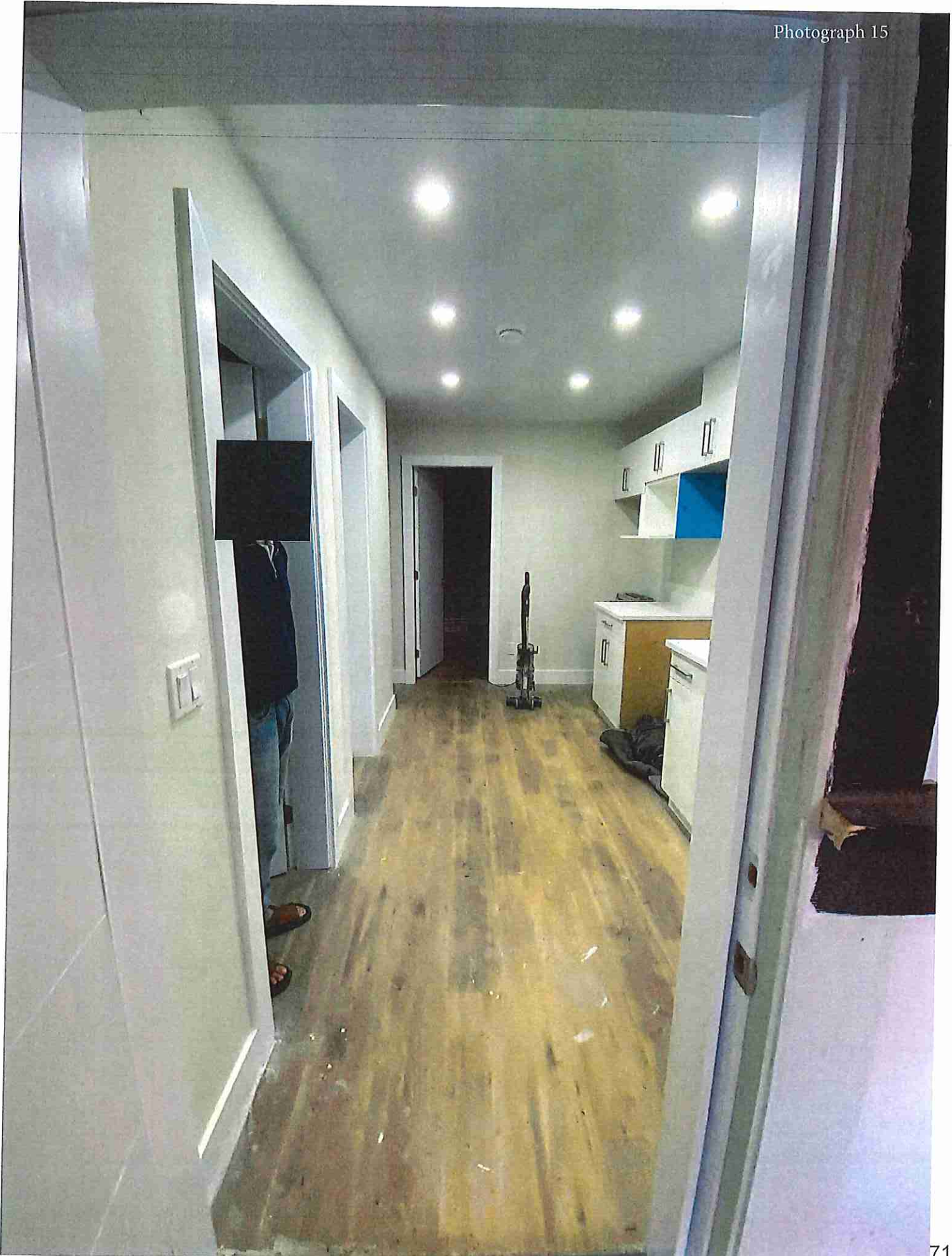




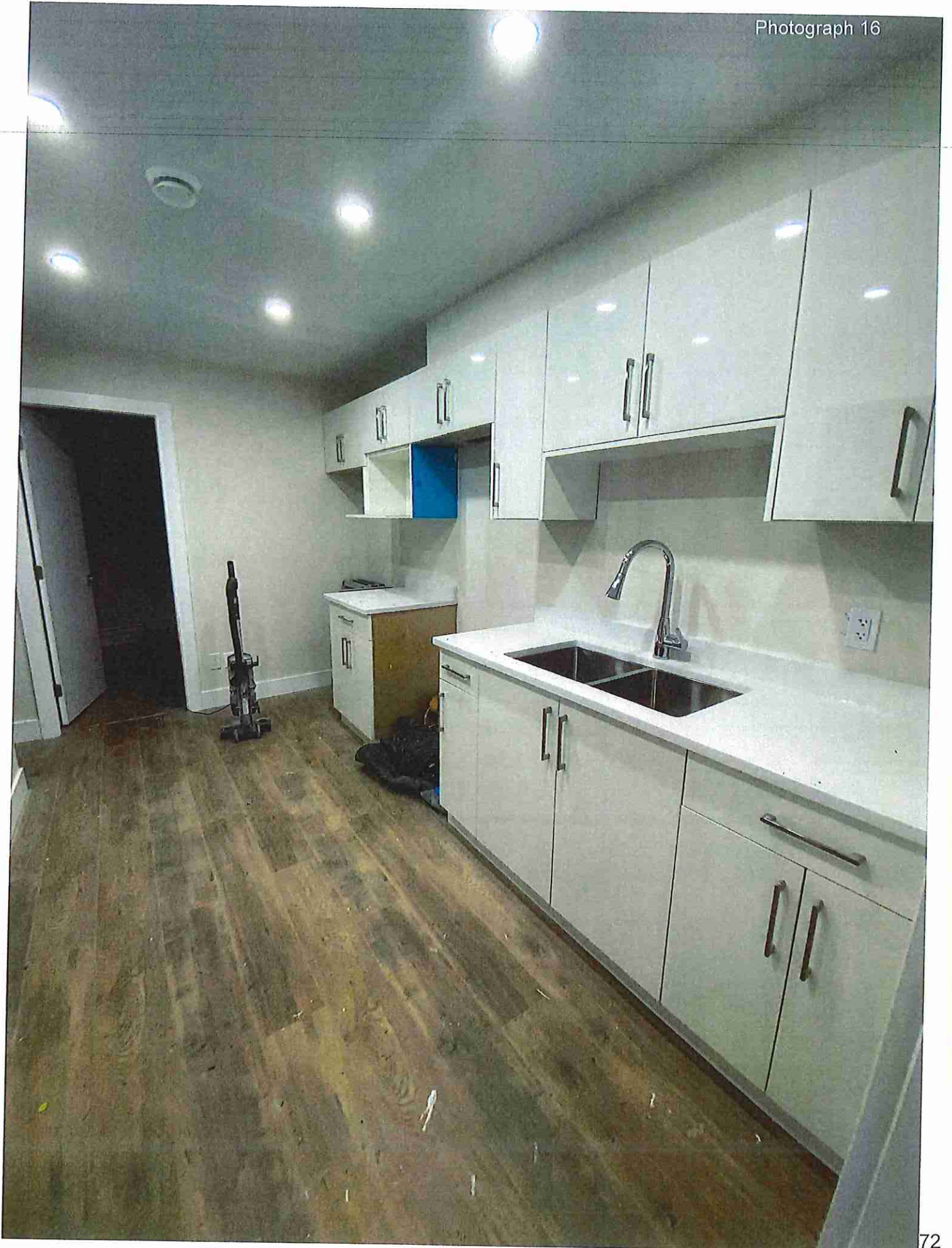
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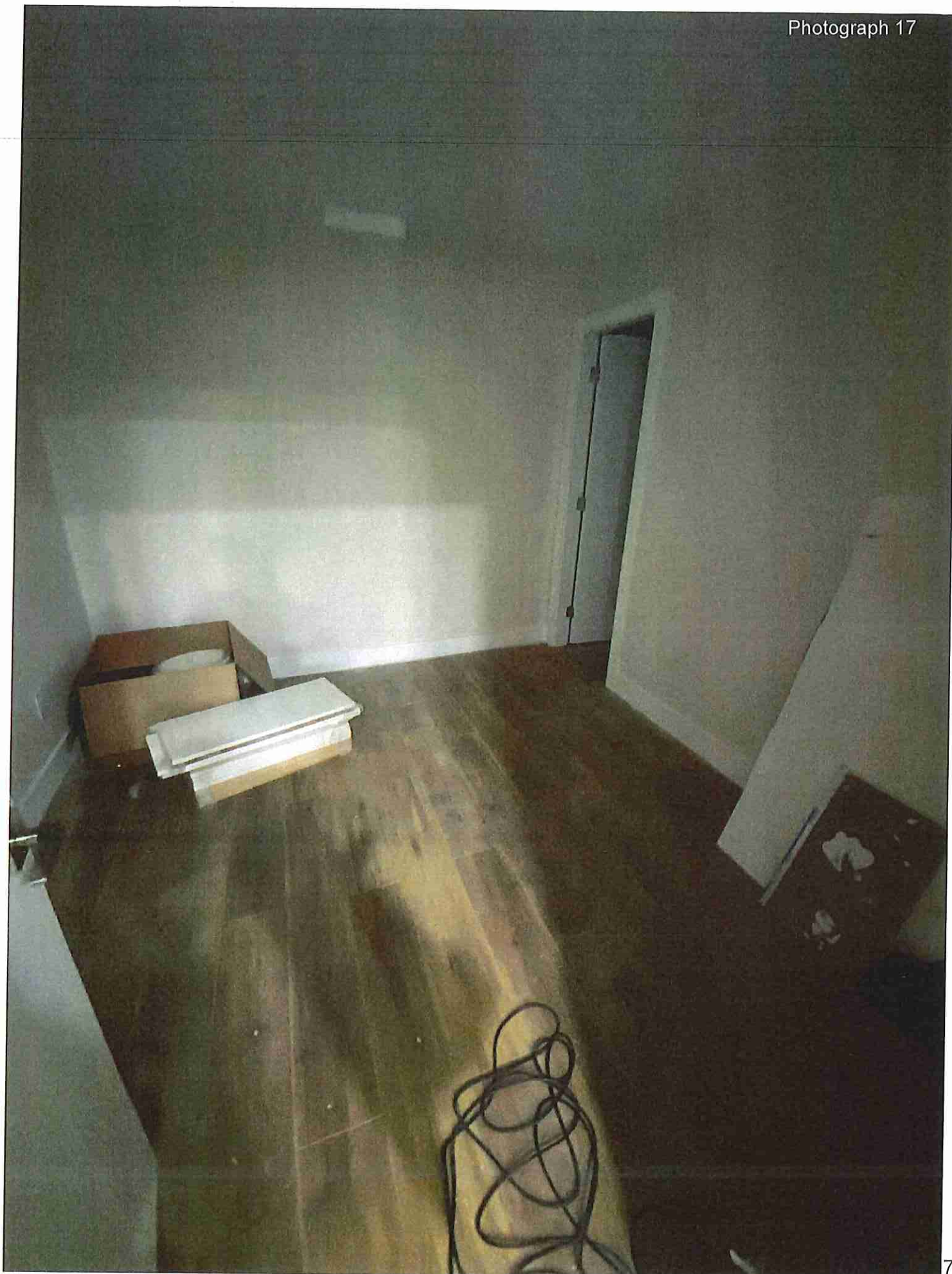
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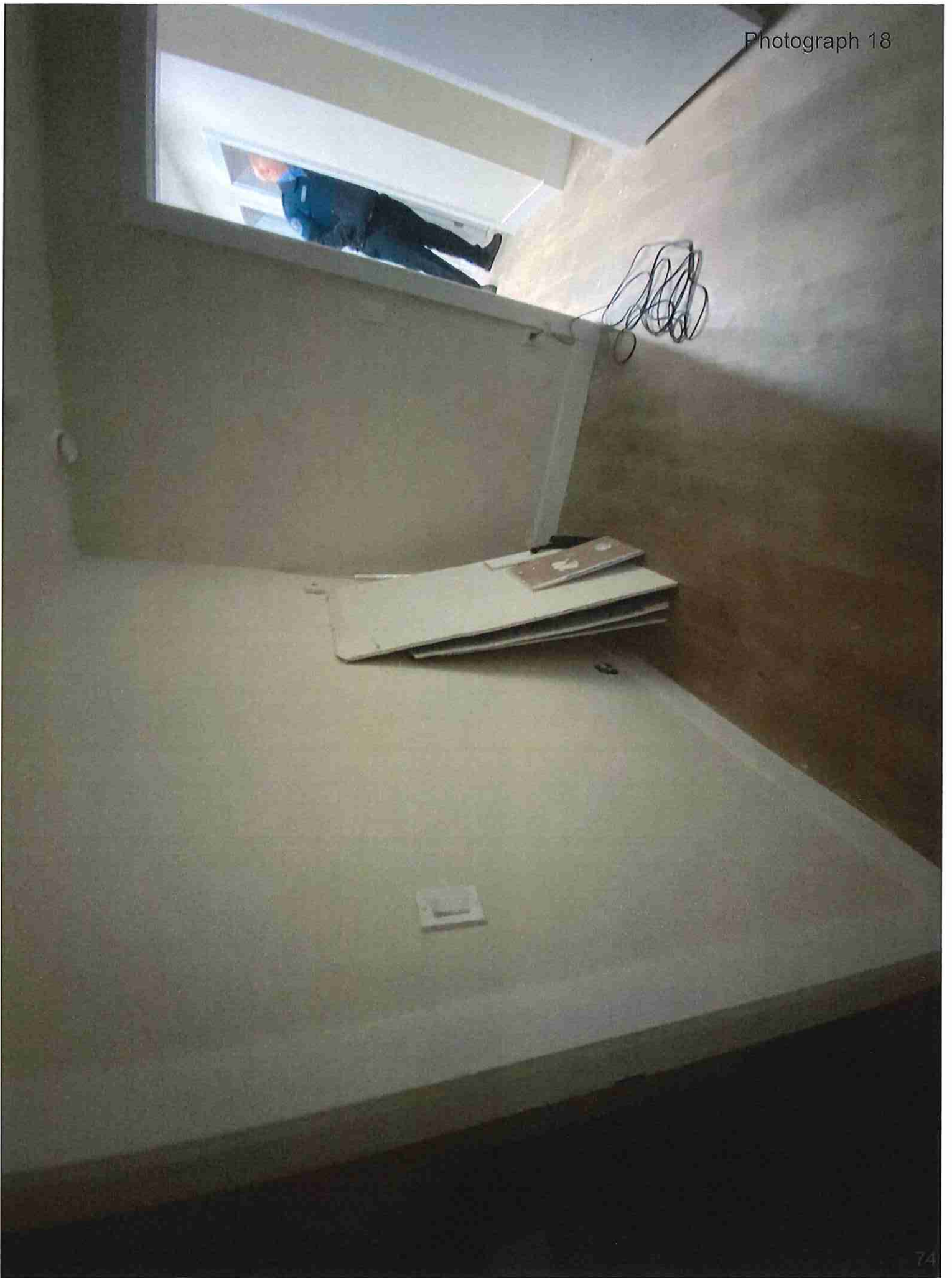
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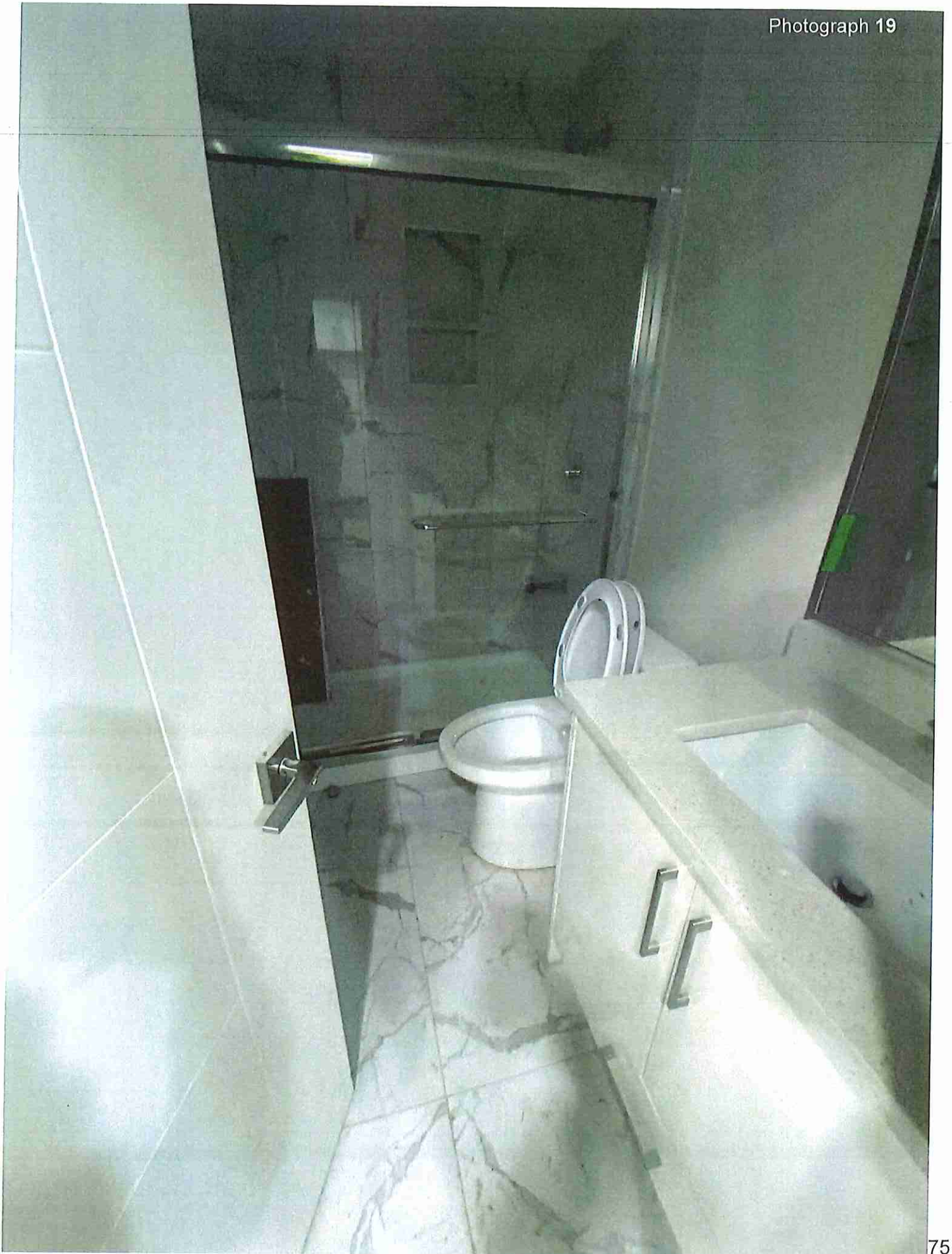
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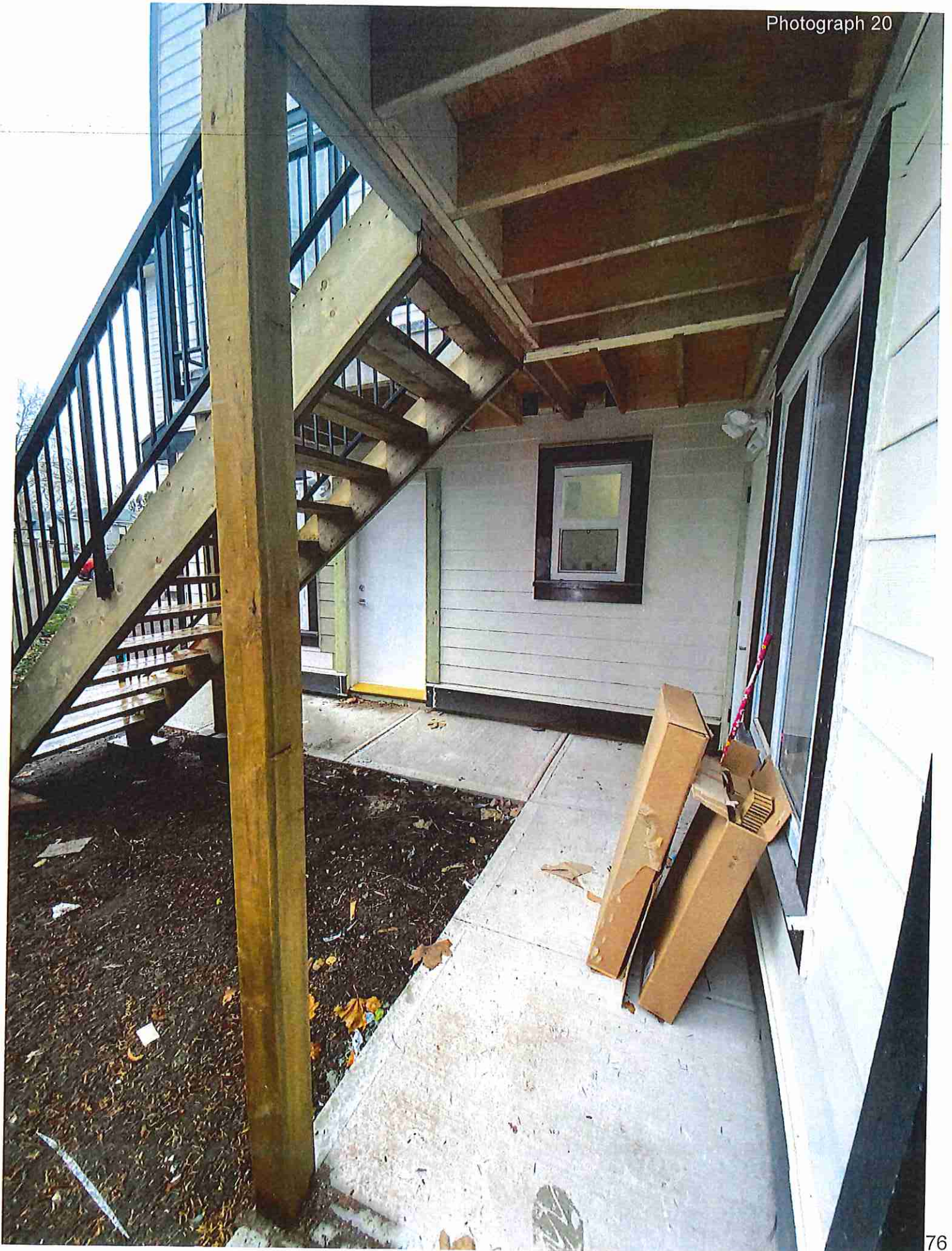
Photograph 18



Photograph 19

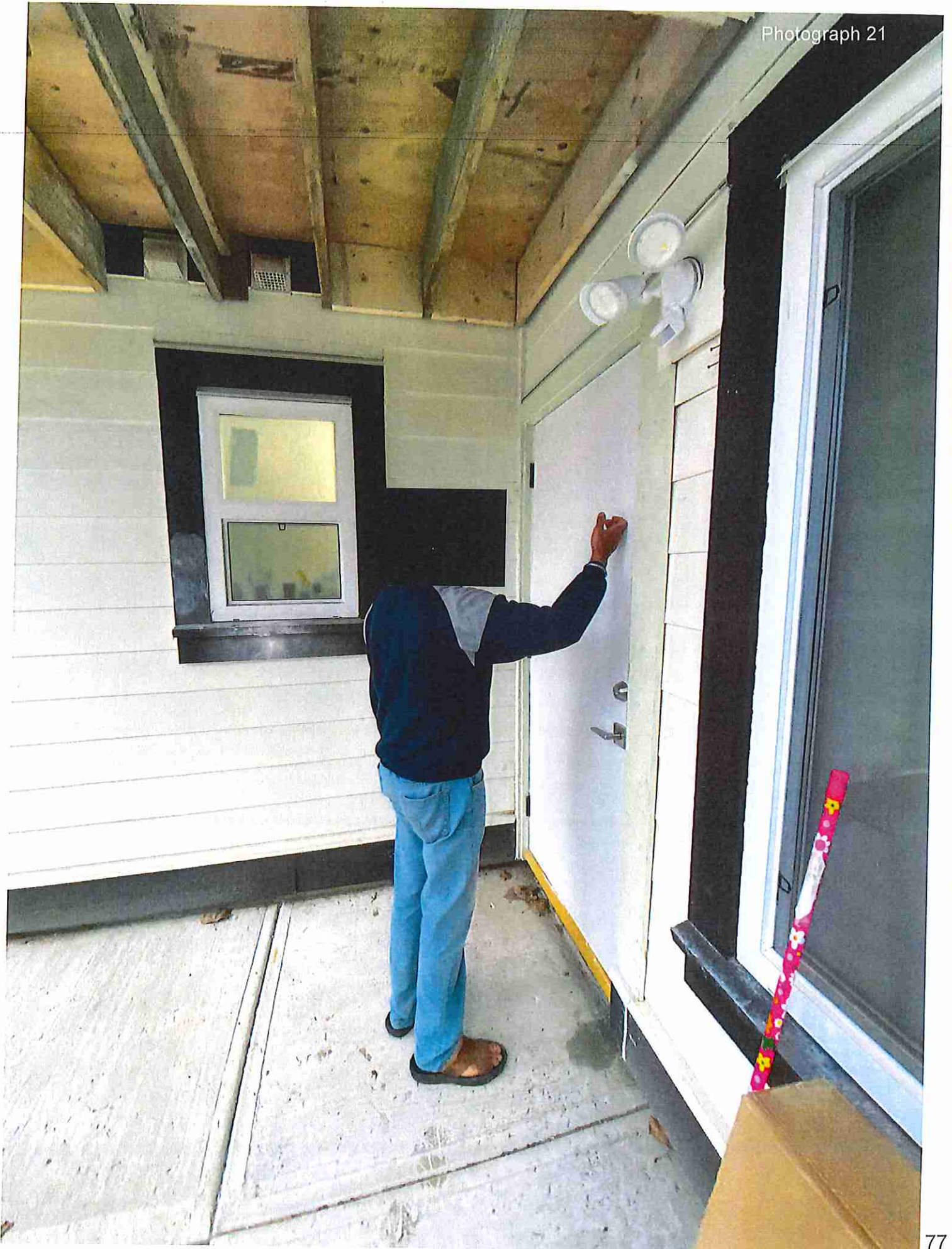


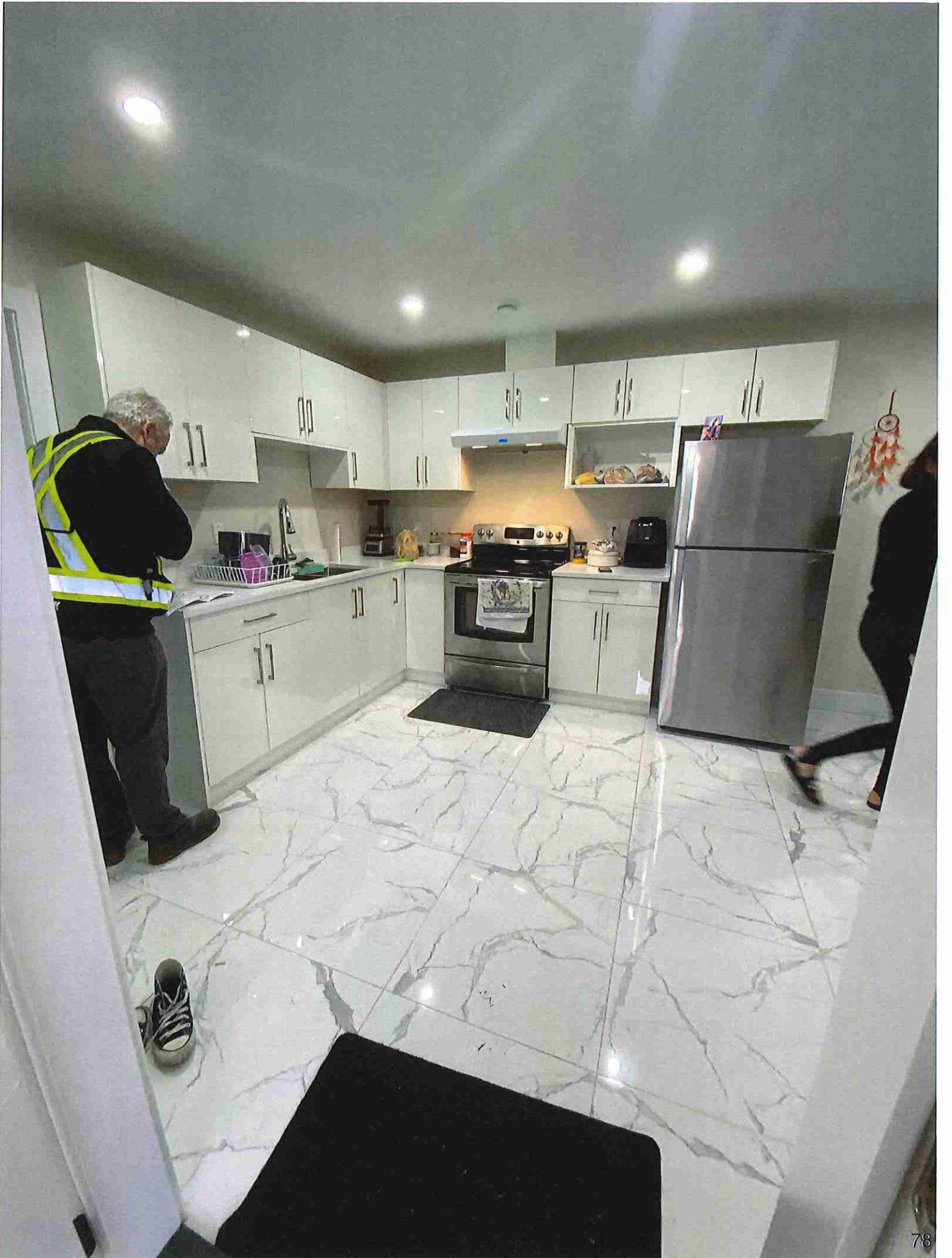
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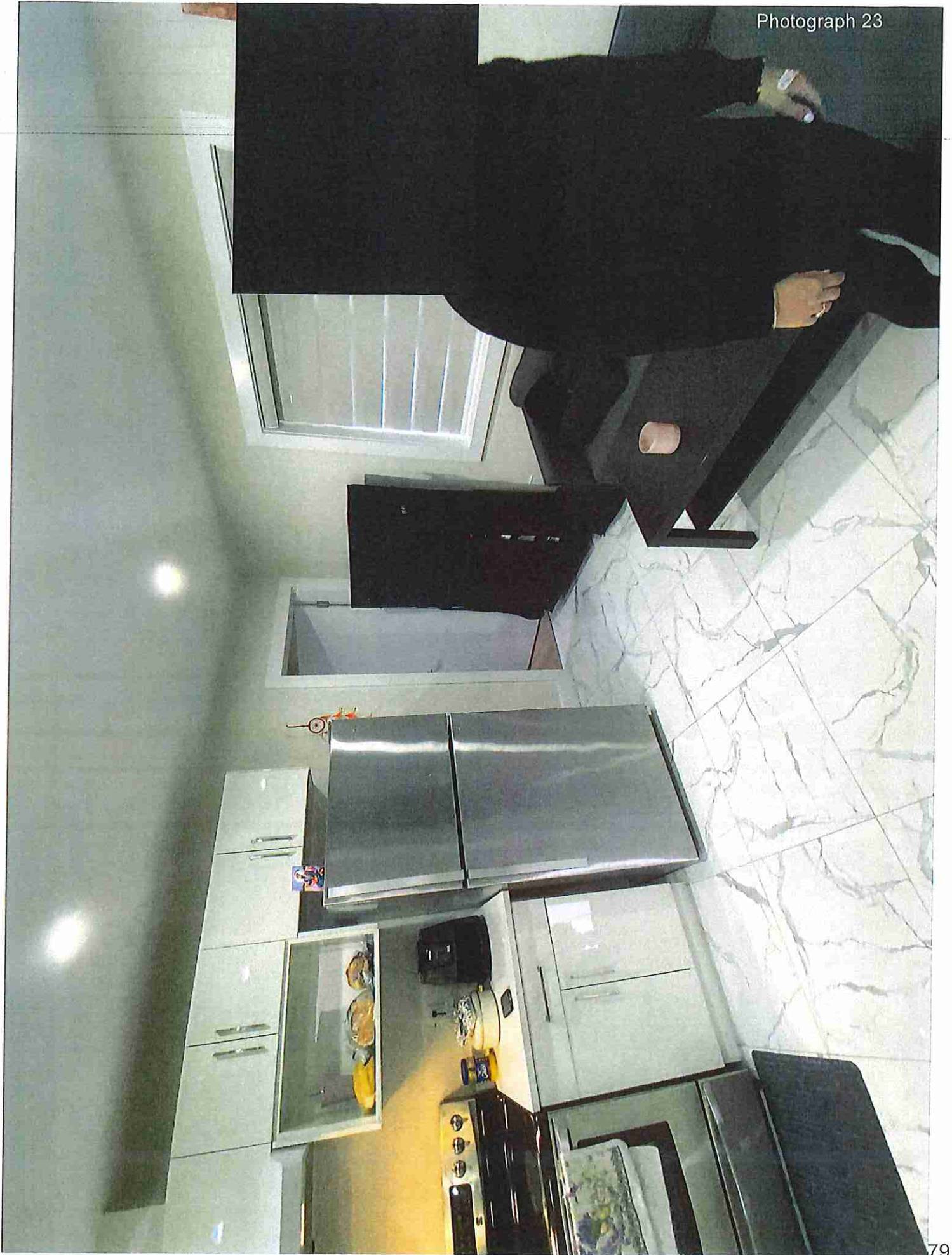


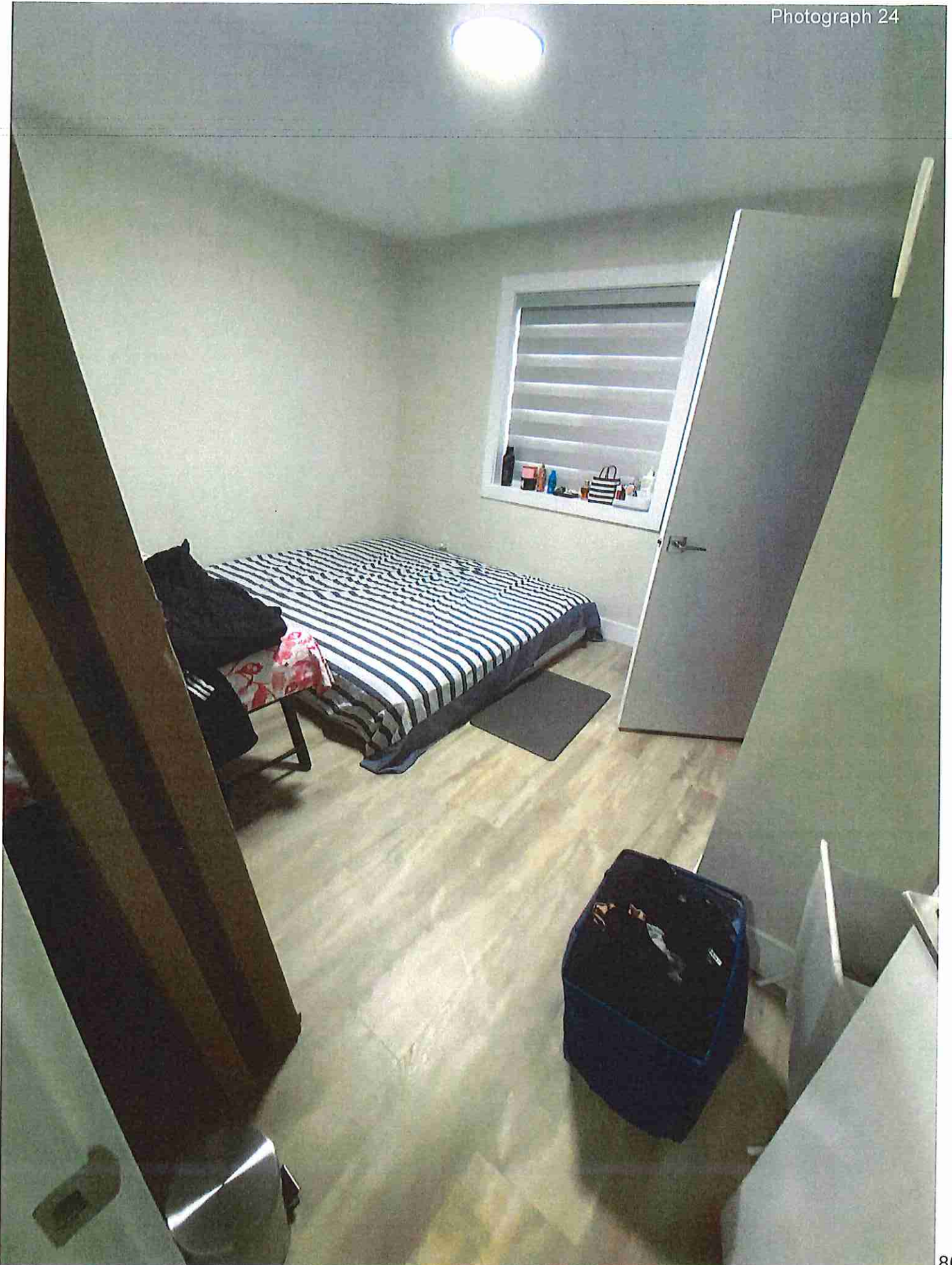
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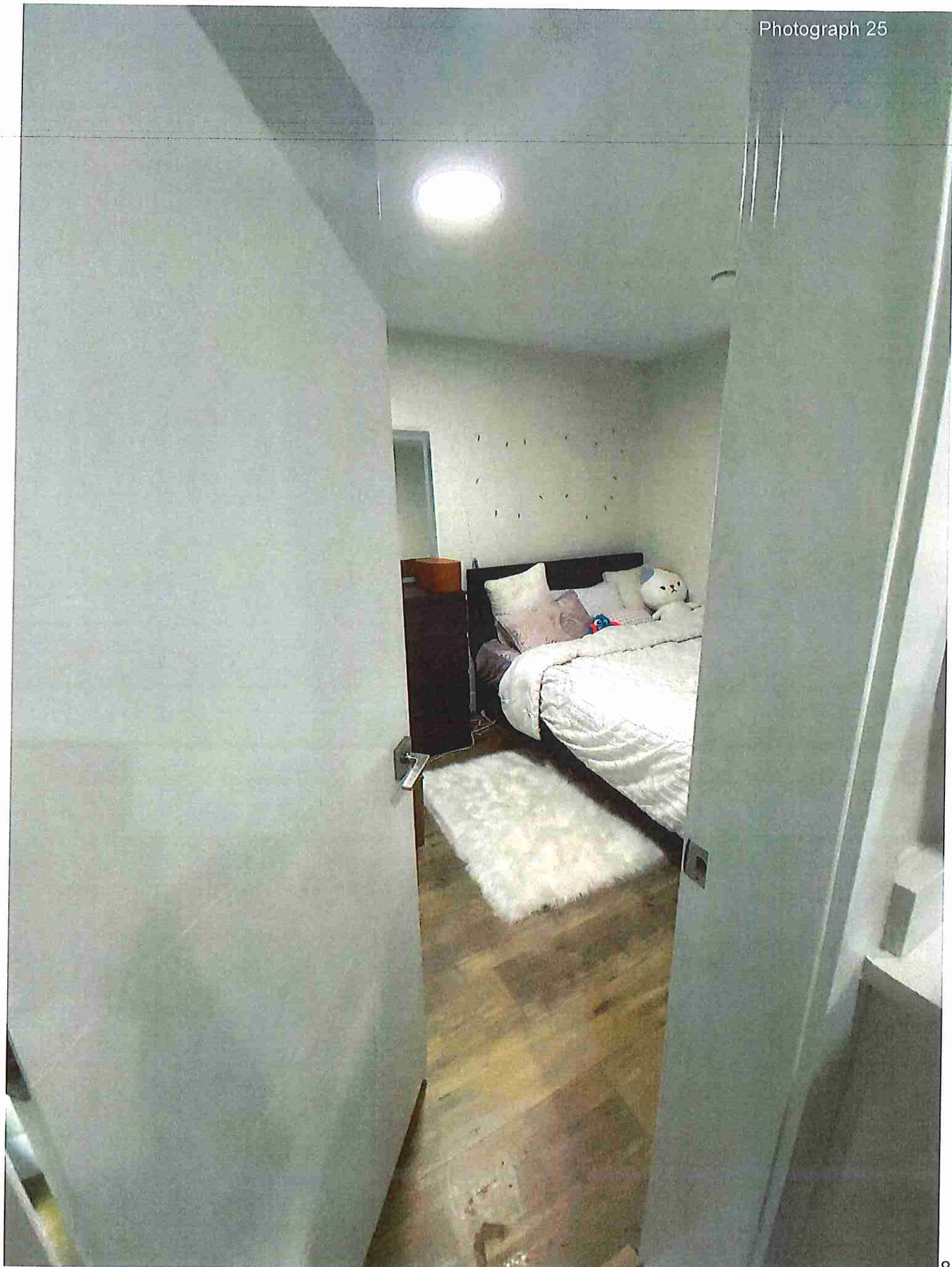


Photograph 23





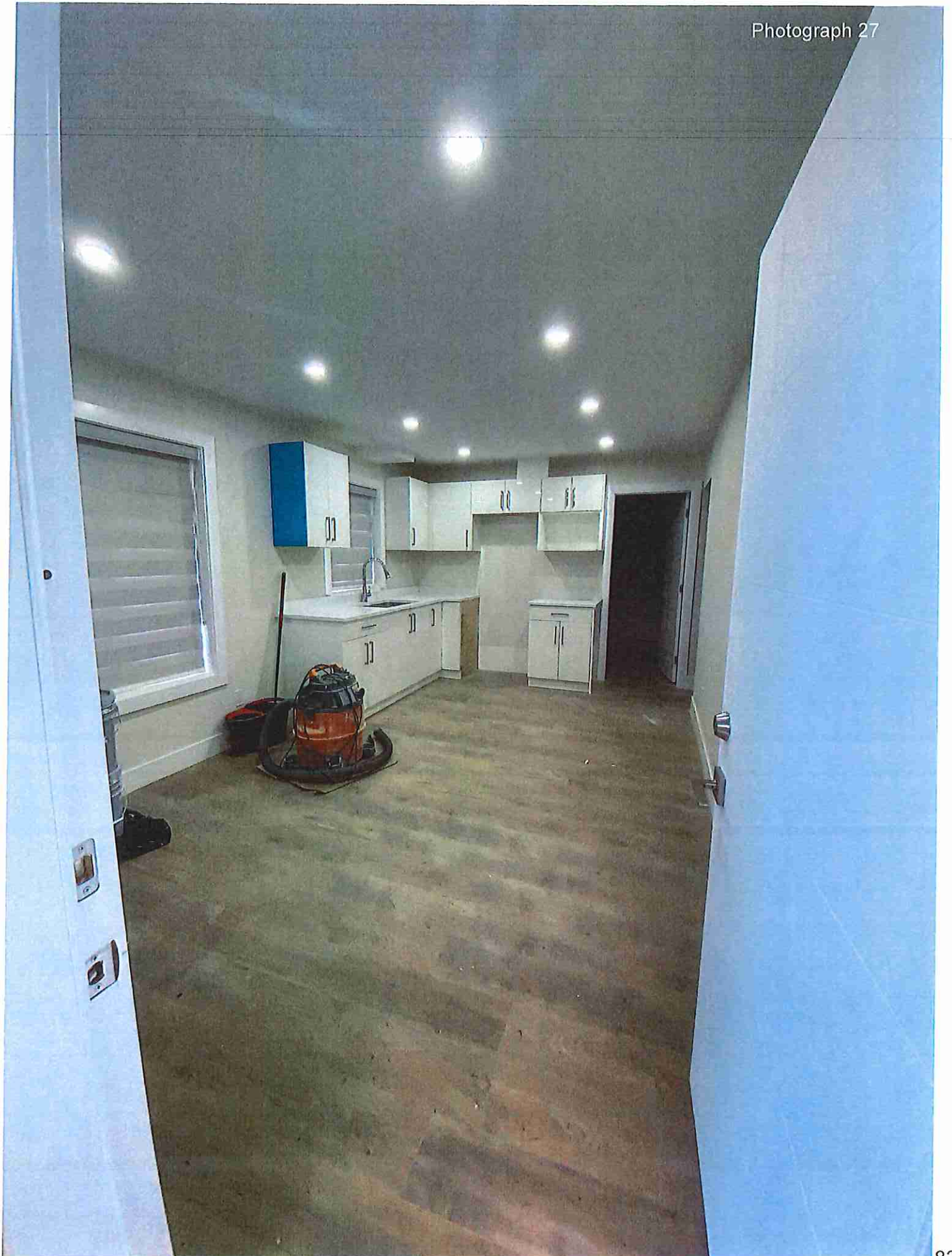
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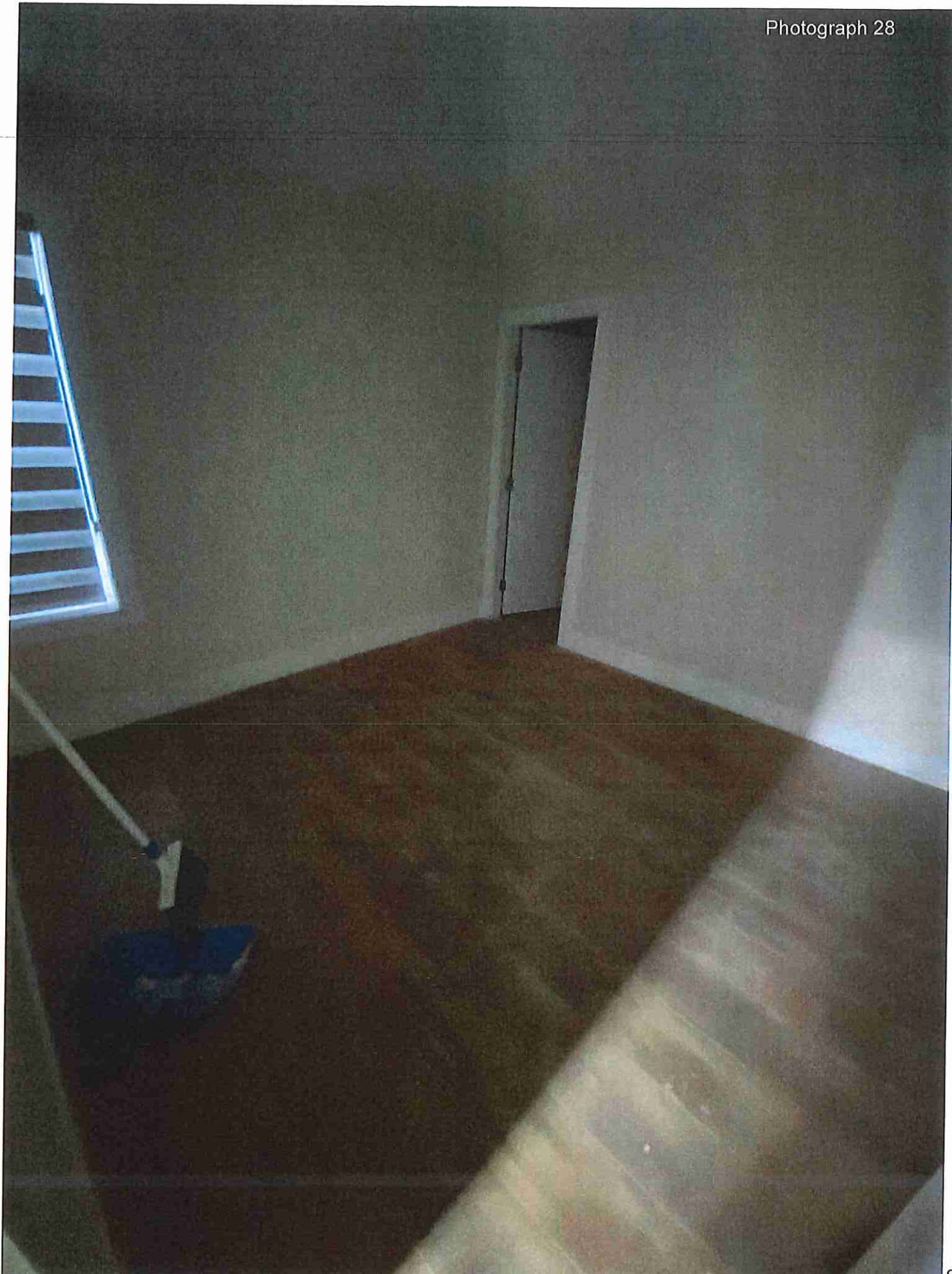
Photograph 26



Photograph 27

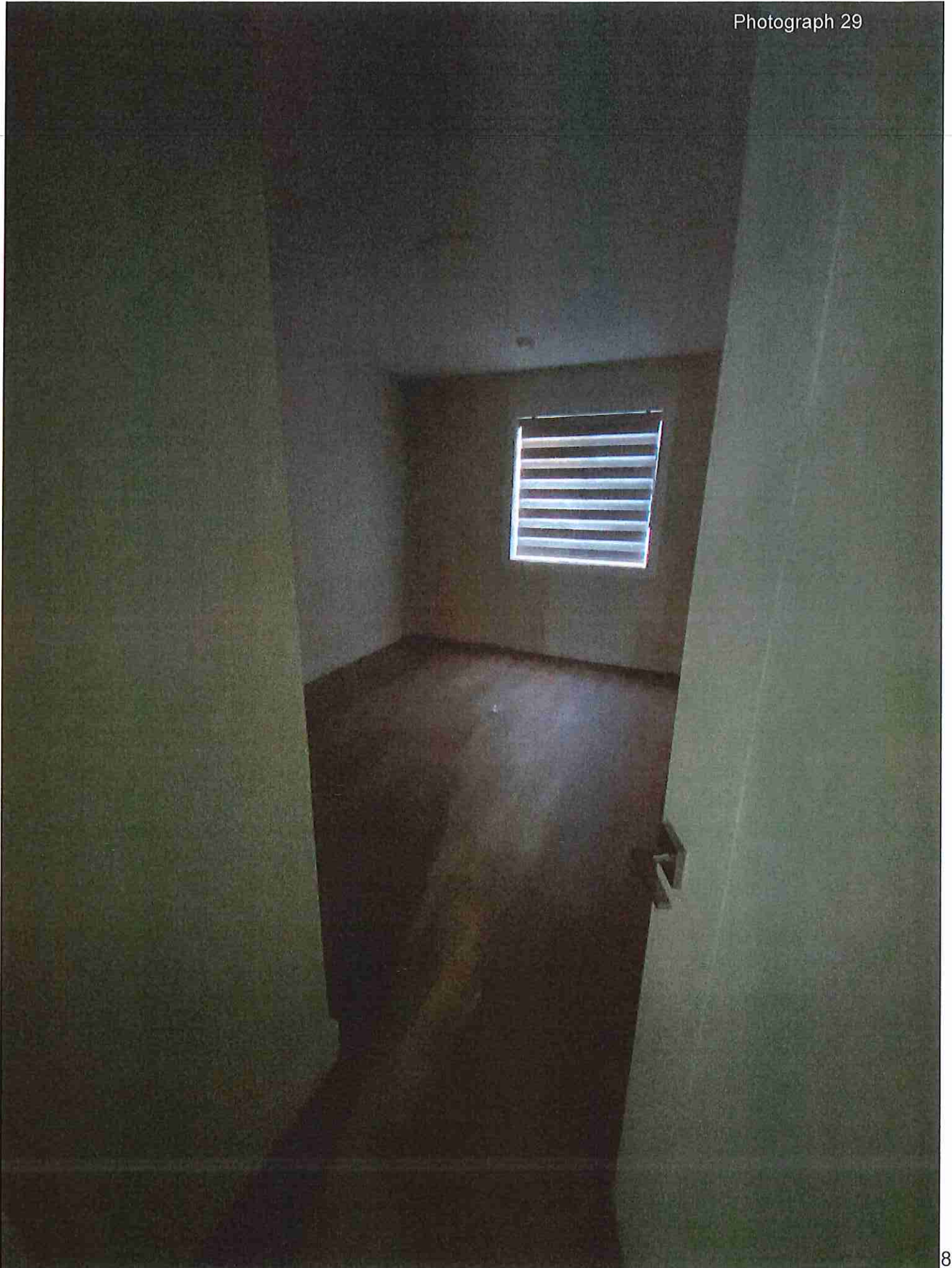


Photograph 28





Photograph 29



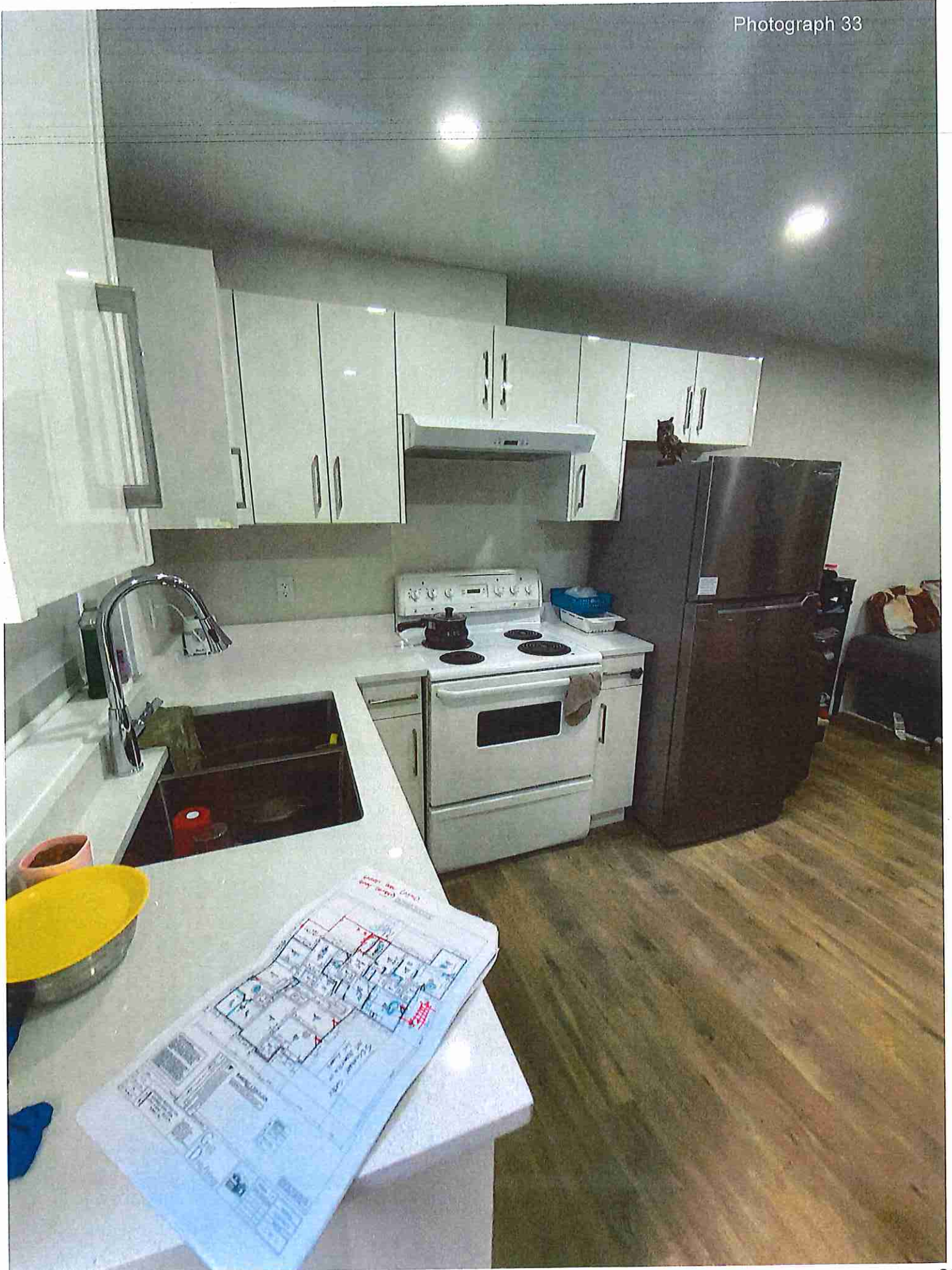
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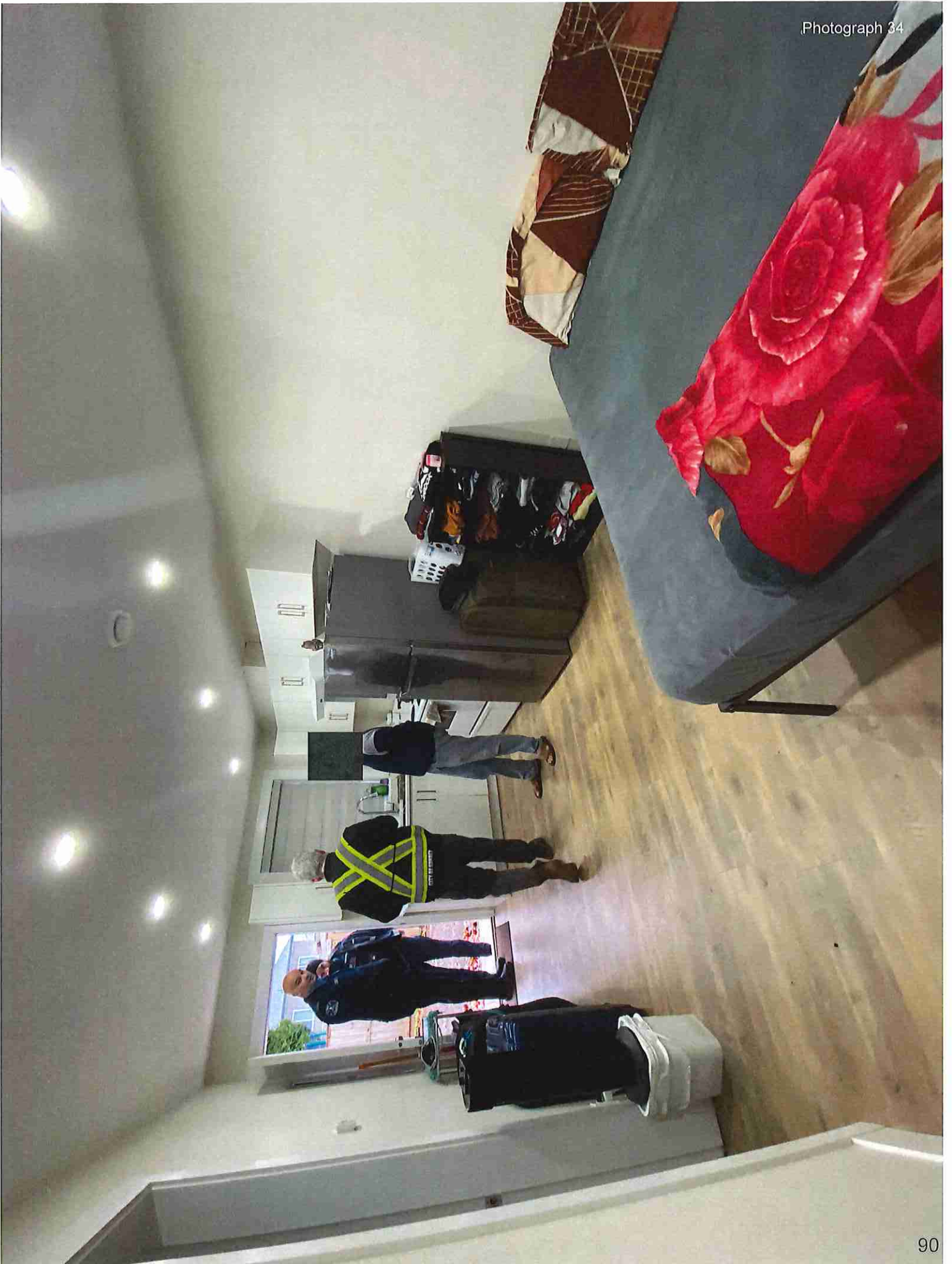






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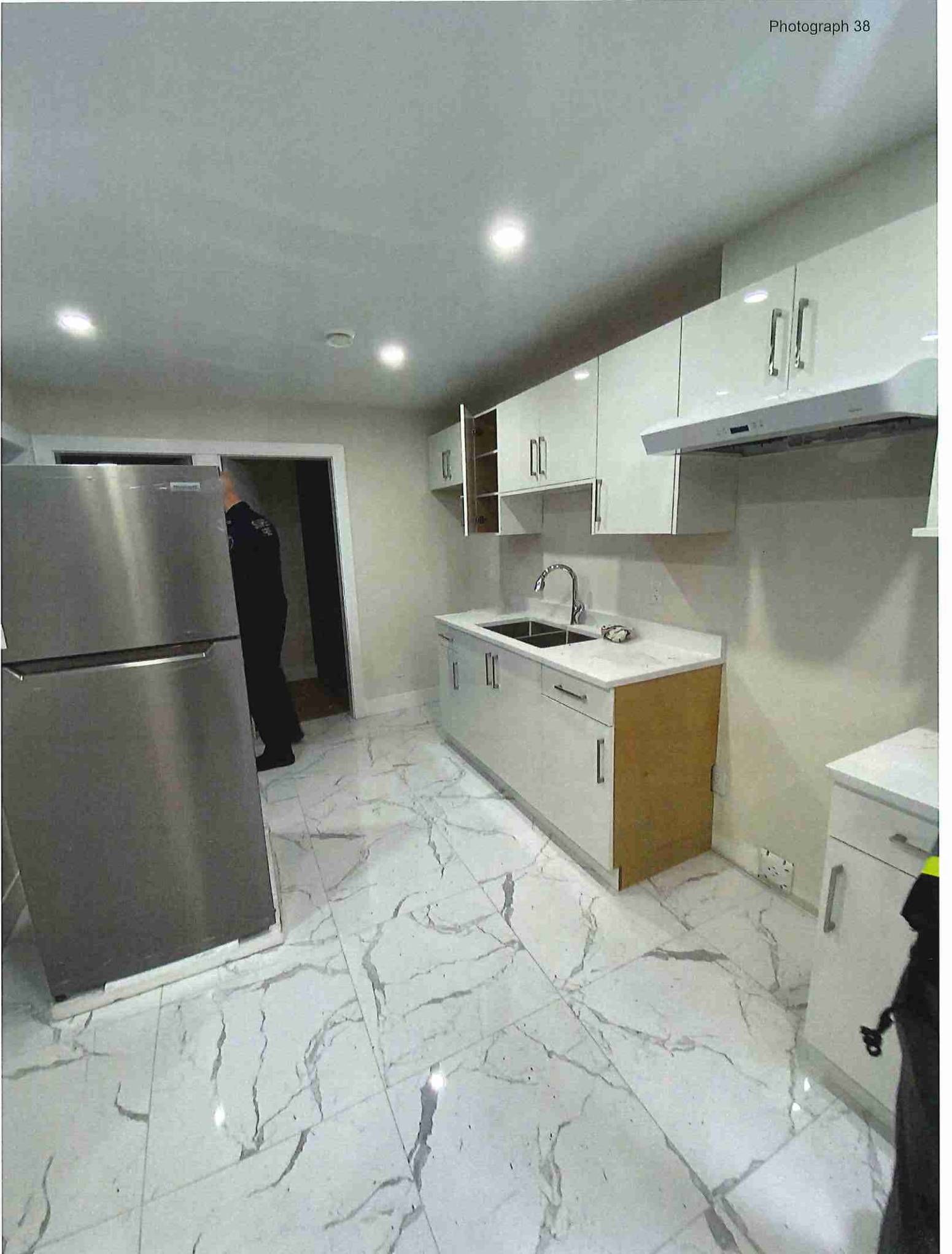




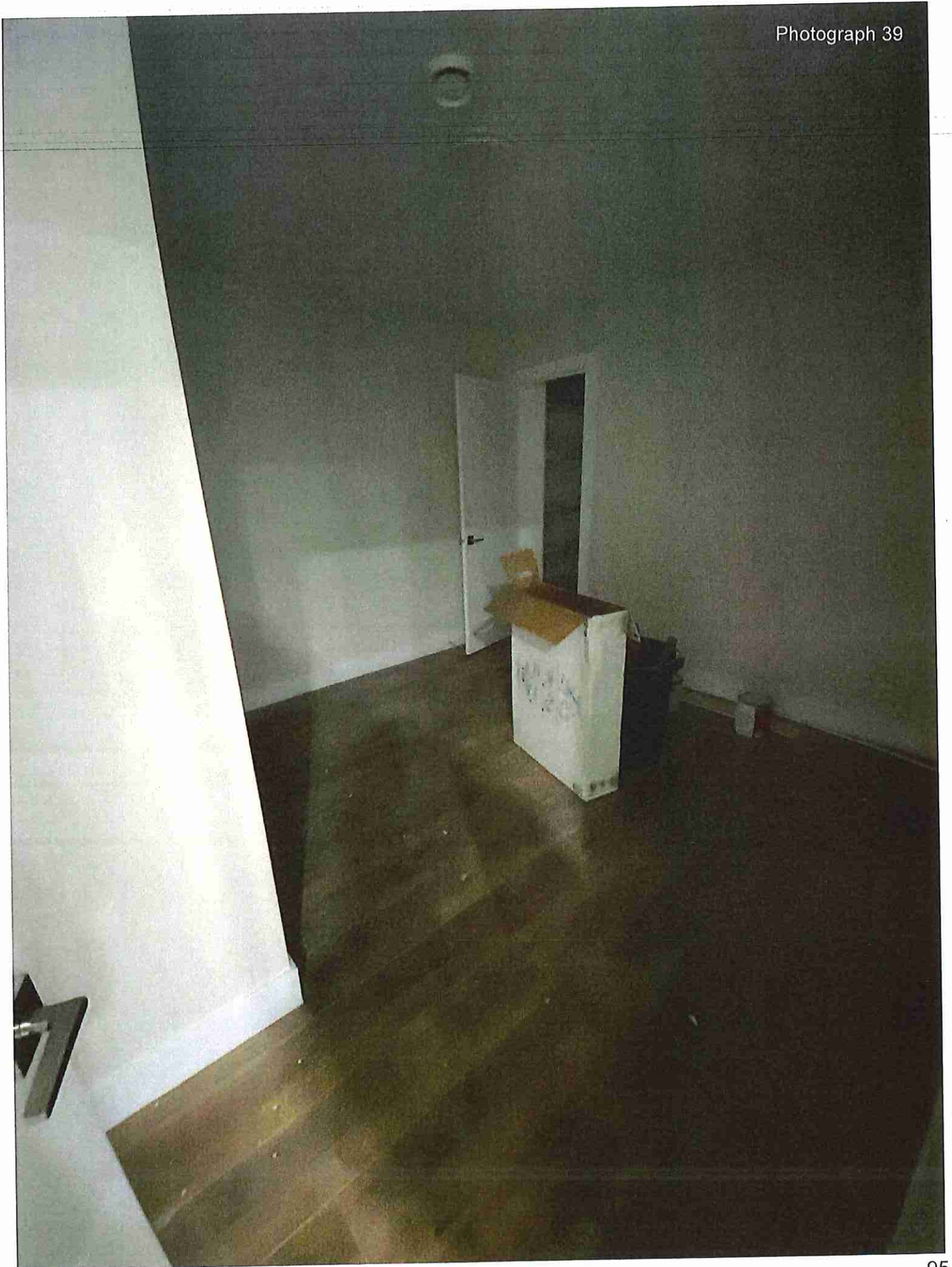




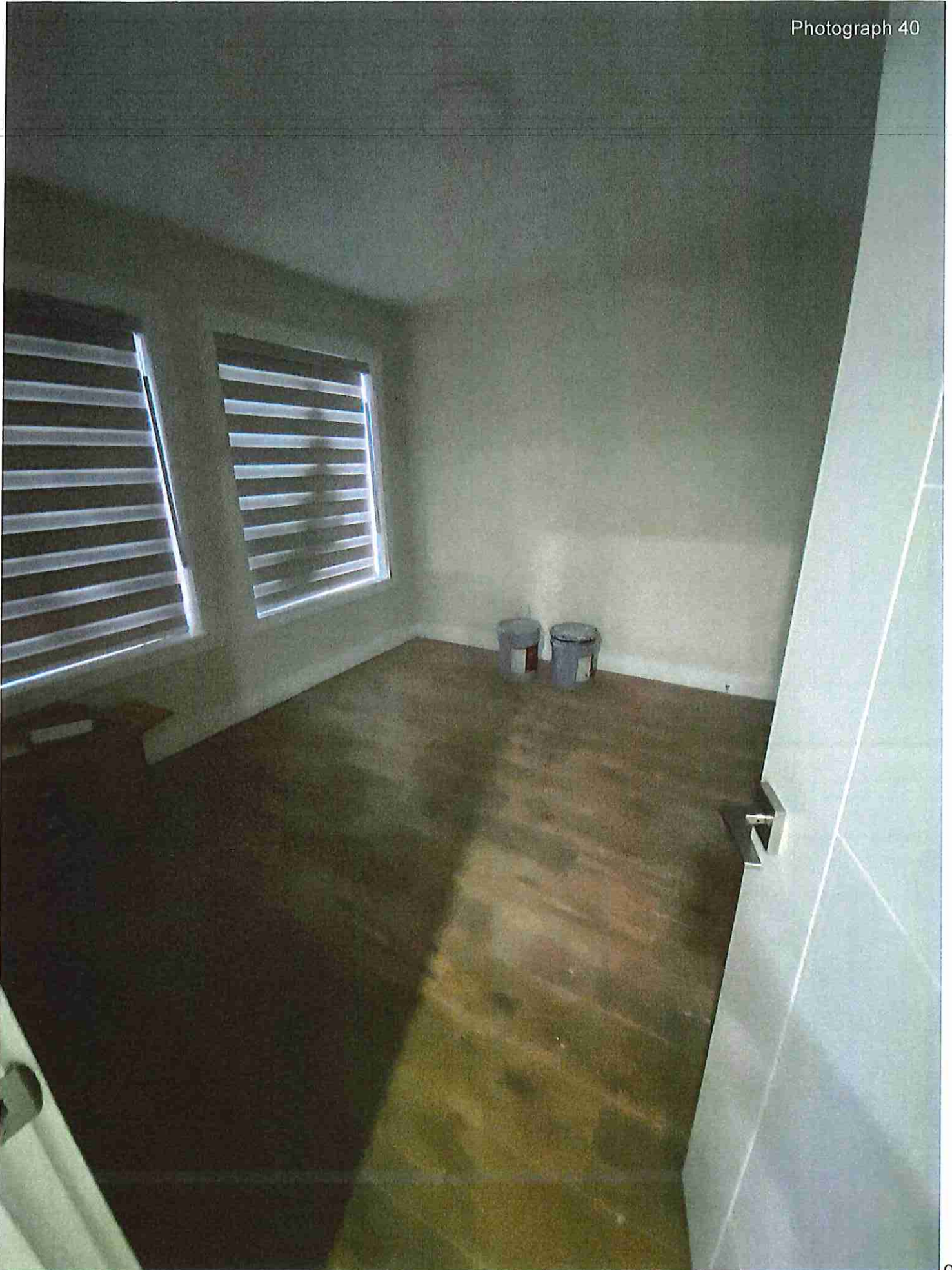




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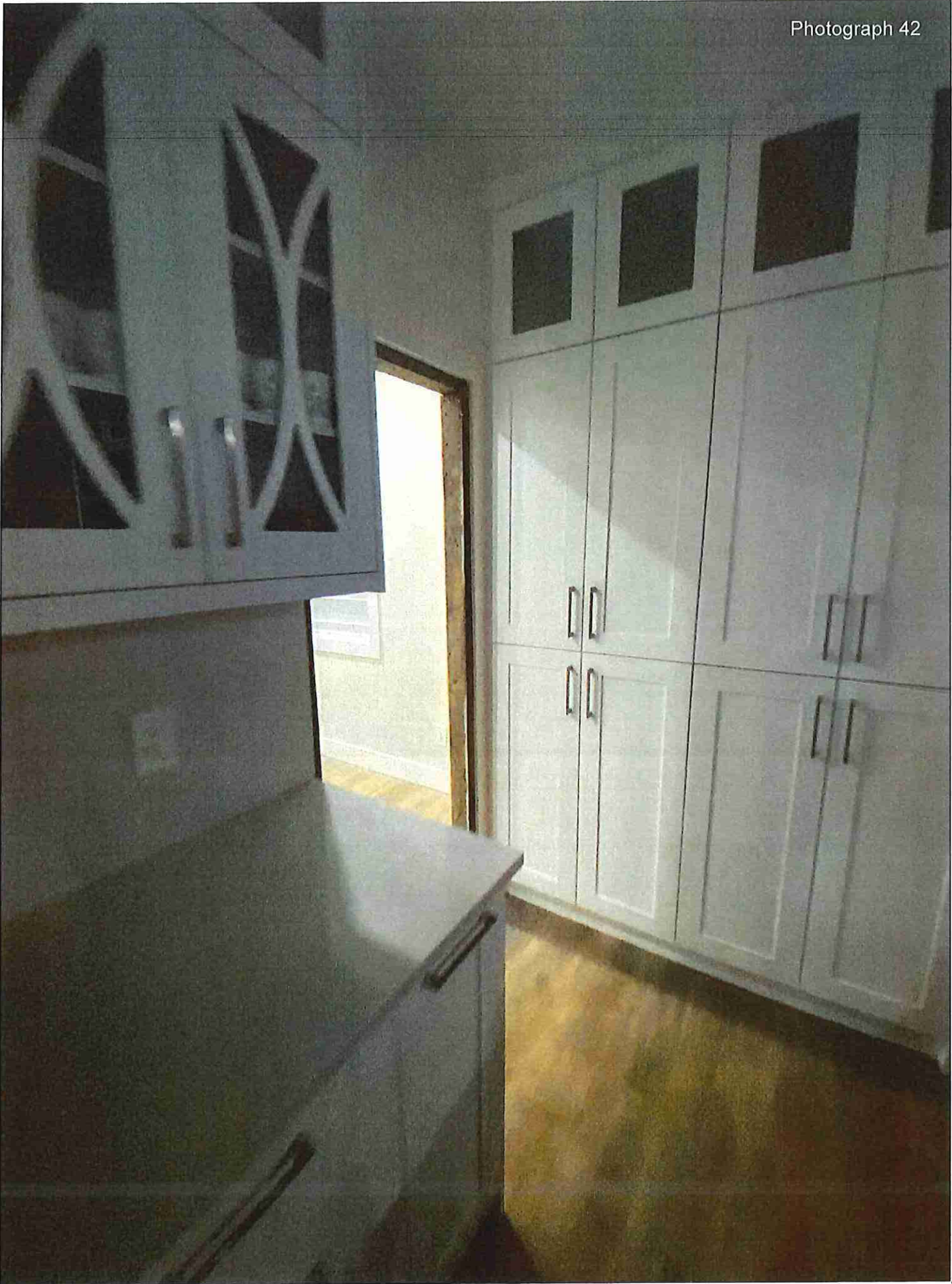


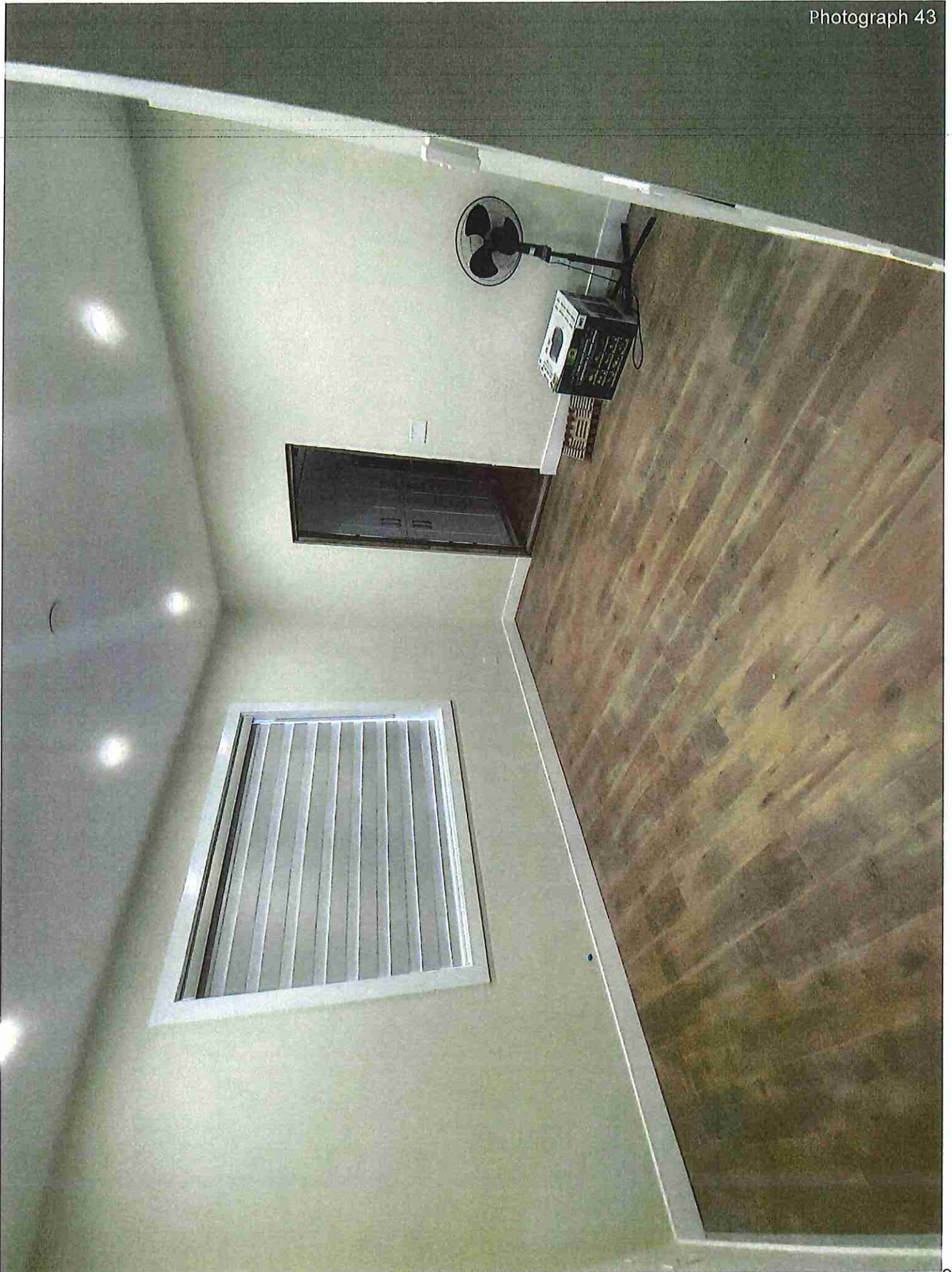
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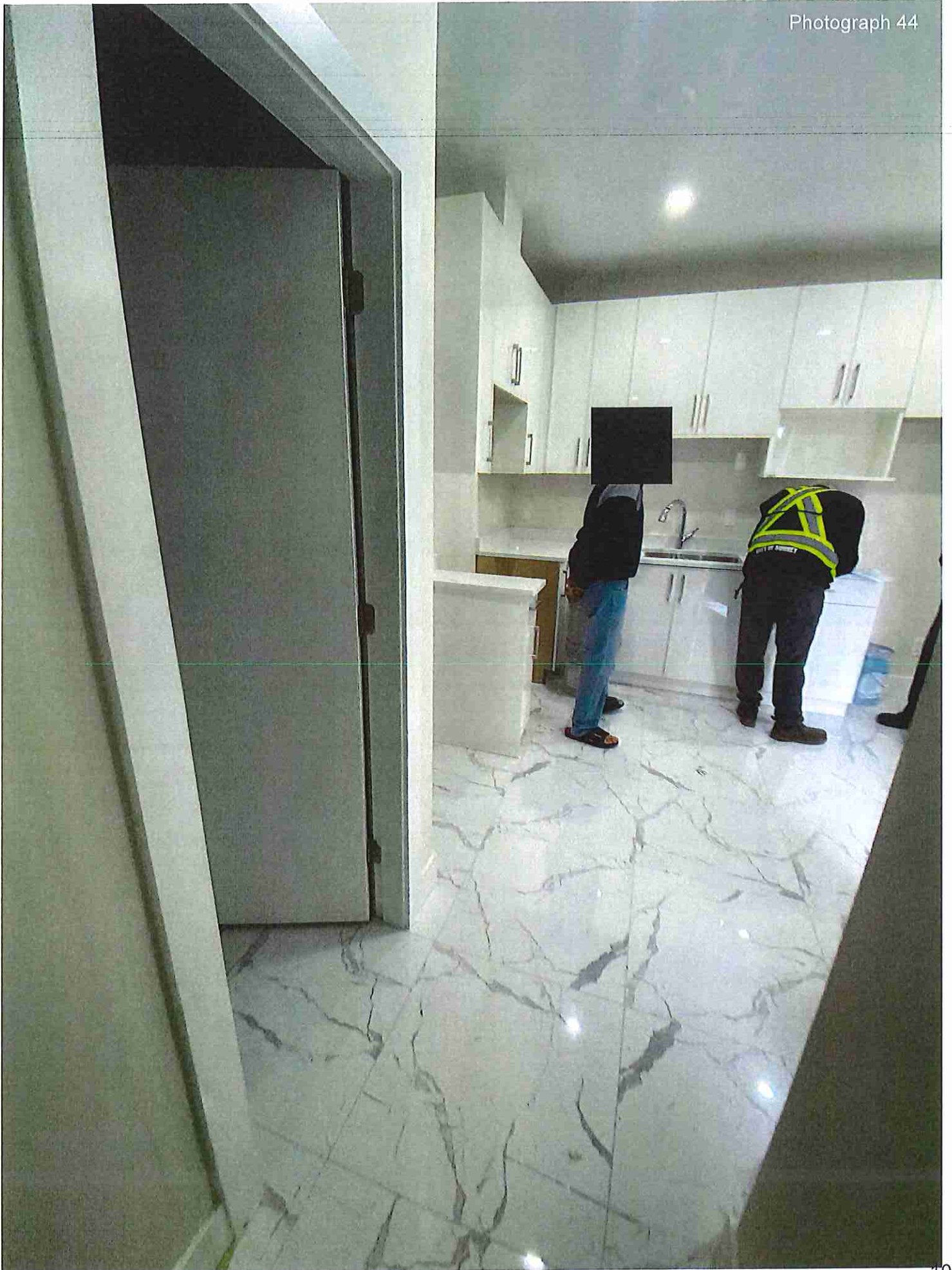




Photograph 42









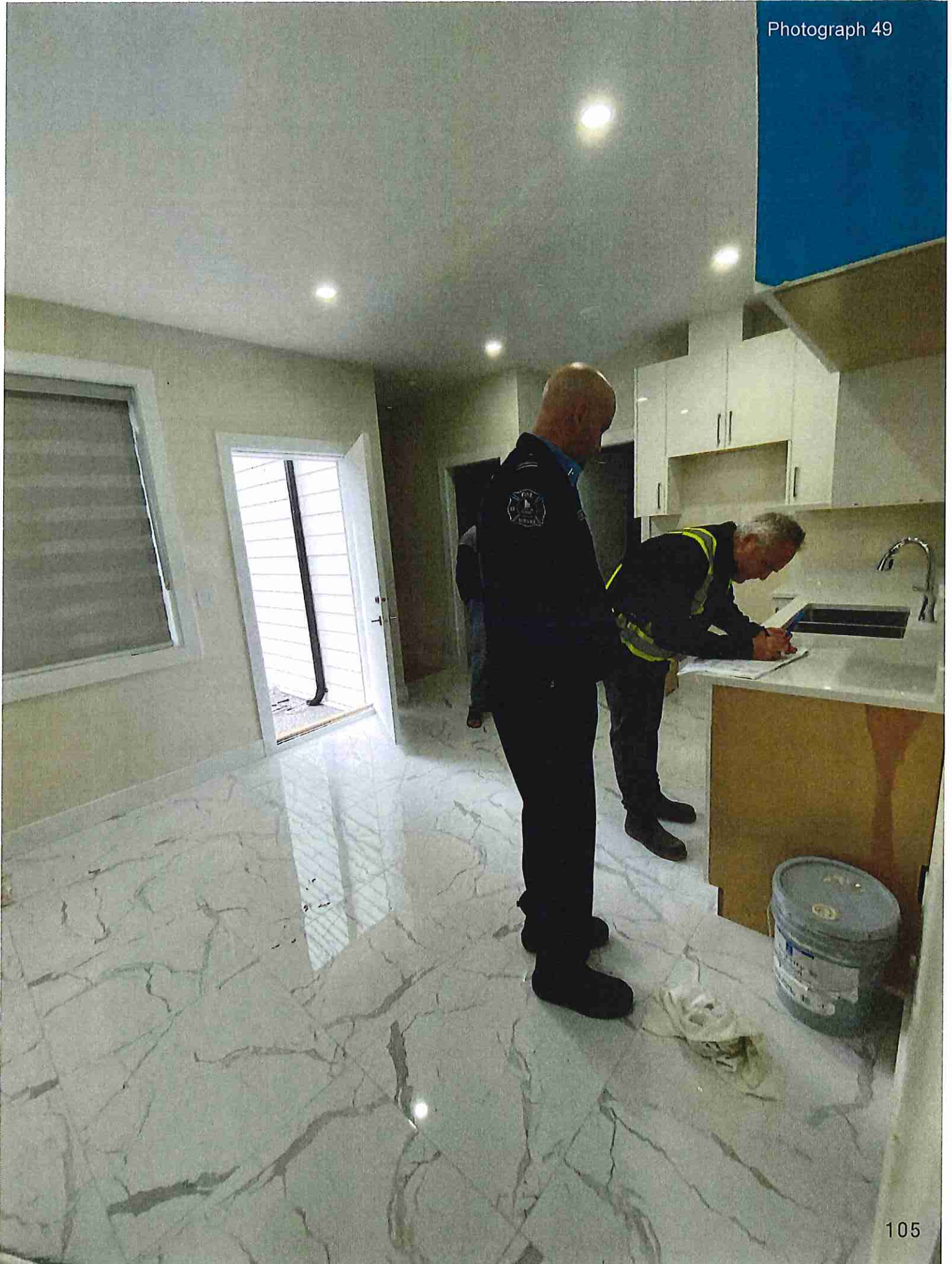






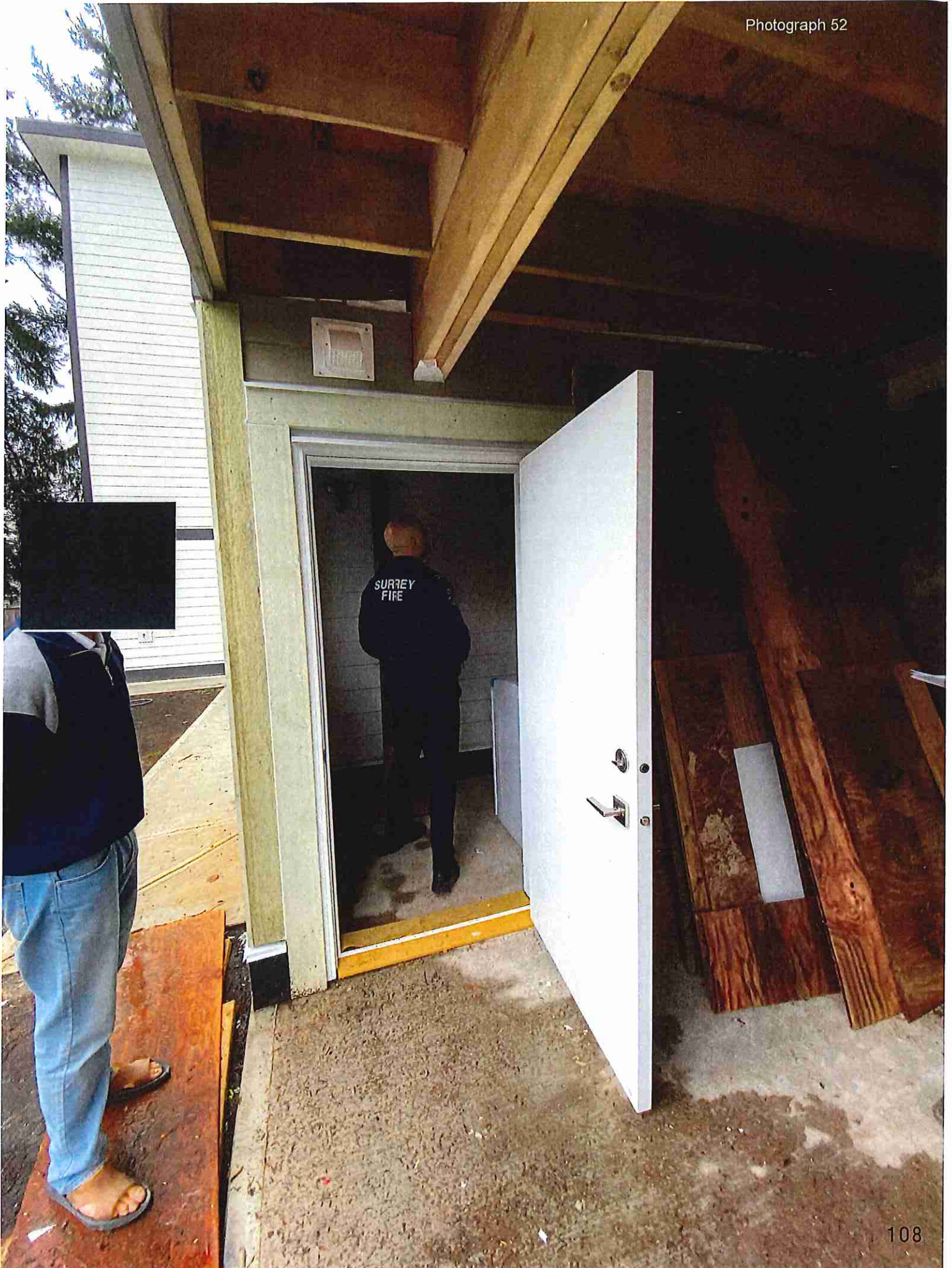
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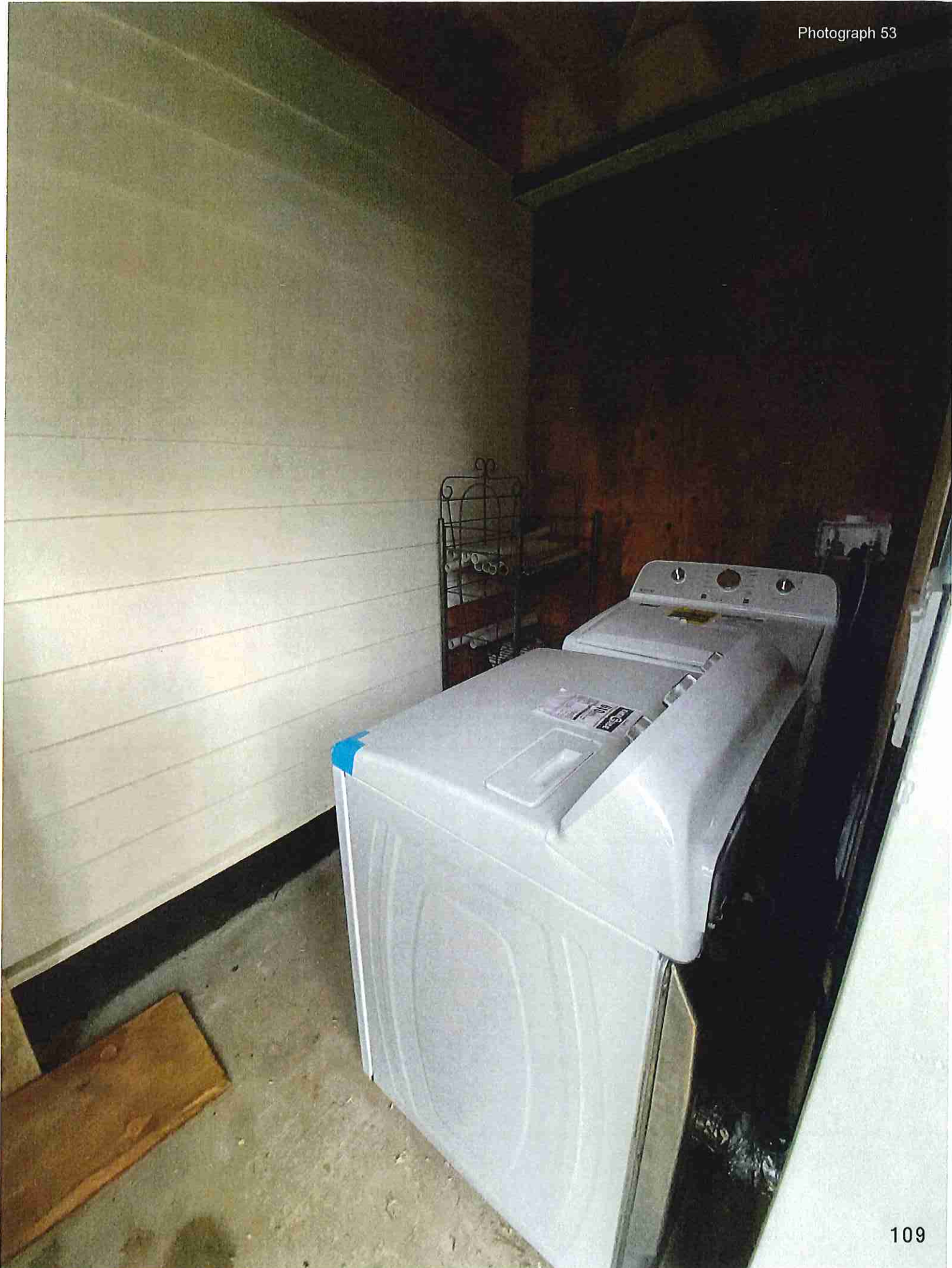


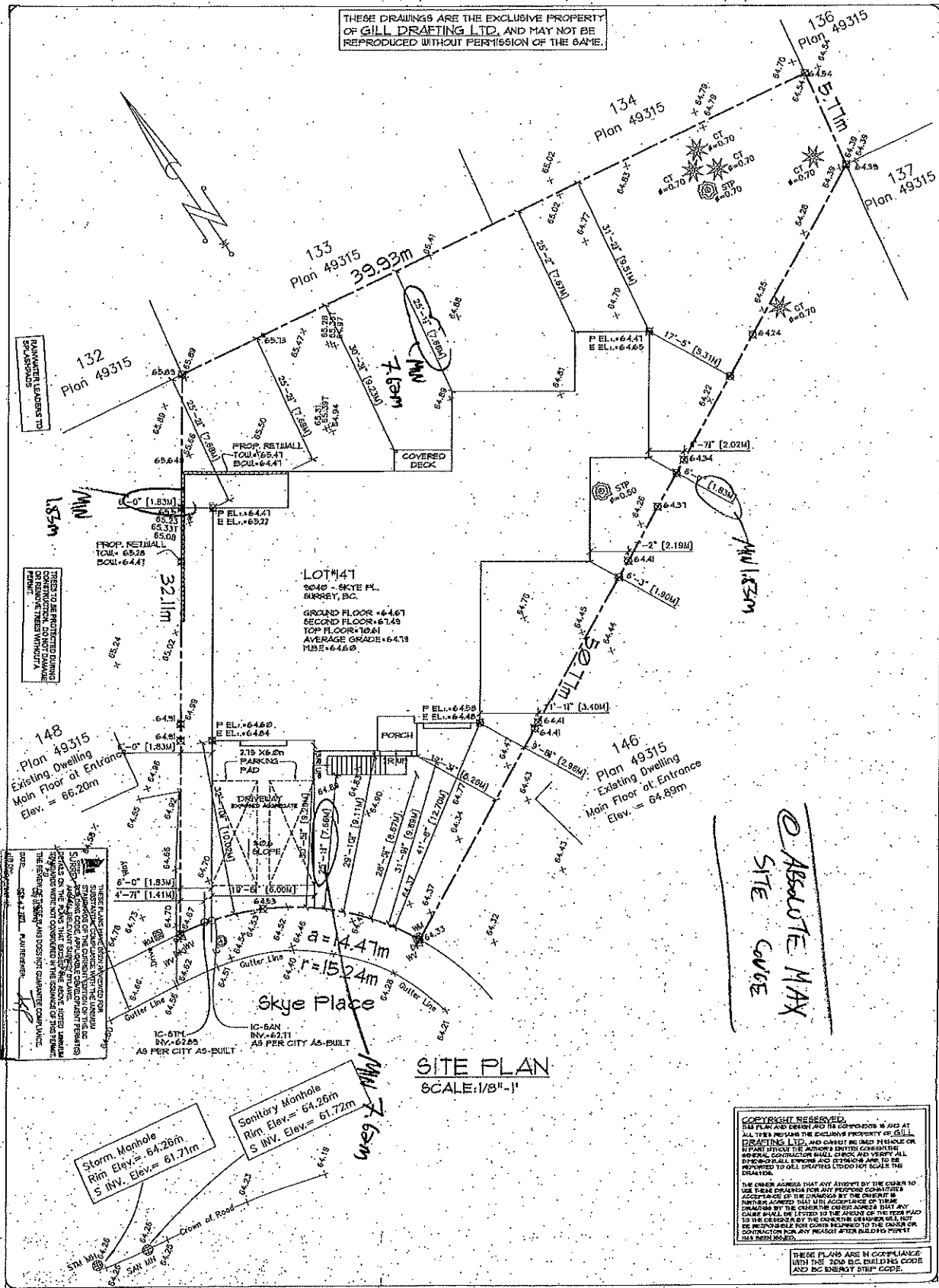












<p>REV. NO. 1</p> <p>DATE: 24 MAY 2022</p> <p>BY: JFB</p> <p>REVISIONS:</p>	<p>PROJECT NAME:</p> <p>PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT#141 @ 9040 - SKYE PL. SURREY, BC</p>	<p>DESIGNER ADDRESS:</p> <p>GILL DRAFTING LTD. 20851 102ND STREET UNIT 21 9871-12 AVE. SURREY, BC V3W 5B6 TEL: (604) 592-6666 FAX: (604) 592-6881 EMAIL: INFO@GILLDRAFTING.COM</p>		<p>REVISIONS BY:</p> <p>APR 2023 JFB</p>	<p>DRAWING NO.:</p> <p>GD22-4212</p> <p>SHEET NO.:</p> <p>1 OF 11</p>
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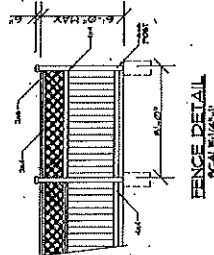
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**NOTES:**

1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN METERS.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
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10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

**NOTES:**

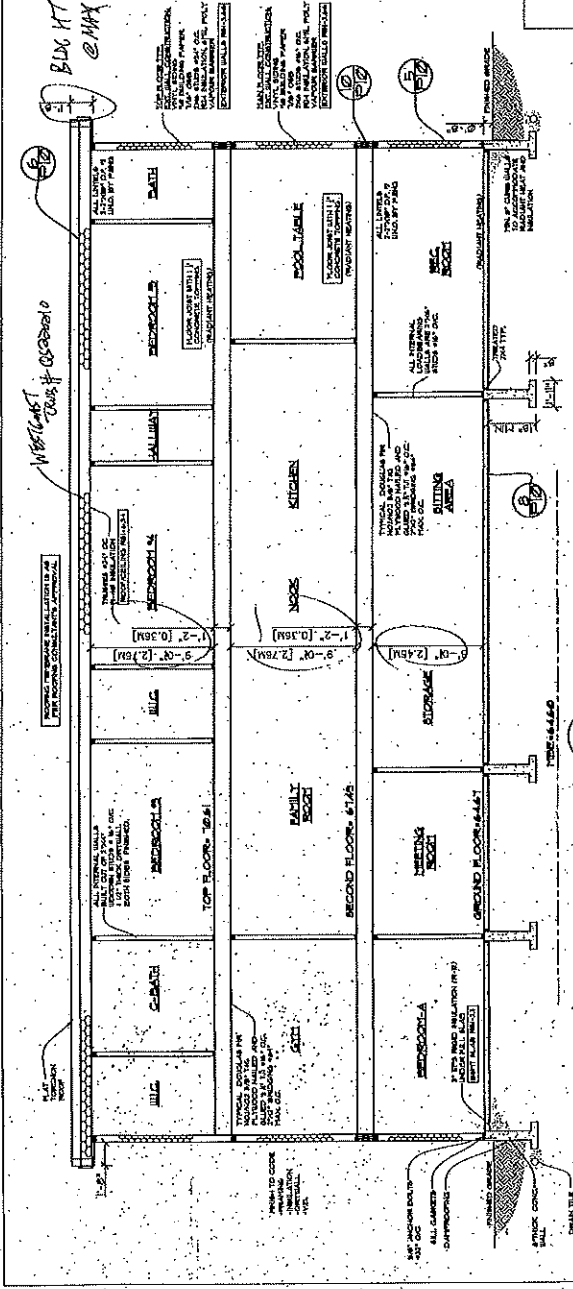
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10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.



FENCE DETAIL SCALE 1/4"=1'-0"

**BUILDING CHARACTERISTICS SUMMARY**

Item	Description	Notes
Roof Ceiling	Acoustic Ceiling	Acoustic Ceiling
Exterior Walls	Brick	Brick
Interior Walls	Plaster	Plaster
Floors	Concrete	Concrete
Windows	Double Glazed	Double Glazed
Doors	Wood	Wood
Stairs	Wood	Wood
Roofing	Asphalt/Flt	Asphalt/Flt
Foundation	Concrete	Concrete
Insulation	None	None
Other	None	None



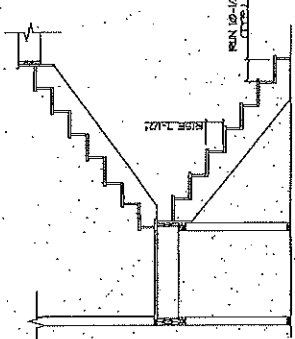
SECTION A SCALE 1/4"=1'-0"

**F.A.R.:**  
 TOTAL LOT AREA: 11000 SQFT.  
 ALLOWABLE F.A.R.: 1.5X  
 ACTUAL F.A.R.: 1.614 SQFT

**SITE COVERAGE:**  
 TOTAL LOT AREA: 11000 SQFT.  
 ALLOWABLE SITE COVERAGE: 43.3% = 4769 SQFT  
 ACTUAL SITE COVERAGE: 34.8% SQFT

**DECK AREA:**  
 MAIN FLOOR DECK AREA: 444 SQFT.  
 TOP FLOOR DECK AREA: 1096 SQFT.  
 TOTAL DECK AREA: 1540 SQFT.

**ZONING: LUC**

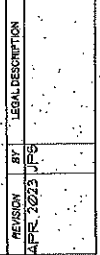


STAIR DETAIL SCALE 1/4"=1'-0"

THE CLIENT AGREES THAT ANY INFORMATION CONTAINED HEREIN IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE DISCLOSED TO ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF GILL DRAFTING LTD. THE CLIENT AGREES TO HOLD GILL DRAFTING LTD. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS INFORMATION.

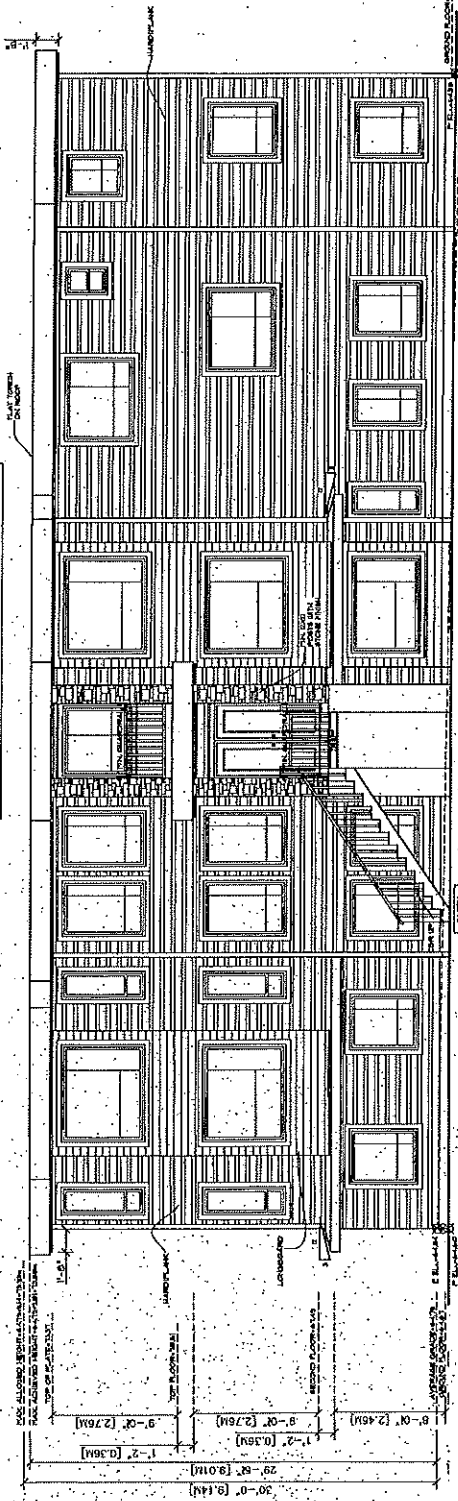
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REVISION	BY	LEGAL DESCRIPTION	PROJECT NAME
APR. 2023	JFS	PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT #141 • 9240 - 547E PL SURVEY, B.C.	PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT #141 • 9240 - 547E PL SURVEY, B.C.
DATE	BY	SHEET NO.	DESIGNER ADDRESS:
24 MAY 2023	JFS	2 OF 11	GILL DRAFTING LTD. UNIT #1, 10717-74 AVE. SURREY, B.C. V3W 5B6 TEL: (604) 592-5400 FAX: (604) 592-5400 WEBSITE: GILLDRAFTING.COM
DATE	BY	PROJECT NO.	REVISIONS
24 MAY 2023	JFS	GD22-4212	1. 24 MAY 2023
DATE	BY	PROJECT NO.	REVISIONS
24 MAY 2023	JFS	GD22-4212	1. 24 MAY 2023

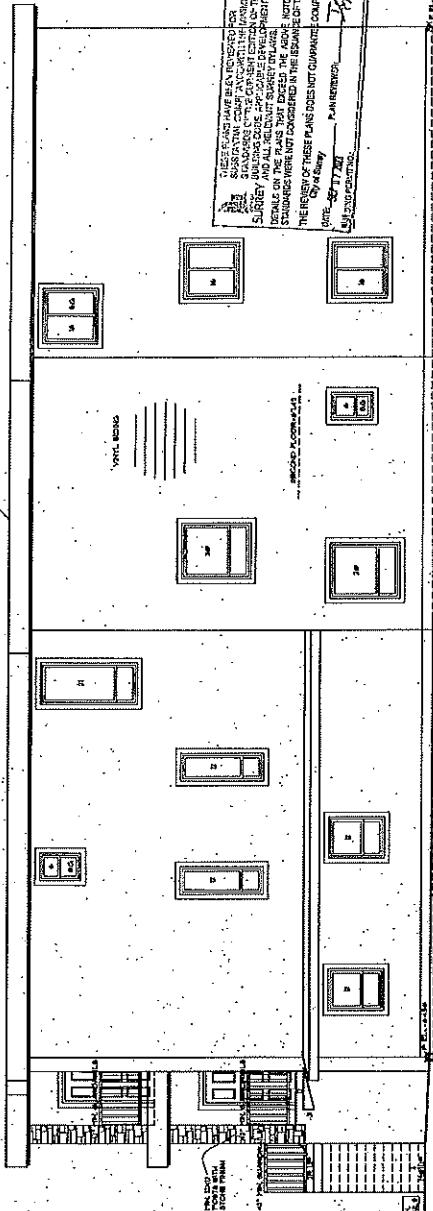


**Gill Drafting Ltd.**

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FRONT ELEVATION SCALE: 1/4" = 1'-0"



RIGHT ELEVATION SCALE: 1/4" = 1'-0"

THESE PLANS AND HAVE BEEN REVISIONED PER THE STANDARDS AND SPECIFICATIONS FOR ARCHITECTURAL DRAWINGS AS SET FORTH IN THE CURRICULAR PROGRAM OF THE ARCHITECTURE BOARD OF BRITISH COLUMBIA. THE REVIEW OF THESE PLANS DOES NOT GUARANTEE COMPLIANCE.

DATE: 08/17/2021  
BY: [Signature]  
FOR: [Signature]

RECEIVED  
JUL 28 2023

DESIGNER ADDRESS:  
GILL DRAFTING LTD.  
SUITE 2000 4800 BRIDGEWAY  
SURREY, B.C. V3R 1P8  
TEL: (604) 598-4888  
WWW.GILLDRAFTING.COM

DRAWING NO. GD22-4272

SHEET NO. 3 OF 11

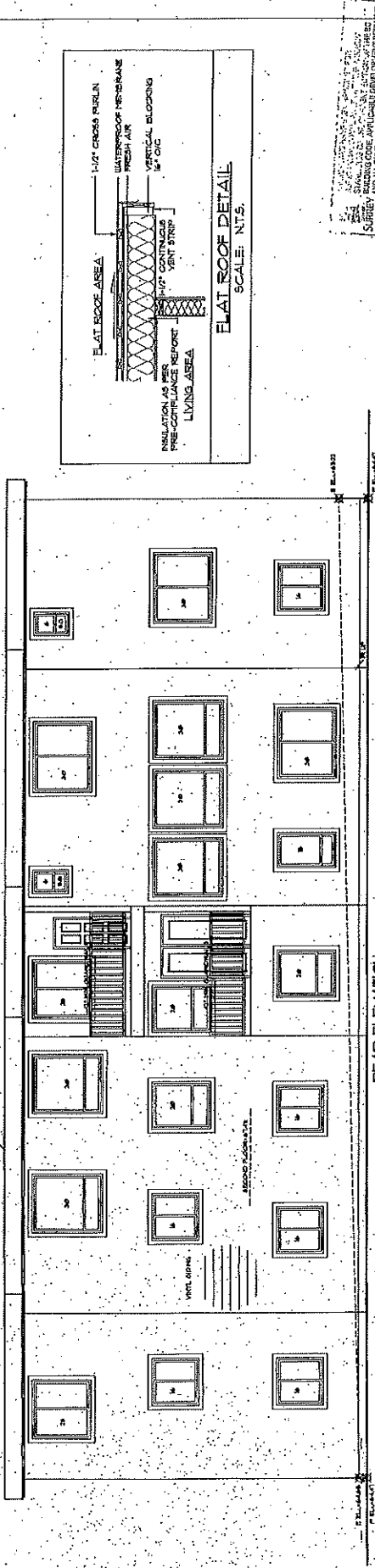
KASBA AS NOTED  
SMT 2022  
JFS

Gill Drafting Ltd.  
118-885-2971

PROJECT NAME  
PROPOSED RESIDENCE FOR  
GURPREET SINGH HEER  
LOT # AT 9040 - SKATE PL.  
SURREY, B.C.

REVISION: BY: LEGAL DESCRIPTION  
APR 2023 JFS

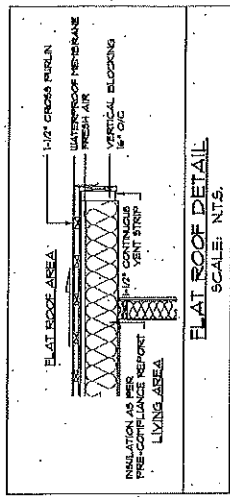
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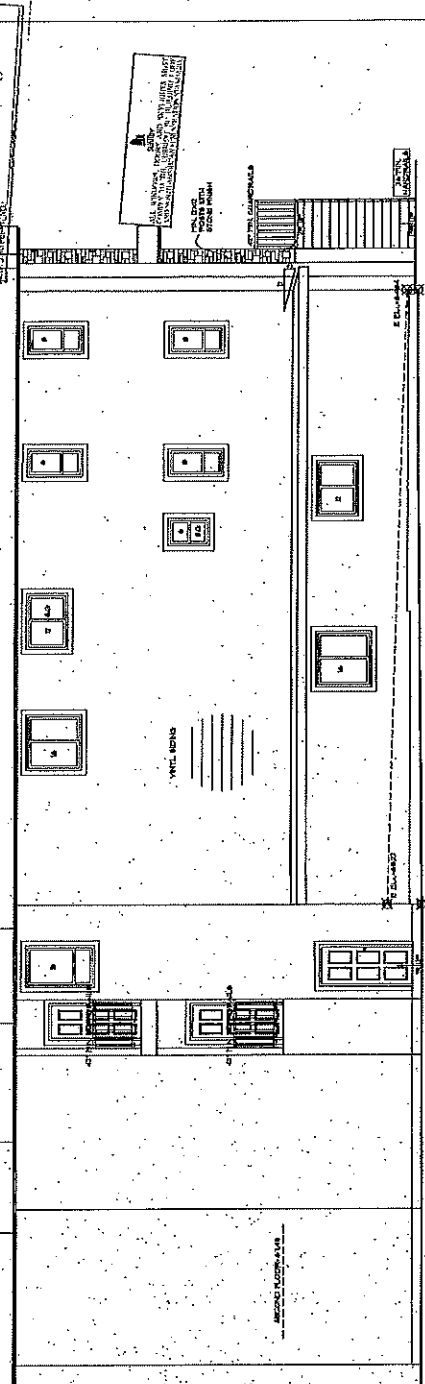
5. I hereby acknowledge that I have read and understood the contents of these drawings and all relevant current and applicable building codes and standards and that I have agreed to the above noted building standards and codes and I understand the consequences of this permit. THE REVIEWER'S OFFICE DOES NOT GUARANTEE COMPLIANCE.

DATE: 09-27-2017 PLAN NUMBER: 76

REAR ELEVATION  
SCALE: 1/4" = 1'-0"



FLAT ROOF DETAIL  
SCALE: N.T.S.

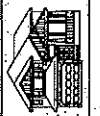


LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

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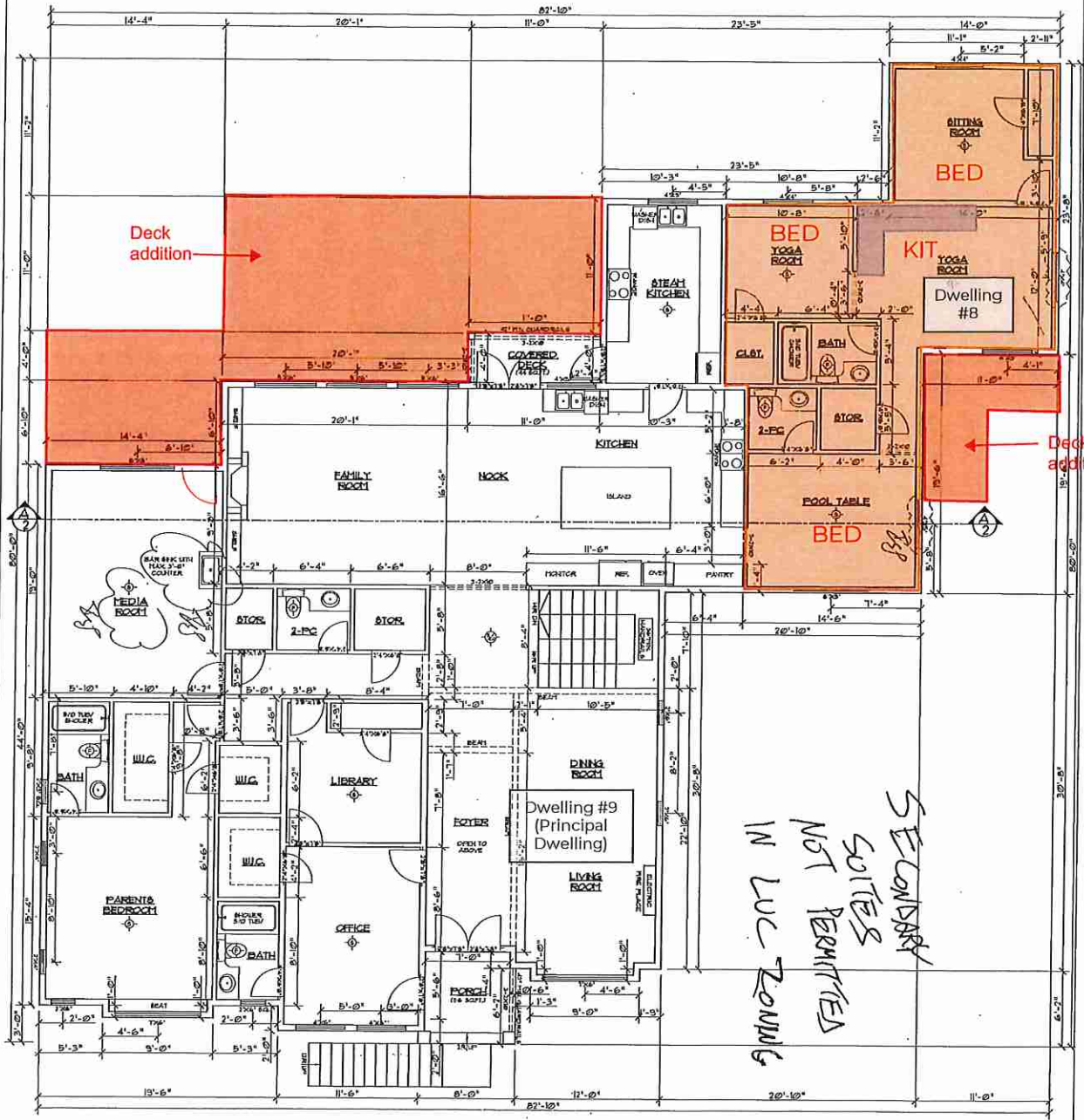
RECEIVED  
JUL 11 2017

REVISION	BY	LEGAL DESCRIPTION:	PROJECT NAME	SHEET NO.	DRAWING NO.	DESIGNER ADDRESS:	
APR 2013	JFS	PROPOSED RESIDENCE FOR GURPREET SINGH LEEB, LOT#1 & 2040 - SKTE PL, SURREY, B.C.	PROPOSED RESIDENCE FOR GURPREET SINGH LEEB, LOT#1 & 2040 - SKTE PL, SURREY, B.C.	4 OF 11	GD22-4212	GULL DRAFTING LTD. SURREY DESIGN CENTRE SURREY, B.C. V4W 1R6 TEL: (604) 599-8486 WWW: WWW.GULLDRAFTING.COM	
DATE: 09-27-2017		DATE: 09-27-2017		DATE: 09-27-2017		DATE: 09-27-2017	



Gull Drafting Ltd.

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MAIN FLOOR  
SCALE: 1/4"=1'-0"

MAIN FLOOR AREA = 3491 SQFT.

**LEGEND**

- ⊕ SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- ⊕ SMOKE ALARM
- ⊕ FLOOR DRAIN
- ⊕ FAN

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DATE: 04 MAY 2022  
PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER  
DRAWN BY: JPS  
CHECKED BY: JPS

**PROPOSED RESIDENCE FOR GURPREET SINGH HEER  
LOT #141 @ 3040 - SKYE PL.  
SURREY, BC**

**GILL DRAFTING LTD.**  
1150 WESTERN AVENUE  
SURREY, BC V3R 6E6  
TEL: (604) 839-8888  
FAX: (604) 839-8821  
LEASING: 888-666-6666

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

DWG	KASRA
SCALE	1/4"=1'-0"
DATE	04 MAY 2022
CHKD	JPS
PHONE	778-999-2511

PROPOSED RESIDENCE FOR GURPREET SINGH HEER  
LOT #141 @ 3040 - SKYE PL.  
SURREY, BC

DESIGNER ADDRESS:  
GILL DRAFTING LTD.  
1150 WESTERN AVENUE  
SURREY, BC V3R 6E6  
TEL: (604) 839-8888  
FAX: (604) 839-8821  
LEASING: 888-666-6666

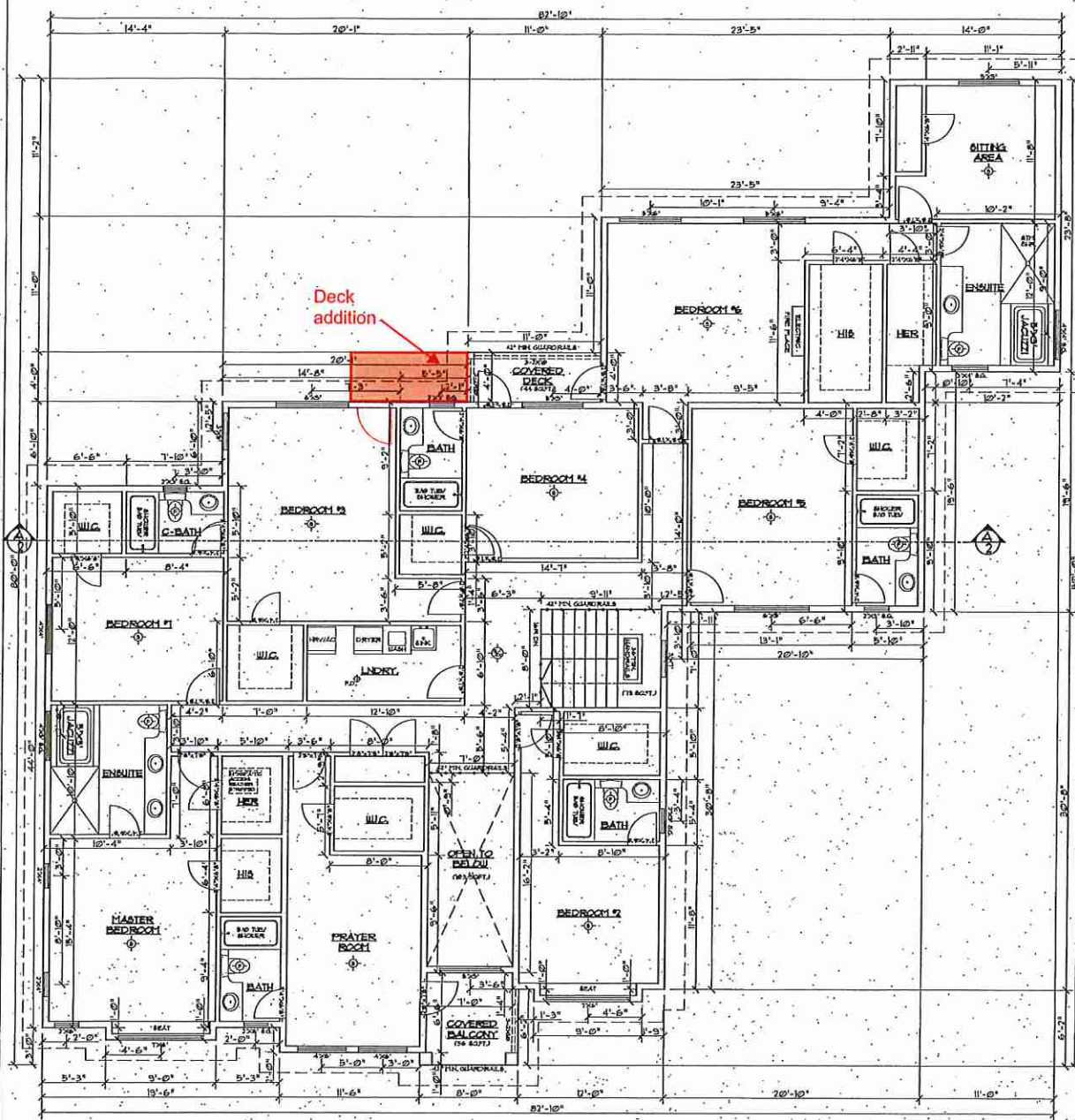
**Gill Drafting**



REVISIONS	BY
APR 2023	JPS

DRAWING NO.	GD22-4212
SHEET NO.	5 OF 11

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF GILL DRAFTING LTD. AND MAY NOT BE REPRODUCED WITHOUT PERMISSION OF THE SAME.



Deck addition

**TOP FLOOR**  
SCALE: 1/4" = 1'

TOP FLOOR AREA = 3421 SQFT.  
OPEN AREA = 1291 ± 188 SQFT.  
NET TOP FL. AREA = 3369 SQFT.

**LEGEND**

- ⊙ SMOKE ALARM 1
- ⊙ SMOKE ALARM 2
- ⊙ SMOKE ALARM 3
- ⊙ SMOKE ALARM 4
- ⊙ FLOOR DRAIN
- ⊙ FAN

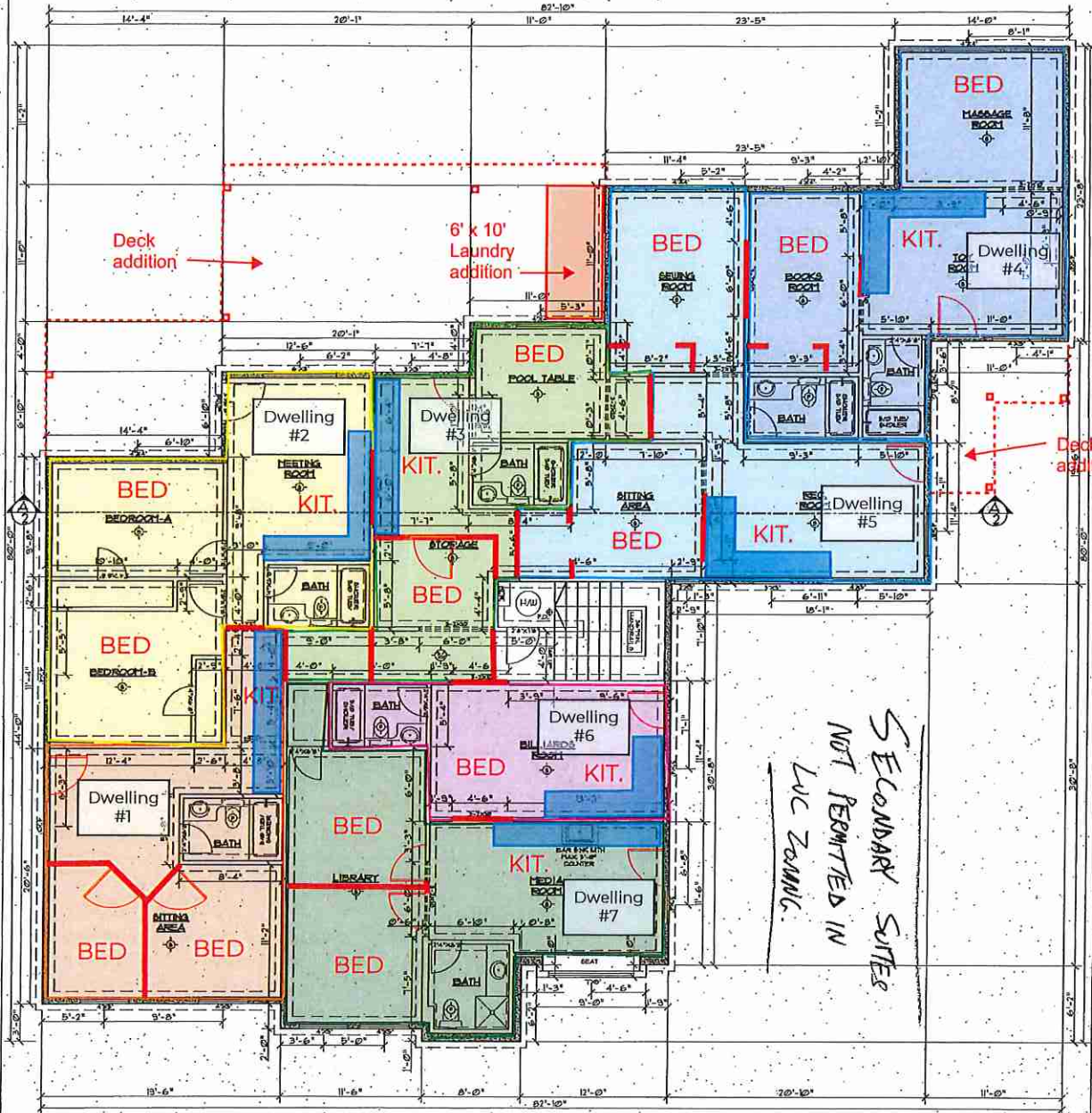
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THE CLIENT AGREES THAT ANY ATTEMPT BY THE CLIENT TO USE THESE DRAWINGS FOR ANY PURPOSE CONSTITUTES ACCEPTANCE OF THE PROVISIONS OF THE CONTRACT. FURTHER AGREED THAT UPON ACCEPTANCE OF THESE DRAWINGS BY THE CLIENT THE CLIENT AGREES THAT ANY CLAIM SHALL BE LIMITED TO THE AMOUNT OF THE FEE PAID TO THE DESIGNER BY THE CLIENT. DESIGNER SHALL NOT BE RESPONSIBLE FOR CLAIMS HELPED TO THE OWNER OR CONTRACTOR FOR ANY REASON OTHER BUILDING PERMIT, THIS PERMITS ONLY.

THESE PLANS HAVE BEEN REVIEWED FOR CONFORMANCE WITH THE NATIONAL BUILDING CODE OF CANADA AND THE BRITISH COLUMBIA BUILDING CODE. THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE PLANS AND HAS NOT CONDUCTED A STRUCTURAL ANALYSIS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CLAIMS HELPED TO THE OWNER OR CONTRACTOR FOR ANY REASON OTHER BUILDING PERMIT, THIS PERMITS ONLY.

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND BC ENERGY STEP CODE.

DATE: KASRA SCALE: 1/4" = 1'-0" DATE: 04 MAY 2022 DESIGNED BY: JPS PHONE: 718-998-2511	PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT 141 @ 3040 - 5 KYLE PL. SURREY, BC.	DESIGNER ADDRESS: GILL DRAFTING LTD. SUITE 201, 1011-1015 AVE. SURREY, BC V3R 5E8 TEL: (604) 595-4866 FAX: (604) 595-4830 WWW.GILLDRAFTING.COM		REVISIONS: AFR 2023 JPS BY: JPS	DRAWING NO.: GD22-4212 SHEET NO.: 6 OF 11
--	--	--	--	---------------------------------------	--

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SECONDARY SITES  
NOT REPORTED IN  
LUC ZONING.

**BASEMENT & FDN FLOOR**  
SCALE: 1/4" = 1'

BASEMENT FLOOR AREA = 3991 SQFT.

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THE OWNER AGREES THAT ANY ATTEMPT BY THE OWNER TO USE THESE DRAWINGS FOR ANY PURPOSE WITHOUT THE ACCEPTANCE OF THE CONTRACTOR BY THE OWNER IN WRITING, SHALL BE AT THE OWNER'S RISK AND WITHOUT LIABILITY TO THE CONTRACTOR. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR FOR ANY REASON AFTER BUILDERS PERMIT, LSA PERMIT, ETC.

DESIGNER'S SIGNATURE AND SEAL  
DATE: 04 MAY 2022  
PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER  
DESIGNER ADDRESS: GILL DRAFTING LTD. 1047 7th Street, Surrey, BC V4A 2E8  
TEL: (604) 275-8888 FAX: (604) 275-8888 WEBSITE: GILLDRAFTING.COM

**LEGEND**

- SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- SMOKE ALARM
- FLOOR DRAIN
- FAN

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

OWNER: KASRA	PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER	DESIGNER ADDRESS: GILL DRAFTING LTD. 1047 7th Street, Surrey, BC V4A 2E8	REVISIONS: AFR 2023	BY: JPS	DRAWING NO.: GD22-4212
SCALE: 1/4" = 1'-0"	DATE: 04 MAY 2022	RECEIVED: 04 MAY 2022	SHEET NO.: 1 OF 11		
OWNER: JPS	PROJECT NO: 2040 - SKYE PL. SURREY, BC	GILL DRAFTING LTD. 1047 7th Street, Surrey, BC V4A 2E8	TITB-000-3911		







PHILIP C.M. HUYNH, City Solicitor  
 MAUREEN ST. CYR, Assistant City Solicitor  
 KELLY RAYTER, Assistant City Solicitor  
 BENJIE LEE, Assistant City Solicitor  
 HUGH CAMPBELL, Assistant City Solicitor  
 ALLAN WU, Assistant City Solicitor  
 GUILLERMO FLORES, Assistant City Solicitor  
 WASSAN AUJLA, Assistant City Solicitor  
 KOMAL GILL, Assistant City Solicitor  
 ALISHA O'NEILL, Assistant City Solicitor

Our File: 2435-20-007  
 Direct Line: (604) 591-4159

December 20, 2024

### DELIVERED BY HAND

Gurpreet Singh Heer  
 9040 Skye Place  
 Surrey BC V3V 6T6

Navneet Kaur Heer  
 9040 Skye Place  
 Surrey BC V3V 6T6

Dear Sir/Madam

### Re: Unpermitted Construction at 9040 Skye Place, Surrey, BC (the "Property")

I am a lawyer with the City of Surrey (the "City") and am writing on behalf of the City concerning bylaw violations at the Property noted above.

As you have been advised by City staff, the additions and deck at the rear of the Property and the multiple exterior entrances that you have constructed on the Property (the "Works") are not permitted as they have been constructed without a valid building permit. Additionally, the Works are currently being occupied without an occupancy permit. Both the unpermitted construction and the unpermitted occupancy violate the Surrey Building Bylaw, 2012, No. 17850 (the "Building Bylaw").

Furthermore, the house on the Property contains more secondary suites than permitted by the Surrey Zoning By-law, 1993, No. 12000 (the "Zoning Bylaw"). The Property is zoned R3-Urban Residential Zone. This zoning only permits one secondary suite.

Please be advised that staff will be scheduling a hearing at a future Council Meeting, in which staff will recommend that Council make a resolution to file a notice in the land title office regarding the Works, pursuant to Section 57 of the *Community Charter* to notify third parties of the unpermitted works. The notice would be accessible by the public, including lenders and potential purchasers of the Property. You will be invited to the hearing to make submissions.

If you wish to avoid the hearing before Council, you are required to take the following steps:

1. Submit a permit application to the City's Building Division for the demolition of the Works, along with all required documents, information, fees, and deposits, as required by the Building Bylaw, by no later than **January 10, 2025**;
2. Immediately cease all unauthorized occupation of the Works; and
3. Immediately cease the use and occupation of all unpermitted secondary suites.

If you have any questions regarding the above steps, you may contact the City's Building Division at:

Trevor Welsh, Director, Building Division  
Tel. 604.591.4541  
Email: [trevor.welsh@surrey.ca](mailto:trevor.welsh@surrey.ca)

Once the above steps have been taken, you will also be expected to demolish the Works in a timely manner in accordance with any permits issued by the City. If the City is satisfied that you are making substantial and good faith efforts towards compliance with the City's bylaws, including demolition of the Works, the City may defer the above noted Council hearing to allow you time to voluntarily comply.

We strongly urge you to obtain independent legal representation regarding this matter. We do not protect your interests and do not in any way act on your behalf or in your interests.

Yours truly,



Komal Gill  
Assistant City Solicitor  
/ldd



**CITY OF SURREY**  
**PLANNING & DEVELOPMENT DEPARTMENT**  
**BUILDING DIVISION**  
 13450 - 104 Avenue, Surrey, BC V3T 1V8

**BUILDING PERMIT APPLICATION NO.:** B \_\_\_\_\_ - \_\_\_\_\_

Check all that are applicable. Other includes Fire Damage Repair, Storage Tank, Parking Lot, Antenna and Special Structure.

- |   |  |  |   |
|---|--|--|---|
| <input type="checkbox"/> New Building         | <input type="checkbox"/> Addition              | <input type="checkbox"/> Exterior Renovation | <input type="checkbox"/> Tenant Improvement |
| <input type="checkbox"/> Landlord Improvement | <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Change of Use       | <input type="checkbox"/> Other _____        |

**Project Address:**  
 9040 SKYE PL.

**Description of Proposed Work:**  
A precise description will speed processing and minimize the possibility of a delay in the plan review.  
 Demolition of Deck at rear of property.  
 Close Exterior entrances.

Trees:  Yes  No      Signature:

Registered User No.:      Construction Value: \$ 0.00

Is this, or was this building developed through the Certified Professional Program?       Yes  No

Proposed Use (i.e., Single Family Dwelling, Townhouse, Restaurant, Retail store, Warehouse, Office):

Any other buildings on same lot?       Yes  No      If yes, used for:

Is building strata titled?       Yes  No  In process of being strata titled.

**Applicant:** GURPREET HEER      Tel: ( ) -  
**Address:** 9040 SKYE PL. SURREY      Cell: [REDACTED]  
**Postal Code:** V3V 6T6      **Email:** [REDACTED]      Fax: ( ) -

**Property Owner:** GURPREET HEER      Tel: ( ) -  
**Address:** 9040 SKYE PL.      Cell: [REDACTED]  
**Postal Code:** V3V 6T6      **Email:** [REDACTED]      Fax: ( ) -

**Tenant/Business Name:**      Tel: ( ) -  
**Address:**      Cell: ( ) -  
**Postal Code:**      **Email:**      Fax: ( ) -

**Designer/Architect:**      Tel: ( ) -  
**Address:**      Cell: ( ) -  
**Postal Code:**      **Email:**      Fax: ( ) -

**Builder/General Contractor:**      Tel: ( ) -  
**Address:**      Cell: ( ) -  
**Postal Code:**      **Email:**      Fax: ( ) -

As Owner or as Agent on behalf of the Owner I have instructions to and I do certify that I have read and understand the release of liability, waiver of claims and indemnity provisions that are contained on the reverse side of the application and by signing this application I agree to all terms contained therein. I am aware that by signing this application I am waiving certain legal rights which I, or a party on whose behalf I act, may otherwise have against the City of Surrey. I have checked the title of this property and verify that there are no encumbrances or restrictions against the property that would prevent the requested building permit being issued. I am aware that this building permit application shall become void after six months from application date unless an extension has been requested in writing and granted in writing by the Manager, Building Division or designate.

**Applicant Signature:**      **Print Name:** GURPREET HEER

Personal information is collected for the purposes of processing your building permit application. The City of Surrey is collecting this information under s.26(c) of the Freedom of Information and Protection of Privacy Act. For questions regarding the collection of personal information, please contact the Customer Services Supervisor at [planningdevelopment@surrey.ca](mailto:planningdevelopment@surrey.ca) or 604-591-4366.

**OFFICE USE ONLY:**      Is there any current application with the Planning Division that could prevent this building permit application from being accepted at this time?       Yes  No

<b>Project Address:</b>		<b>Map No.:</b>	
<b>Legal:</b>		<b>Zone:</b>	
<b>DP No.:</b>	App'd: <input type="checkbox"/> Yes <input type="checkbox"/> No	<b>DVP No.:</b>	App'd: <input type="checkbox"/> Yes <input type="checkbox"/> No
<b>Sub. Div. No.:</b>	App'd: <input type="checkbox"/> Yes <input type="checkbox"/> No	<b>Rezone No.:</b>	App'd: <input type="checkbox"/> Yes <input type="checkbox"/> No <b>LUC No.:</b>
<b>Comments:</b>			<b>Completed by:</b>
<b>P.O.S. No.:</b>	<b>Date:</b>	<b>Received by:</b>	

**From:** [Wonfor, Jessica](#)  
**To:** [REDACTED]  
**Subject:** RE: 9040 Skye Place  
**Date:** January 17, 2025 10:26:00 AM  
**Attachments:** [image001.png](#)

---

Good morning,

Further to my email below, I wanted to clarify that we have identified eight secondary suites constructed within the house, not nine. Please ensure the removal of eight secondary suites is reflected in the building permit application.

Regards,

JESSICA WONFOR, BTech, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

**CITY OF SURREY**

Planning & Development, Building Division  
 13450 104th Ave, Surrey, BC, Canada V3T 1V8  
 T 604.591.4218 | [www.surrey.ca](http://www.surrey.ca)

**From:** Wonfor, Jessica  
**Sent:** January 13, 2025 11:40 AM  
**To:** [REDACTED]  
**Subject:** 9040 Skye Place  
**Importance:** High

Dear Mr. Heer,

I am writing regarding the building permit application for demolition that you have submitted for the property located at 9040 Skye Place (the "Property").

Upon reviewing the unpermitted construction at the Property, it has been identified that nine unpermitted secondary suites have also been constructed within the house. These suites must also be removed, and the house restored to a state that complies with the British Columbia Building Code, the City's Bylaws and all and any other applicable codes and enactments. To address this, you must also apply to restore the Property.

Please resubmit a building permit application that requests the following:

- the removal of the nine unpermitted secondary suites, the demolition of the unpermitted rear decks, and the removal of the unpermitted exterior entrances; and
- restoring the house to a state that complies with the British Columbia Building Code, the City's Bylaws and all and any other applicable codes and enactments.

If the house is to be restored to match the plans on file when the house was constructed, no

additional floor plans are required. If any modifications or layout changes are proposed, plans must be submitted showing the changes. A scope of work is required to outline in detail the steps required to bring the property into compliance. Additional documents and plans may be required once a detailed review has been completed.

Please provide us with the application form by **4:00 pm on January 23, 2025**. Once we receive and review the revised application form, we will inform you of the fees owing and any additional information required. Failure to do so will result in further enforcement action, including scheduling a hearing before Council pursuant to Section 57 of the *Community Charter*.

Regards,

JESSICA WONFOR, BTECH, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS



**CITY OF SURREY**

Planning & Development, Building Division

13450 104th Ave, Surrey, BC, Canada V3T 1V8

T 604.591.4218 | [www.surrey.ca](http://www.surrey.ca)

Please consider the environment before printing this email.

**From:** [gurpreet.singh](#)  
**To:** [Wonfor, Jessica](#)  
**Subject:** Re: 9040 Skye Place  
**Date:** January 19, 2025 1:49:34 PM

---

Good Morning ,

I have talked with my Designer who did the plans for the house. He is going to do new plans with some changes to basement floor plans. Also I am going to close the extra doors that I have made. He needs some more time to do the updated plans. Please allow us to submit updated plans till 15 March 2025. I am also sending his phone number.

Gill Drafting Ltd  
12877 76 Ave #211,  
Surrey, BC V3W 1E6  
Ph: 604-599-6886.

I want to work with the city to solve this issue.

Thank You for your consideration.

Regards,

Gurpreet Heer  
[REDACTED]

---

**From:** Wonfor, Jessica <Jessica.Wonfor@surrey.ca>

**Sent:** Friday, January 17, 2025 10:26:53 AM

**To:** [REDACTED]

**Subject:** RE: 9040 Skye Place

Good morning,

Further to my email below, I wanted to clarify that we have identified eight secondary suites constructed within the house, not nine. Please ensure the removal of eight secondary suites is reflected in the building permit application.

Regards,

JESSICA WONFOR, BTech, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

**CITY OF SURREY**

Planning & Development, Building Division  
13450 104th Ave,

**From:** [Wonfor, Jessica](#)  
**To:** [gurpreet singh](#)  
**Subject:** RE: 9040 Skye Place  
**Date:** January 22, 2025 5:48:00 PM

---

Hello Mr. Heer,

The City is agreeable to providing you an extension until 4:00 PM on **January 29, 2025**, to resubmit the building permit application, together with any accompanying plans. Failure to do so will result in further enforcement action, including scheduling a hearing before Council pursuant to Section 57 of the *Community Charter*.

Regards,

JESSICA WONFOR, BTech, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

**CITY OF SURREY**

Planning & Development, Building Division  
13450 104th Ave, Surrey, BC, Canada V3T 1V8  
T 604.591.4218 | [www.surrey.ca](http://www.surrey.ca)

**From:** [REDACTED]  
**Sent:** January 19, 2025 1:50 PM  
**To:** Wonfor, Jessica <[Jessica.Wonfor@surrey.ca](mailto:Jessica.Wonfor@surrey.ca)>  
**Subject:** Re: 9040 Skye Place

Good Morning,

I have talked with my Designer who did the plans for the house. He is going to do new plans with some changes to basement floor plans. Also I am going to close the extra doors that I have made. He needs some more time to do the updated plans. Please allow us to submit updated plans till 15 March 2025. I am also sending his phone number.

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Ph: 604-599-6886.

I want to work with the city to solve this issue.

Thank You for your consideration.

Regards,

Gurpreet Heer  
[REDACTED]

---

**From:** Wonfor, Jessica <[Jessica.Wonfor@surrey.ca](mailto:Jessica.Wonfor@surrey.ca)>

**Sent:** Friday, January 17, 2025 10:26:53 AM

**To:** [REDACTED]

**Subject:** RE: 9040 Skye Place

Good morning,

Further to my email below, I wanted to clarify that we have identified eight secondary suites constructed within the house, not nine. Please ensure the removal of eight secondary suites is reflected in the building permit application.

Regards,

JESSICA WONFOR, BTECH, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

**CITY OF SURREY**

Planning & Development, Building Division  
13450 104th Ave,