

Special Council Agenda Hearing

Live streamed via the City's website www.surrey.ca

A. OPENING REMARKS BY CHAIR

**B. FILING OF A NOTICE ON TITLE TO THE PROPERTY AT 9040 SKYE PLACE
PURSUANT TO SECTION 57 OF THE COMMUNITY CHARTER**

1. OPENING REMARKS BY COUNSEL

Assistant City Solicitor, Counsel for the Building Inspector

Introduction of Counsel and parties present

2. PRESENTATION BY COUNSEL FOR THE BUILDING INSPECTOR

1. Presentation and submissions by Counsel for the Building Inspector:

i. Corporate Report R053: Filing a Notice on Title, 9040 Skye Place, Surrey, BC; and

ii. Further materials as Counsel for the Building Inspector may advise.

3. PRESENTATION BY THE OWNER

1. Presentation and submissions by the owner

4. QUESTIONS

1. Questions by the owner;

2. Questions by Counsel for the Building Inspector; and

3. Questions by Council Members.

5. CLOSING SUBMISSIONS BY COUNSEL FOR THE BUILDING INSPECTOR

Counsel for the Building Inspector to provide closing submissions.

6. CLOSING SUBMISSIONS BY THE OWNER

Owner to provide closing submissions.

7. DECISION BY COUNCIL

Council to consider a motion to accept or reject the Building Inspector's recommendation to file a notice on title for the property located at 9040 Skye Place, Surrey, BC.

**C. FILING OF A NOTICE ON TITLE TO THE PROPERTY AT 6718 – 140A Street
PURSUANT TO SECTION 57 OF THE COMMUNITY CHARTER**

1. OPENING REMARKS BY COUNSEL

Assistant City Solicitor, Counsel for the Building Inspector

Introduction of Counsel and parties present

2. PRESENTATION BY COUNSEL FOR THE BUILDING INSPECTOR

1. Presentation and submissions by Counsel for the Building Inspector:

i. Corporate Report R054: Filing a Notice on Title, 6718 – 140A Street, Surrey, BC; and

ii. Further materials as Counsel for the Building Inspector may advise.

3. PRESENTATION BY THE OWNER

1. Presentation and submissions by the owner

4. QUESTIONS

1. Questions by the owner;

2. Questions by Counsel for the Building Inspector; and

3. Questions by Council Members.

5. CLOSING SUBMISSIONS BY COUNSEL FOR THE BUILDING INSPECTOR

Counsel for the Building Inspector to provide closing submissions.

6. CLOSING SUBMISSIONS BY THE OWNER

Owner to provide closing submissions.

7. DECISION BY COUNCIL

Council to consider a motion to accept or reject the Building Inspector's recommendation to file a notice on title for the property located at 6718 - 140A Street, Surrey, BC.

D. ADJOURNMENT

CITY OF SURREY

OPENING REMARKS BY
CHAIR



CITY OF SURREY

FILING OF A
NOTICE ON TITLE TO
THE PROPERTY AT
9040 SKYE PLACE
PURSUANT TO
SECTION 57 OF THE
*COMMUNITY
CHARTER*



CITY OF SURREY

OPENING
REMARKS BY
COUNSEL



CITY OF SURREY

PRESENTATION BY
COUNSEL FOR THE
BUILDING INSPECTOR



CORPORATE REPORT

NO: **R053**

COUNCIL DATE: **March 31, 2025**

REGULAR COUNCIL

TO: Mayor & Council

DATE: **January 31, 2025**

FROM: Trevor Welsh, Director, Building Division
Jon Milloy, Manager, Building Inspections

FILE: **2024-059073**

SUBJECT: **Filing a Notice on Title, 9040 Skye Place, Surrey, BC**

RECOMMENDATION

The Building Inspector recommends that Council:

1. Receive this report for information; and
2. Direct the City Clerk to pay any prescribed fee and file in the Land Title Office, pursuant to Section 57 of the *Community Charter*, a notice on title to the property located at 9040 Skye Place, Surrey, BC, and legally described as:

PID: 006-394-973
Lot 147 Section 32 Township 2 New Westminster District
Plan 49315

(the "Property"),

which notice shall, in substance, indicate that:

- a. a resolution has been made under Section 57 of the *Community Charter*; and
- b. further information may be inspected at Surrey City Hall.

INTENT

The purpose of this report is to provide information to Council regarding unpermitted construction on the Property and to recommend that Council direct the City Clerk to register a notice in the Land Title Office pursuant to Section 57 of the *Community Charter* on the basis that works were constructed on the Property without the required permits.

BACKGROUND

Section 57 of the Community Charter

Under Section 57 of the *Community Charter*, Council may make a resolution directing staff to file a notice in the Land Title Office relating to a property where the building inspector:

- a) observes that land, building, or other structure is in contravention of a municipal bylaw, Provincial building regulation, or any other enactment that relates to the construction or safety of buildings or other structures, and the building or other structure is unsafe [Section 57(1)(a)];
- b) discovers that something was done with respect to a building or other structure that required a permit under a municipal bylaw, Provincial building regulation or other enactment, and the permit was not obtained [Section 57(1)(b)(i)]; or
- c) discovers that something was done with respect to a building or other structure that required an inspection under a municipal bylaw, Provincial building regulation or other enactment, and the inspection was not satisfactorily completed [Section 57(1)(b)(ii)].

Section 57 requires that the registered owner(s) of the property be given written notice of the building inspector's recommendation to Council.

After the owner(s) and the building inspector have been given an opportunity to be heard by Council, Council may endorse or deny the recommendations of the building inspector.

A Section 57 notice alerts anyone searching a title to a property, such as prospective purchasers, that a property may contravene bylaws or regulations relating to building safety. The notice does not disclose details about any contraventions but indicates that further information may be obtained from City Hall.

A Section 57 notice may be cancelled under the following circumstances as set out in Section 58 of the *Community Charter*:

1. The building inspector may submit a report to the City Clerk advising that the condition that gave rise to the notice has been rectified. The City Clerk must then file a cancellation notice; or
2. The owner may ask Council to pass a resolution directing the City Clerk to cancel the notice. If the resolution is passed, then the City Clerk must file a cancellation notice in the Land Title Office. If Council does not pass a resolution cancelling the notice, then the owner may apply to the Supreme Court of British Columbia and the court may determine whether the notice should be cancelled.

Surrey Building By-law, 2012, No. 17850 (the “Building Bylaw”)

The Building Bylaw regulates the construction, alteration, repair, or demolition of buildings and structures for the health, safety, and protection of persons and property, and to provide for the administration of the BC Building Code in the City.

Sections 8 and 21 of the Building Bylaw require that an owner must apply for and obtain a permit before performing construction work:

1. Section 8 of the Building Bylaw provides that no person shall commence or continue any construction unless the Building Official has issued a valid and enduring permit for the work.
3. Section 21(a) of the Building Bylaw further provides that every owner shall apply for and obtain a permit before carrying out any construction work.

The term “construction” under the Building Bylaw is defined as the process or activity by which any building or structure is erected, repaired, altered, renovated, added to, installed, demolished, removed or moved, or for which preparation is made by way of shoring or excavation.

The Property

In or around August 2007, Gurpreet Singh Heer and Navneet Kaur Heer (the “Owners”) purchased the Property. They remain the registered owners of the Property.

On or about September 7, 2023, the City issued a building permit for the construction of a single-family dwelling at the Property. A revised permit was issued by the City on or about April 15, 2024. A final building approval for a single-family dwelling at the Property was issued by the City on September 4, 2024.

Unpermitted construction came to the City’s attention in October 2024. Since then, the City has made numerous attendances at the Property and have confirmed that the Owners have performed the following unpermitted work at the Property:

- Constructing a deck and attached staircase at the rear of the main floor (the “First Deck Addition”);
- Constructing a deck and attached staircase at the east side of the main floor (the “Second Deck Addition”);
- Constructing a deck on the rear of the upper floor (the “Third Deck Addition”);
- Constructing an attached laundry room to the basement floor (the “Laundry Room”);
- Installing nine exterior doors to the home; and
- Constructing eight additional dwelling units within the home.

(Collectively, the “Unpermitted Construction”)

A detailed chronology of the Property and the City's enforcement efforts is attached as Appendix "I".

The City has not issued a building permit for the Unpermitted Construction at any time.

The City has issued the Owners one bylaw contravention notice and five site visit fees, totaling \$1,526, all related to the Unpermitted Construction. The fine and fees have been paid in full.

DISCUSSION

The Property meets the criteria under Section 57 of the *Community Charter* that permits Council to direct the City Clerk to file a notice in the Land Title Office. Section 57(1)(b) permits the filing of a notice in the Land Title Office if a building inspector "discovers that something was done with respect to a building or other structure, or the construction of a building or other structure, that required a permit...under a bylaw" and "the permit was not obtained...".

Sections 8 and 21(a) of the Building Bylaw require that owners apply for and obtain a building permit before carrying out construction work in the nature of the Unpermitted Construction.

At this time, there is no realistic path for the Owners to obtain a building permit to retain the Unpermitted Construction in accordance with the Building Bylaw. The Unpermitted Construction has essentially changed the use of the building from a single-family dwelling to a multi-family apartment building. As a result, the building does not comply with the British Columbia Building Code as the fire protection and life safety system requirements for multi-family buildings are more restrictive. Also, the construction has progressed to a point where many essential elements are now obscured, preventing the necessary inspections by the City to confirm safety and compliance with the Building Bylaw and British Columbia Building Code. In addition, the Property currently contravenes the Zoning Bylaw by containing more dwelling units than are permitted.

Section 57 of the *Community Charter* provides municipalities with an important tool for protecting the public by alerting the public and prospective purchasers about unpermitted construction. Prospective purchasers may not be aware that portions of the Property are unpermitted and lack the required inspections and approvals. The Building Inspector recommends that Council authorize the filing of a notice on title to the Property for the purposes of protecting the public. A notice on title to the Property will inform prospective purchasers about the Unpermitted Construction and allow them to make an informed decision regarding a potential purchase of the Property.

Council has authority under Section 57 of the *Community Charter* to accept or reject the Building Inspector's recommendation to file a notice on title to the Property with the Land Title Office.

Legal Services Review

Legal Services has reviewed this report.

CONCLUSION

This report seeks to obtain Council's approval to direct the City Clerk to file a notice in the Land Title Office stating that a resolution has been made under Section 57 of the *Community Charter* relating to the Property and that further information may be inspected at Surrey City Hall.



Trevor Welsh
Director, Building Division



Jon Milloy
Manager, Building Inspections

Appendix "I": Chronology of Property and Unpermitted Construction

c.c. City Manager
General Manager, Planning & Development
City Clerk
City Solicitor

APPENDIX "I"

CHRONOLOGY OF PROPERTY AND UNPERMITTED CONSTRUCTION

The following is a detailed summary of facts relating to the Unpermitted Construction at the Property.

Attached as Schedule "A" is a COSMOS image dated March 19, 2024, depicting the Property.

The Property was previously zoned through the Land Use Contract No. 104. The Property is currently zoned as a R3, Urban Residential Zone. Attached as Schedule "B" is a copy of the Zoning Map with the Property outlined in red.

On or around August 15, 2007, the Owners purchased the Property and are currently the registered owners of the Property. Attached as Schedule "C" is a copy of the State of Title Certificate for the Property.

On September 7, 2023, the City issued a building permit for the construction of a single-family dwelling at the Property (the "Building Permit"). Attached as Schedule "D" is a copy of the Building Permit issued by the City on September 7, 2023. Attached as Schedule "E" are the floor plans associated with the Building Permit.

On April 15, 2024, the City issued a revised building permit (the "Revised Building Permit"). Attached as Schedule "F" is a copy of the Revised Building Permit issued by the City on April 15, 2024. Attached as Schedule "G" are the floor plans associated with the Revised Building Permit (the "Approved Plans").

On September 4, 2024, the Property received final building approval from the City. Attached as Schedule "H" is a copy of the final building approval slip from the City dated September 4, 2024.

The Property consists of three storeys: a basement floor, a main floor, and an upper floor.

On October 20, 2024, Bylaw Enforcement Officer Ronald Graham ("Officer Graham") attended the Property and observed that the First Deck Addition, the Second Deck Addition, and additional door openings had been constructed at the rear of the Property. Officer Graham spoke with Mr. Heer and informed him that a building permit was required for the deck extensions and additional door openings. Officer Graham took photographs of his observations on October 20, 2024, which are attached as Schedule "I". The photographs have been numbered for ease of reference and depict the following:

- Photographs 1 and 2 depict the First Deck Addition and the Third Deck Addition being constructed; and
- Photograph 3 depicts the front of the home.

The Owners did not apply for or obtain a building permit from the City prior to building the Unpermitted Construction at the Property.

On October 22, 2024, Building Inspector, Kyle May ("Mr. May") attended the Property and observed additional interior floor space, the First Deck Addition, the Third Deck Addition, and multiple exterior door entrances at the rear of the Property. Mr. May issued and posted a Stop Work Order on the Property as the construction was performed without a valid building permit issued by the City.

On October 23, 2024, Mr. May reattended the Property to take photographs of his observations from the previous day. Attached as Schedule "J" are the photographs Mr. May took on October 23, 2024. The photographs have been numbered for ease of reference and depict the following:

- Photographs 1 and 2 depict the Stop Work Order posted by Mr. May on October 22, 2024 along with the Site Visit Fee notices posted to the front of the Property;
- Photograph 3 depicts the First Deck Addition;
- Photograph 4 depicts the Third Deck Addition and an exterior door installed;
- Photograph 5 depicts the Laundry Room; and
- Photographs 6 7, 8, 9, 10 and 11 depict additional exterior doors installed on the basement floor.

Mr. May observed that a total of nine additional exterior doors were installed.

On the same day, the Building Division sent a Compliance Order to the Owners. A copy of the Compliance Order dated October 23, 2024 is attached as Schedule "K".

On October 24, 2024, Bylaw Enforcement Officer, Erica Bates ("Officer Bates"), attended the Property to hand deliver a copy of the Compliance Order to the Owners. Mr. Heer was present at the Property and Officer Bates was able to hand deliver the Compliance Order to Mr. Heer.

On November 1, 2024, Mr. Heer emailed the Building Division regarding the Stop Work Order posted on the Property. On November 4, 2024, Staff responded to Mr. Heer's email with links to information regarding Stop Work Orders and instructions on how to rectify the Unpermitted Construction. Attached as Schedule "L" is a copy of this email exchange dated November 1, 2024 and November 4, 2024, respectively.

On November 14, 2024, Bylaw Enforcement Officer Suneil Khakh ("Officer Khakh") and Mr. May attended the Property for a scheduled inspection. Officer Khakh and Mr. May were unable to conduct an interior inspection on this day, but did conduct an exterior inspection. They observed multiple exterior doors installed on the north, east and west of the house. They also observed new

window openings that had been constructed, along with the First Deck Addition. Officer Khakh took photographs of his observations on November 14, 2024, which are attached as Schedule "M".

On November 25, 2024, Fire Captain, Ben Wilson ("Fire Captain Wilson"), Bylaw Enforcement Officer Taj Sangha ("Officer Sangha"), Officer Bates and Building Inspections Manager, Jon Milloy ("Mr. Milloy"), attended the Property for an inspection. Staff observed that significant alterations had been made to the interior of the house to create multiple separate dwelling units. Staff observed that there was a total of eight dwelling units in addition to the main residence. During the inspection, Staff observed the following:

- The first dwelling unit was located on the basement floor of the northwest side of the house. This was an unfinished self-contained dwelling unit, with two bedrooms, a bathroom and a living/kitchen area with space for cooking facilities ("Dwelling Unit #1").
- The second dwelling unit was located on the basement floor at the rear of the house, underneath the First Deck Addition. This was an unfinished self-contained dwelling unit, with two bedrooms, a bathroom and a living/kitchen area with space for cooking facilities ("Dwelling Unit #2").
- The third dwelling unit was located on the basement floor at the rear of the house, also underneath the First Deck Addition. This was an unfinished self-contained dwelling unit, with two bedrooms, a bathroom and a living/kitchen area with space for cooking facilities ("Dwelling Unit #3").
- The fourth dwelling unit was located on the basement floor at the rear of the house, underneath the Second Deck Addition. This was a self-contained dwelling unit with two bedrooms, a bathroom and a living/kitchen area that contained cooking facilities ("Dwelling Unit #4"). Dwelling Unit #4 was occupied by tenants.
- The fifth dwelling unit was located on the basement floor at the southeast side of the house. This was an unfinished self-contained dwelling unit with two bedrooms, a bathroom, and a living/kitchen area with space for cooking facilities ("Dwelling Unit #5").
- The sixth dwelling unit was located on the basement floor at the front of the house on the south side. This was a self-contained, studio-style dwelling unit with a bathroom, a combined living/kitchen area with cooking facilities, and a door leading to a stairwell connecting to the main floor of the house ("Dwelling Unit #6"). Dwelling Unit #6 was tenanted.
- The seventh dwelling unit was also located on the basement floor at the front of the house on the south side, beside Dwelling Unit #6. This was a nearly completed self-contained dwelling unit with two bedrooms, a bathroom and a living/kitchen area with space for cooking facilities ("Dwelling Unit #7").

- The eighth dwelling unit was located on the main floor, on the east side of the house at the rear. Internally, it was accessible through an unfinished doorway from the main residence kitchen. This was an unfinished self-contained dwelling unit with three bedrooms, a bathroom and a living/kitchen area with space for cooking facilities ("Dwelling Unit #8"). It also included an exterior door leading from the kitchen area to the Second Deck Addition, providing external access to Dwelling Unit #8.

Officer Bates took photographs of her observations on November 25, 2024, which are attached as Schedule "N". The photographs have been numbered for ease of reference and depict the following:

1. Photograph 1 depicts the front of the house;
2. Photograph 2 depicts the northwest side of the house where the exterior door to Dwelling Unit #1 is located;
3. Photograph 3 depicts the unfinished living area in Dwelling Unit #1;
4. Photograph 4 depicts the two bedrooms in Dwelling Unit #1;
5. Photograph 5 depicts the bathroom in Dwelling Unit #1;
6. Photographs 6 and 7 depict the unfinished kitchen area with space for cooking facilities;
7. Photograph 8 depicts the rear of the house with an exterior door that leads to Dwelling Unit #2;
8. Photograph 9 depicts the unfinished living and kitchen area with space for cooking facilities in Dwelling Unit #2.
9. Photograph 10 depicts the first bedroom in Dwelling Unit #2;
10. Photograph 11 depicts the second bedroom in Dwelling Unit #2;
11. Photograph 12 depicts a bathroom in Dwelling Unit #2;
12. Photographs 13 and 14 depict the rear of the house and the First Deck Addition, where Dwelling Unit #3 is located.
13. Photographs 15 and 16 depict the unfinished living and kitchen area with space for cooking facilities in Dwelling Unit #3;
14. Photograph 17 depicts the first bedroom in Dwelling Unit #3;

15. Photograph 18 depicts the second bedroom in Dwelling Unit #3;
16. Photograph 19 depicts the bathroom in Dwelling Unit #3;
17. Photograph 20 depicts a view of the Second Deck Addition, with Dwelling Unit #4 located beneath it;
18. Photograph 21 depicts the exterior door to Dwelling Unit #4;
19. Photograph 22 depicts the kitchen area with cooking facilities in Dwelling Unit #4;
20. Photograph 23 depicts the living area in Dwelling Unit #4;
21. Photograph 24 depicts the first bedroom in Dwelling Unit #4;
22. Photograph 25 depicts the second bedroom in Dwelling Unit #4;
23. Photograph 26 depicts the exterior entrance to Dwelling Unit #5;
24. Photograph 27 depicts the unfinished living and kitchen area with space for cooking facilities in Dwelling Unit #5;
25. Photograph 28 depicts the first bedroom in Dwelling Unit #5;
26. Photograph 29 depicts the second bedroom in Dwelling Unit #5;
27. Photograph 30 depicts the bathroom in Dwelling Unit #5;
28. Photograph 31 depicts the south side of the house with two exterior doors;
29. Photograph 32 depicts the exterior door to Dwelling Unit #6;
30. Photograph 33 depicts the kitchen area with cooking facilities in Dwelling Unit #6;
31. Photograph 34 depicts the living area with a bed in Dwelling Unit #6;
32. Photograph 35 depicts the bathroom in Dwelling Unit #6;
33. Photograph 36 depicts an interior door in Dwelling Unit #6 that leads to a stairwell to the main floor of the house;

34. Photograph 37 depicts a closed exterior door, which provides access to Dwelling Unit #7;
35. Photograph 38 depicts the living and kitchen area with space for cooking facilities and a fridge in Dwelling Unit #7;
36. Photograph 39 depicts the first bedroom in Dwelling Unit #7;
37. Photograph 40 depicts the second bedroom in Dwelling Unit #7;
38. Photograph 41 depicts the bathroom in Dwelling Unit #7;
39. Photograph 42 depicts the unfinished doorway in the main residence kitchen that leads to a bedroom in Dwelling Unit #8;
40. Photograph 43 depicts the first bedroom in Dwelling Unit #8;
41. Photographs 44 and 45 depict the living and kitchen area with space for cooking facilities in Dwelling unit #8;
42. Photograph 46 depicts the second bedroom ;
43. Photograph 47 depicts the third bedroom;
44. Photograph 48 depicts the bathroom in Dwelling Unit #8;
45. Photograph 49 depicts the living/kitchen area with an exterior door to the Second Deck Addition in Dwelling Unit #8;
46. Photographs 50 and 51 depict the Second Deck Addition that provides external access to Dwelling Unit #8;
47. Photograph 52 depicts the exterior of the Laundry Room; and
48. Photograph 53 depicts the interior of the Laundry Room.

Attached as Schedule "O" is an excerpt of the Approved Plans, which staff have marked in colour to highlight some of the Unpermitted Construction at the Property. In particular, it depicts the eight additional dwelling units that were constructed within the home.

On December 26, 2024, Officer Bates attended the Property and delivered a letter dated December 20, 2024, from the Legal Services Division to the Owners (the "Letter"). The Letter warns the Owners that staff will be scheduling a hearing at a future Council Meeting, at which staff will recommend that Council make a resolution to file a notice in the land title office regarding the Unpermitted Construction, pursuant to Section 57 of the *Community Charter*. The Owners were provided with a deadline of January 10, 2025 to take steps to address this matter. Attached as Schedule "P" is a copy of the Letter.

On or around January 9, 2025, Mr. Heer submitted a building permit application for demolition (the "Demolition Permit Application"). Attached as Schedule "Q" is a copy of the Demolition Permit Application.

On or around January 13, 2025, and January 17, 2025, the Residential Buildings Permit Approvals Manager, Jessica Wonfor ("Ms. Wonfor"), notified Mr. Heer via email that the eight unpermitted dwelling units that were constructed within the home must also be removed. Ms. Wonfor provided instructions to Mr. Heer to resubmit a building permit application to address this issue. Attached as Schedule "R" are copies of Ms. Wonfor's emails dated January 13, 2025 and January 17, 2025.

On January 19, 2025, Mr. Heer responded to Ms. Wonfor's email, stating that he intended to submit new plans and requested an extension until March 15, 2025, to submit the aforementioned plans. Attached as Schedule "S" is a copy of this email dated January 19, 2025.

On January 22, 2025, Ms. Wonfor responded to Mr. Heer's email and granted an extension until January 29, 2025, to resubmit the building permit application along with any accompanying plans. Attached as Schedule "T" is a copy of Ms. Wonfor's email to Mr. Heer dated January 22, 2025.

The City has issued the Owners one bylaw contravention notice and five site visit fees, totaling \$1,526, all related to the Unpermitted Construction. These fines and fees have been paid in full.

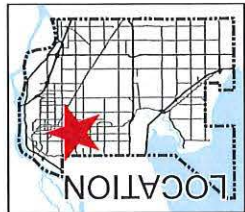
At this time, there is no realistic path for the Owners to obtain a building permit to retain the Unpermitted Construction in accordance with the Building Bylaw. The Unpermitted Construction has essentially changed the use of the building from a single-family dwelling to a multi-family apartment building. As a result, the building does not comply with the British Columbia Building Code as the fire protection and life safety system requirements for multi-family buildings are more restrictive. Also, the construction has progressed to a point where many essential elements are now obscured, preventing the necessary inspections by the City to confirm safety and compliance with the Building Bylaw and British Columbia Building Code. In addition, the Property currently contravenes the Zoning Bylaw by containing more dwelling units than are permitted.



Schedule A

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- Legend**
- Subject Property
 - LUC Boundary
 - Zoning Boundary
 - Parks
 - Parcels
 - Creek
 - River



BY-LAW & LICENSING SERVICES

9040 SKYE PL ZONING



SCALE: 1:2,500

Map Page B 031

LAND TITLE OFFICE
STATE OF TITLE CERTIFICATE

Certificate Number: STSR4136011

File Reference: Heer 9040 Skye

CITY OF SURREY
 13450 - 104 AVENUE
 SURREY BC V3T 1V8

A copy of this State of Title Certificate held by the land title office can be viewed for a period of one year at <https://apps.ltsa.ca/cert> (access code 549622).

I certify this to be an accurate reproduction of title number **BB536339** at 09:24 this 7th day of January, 2025.



 REGISTRAR OF LAND TITLES



Land Title District Land Title Office	NEW WESTMINSTER NEW WESTMINSTER
Title Number From Title Number	BB536339 BX563105
Application Received	2007-08-15
Application Entered	2007-08-20
Registered Owner in Fee Simple Registered Owner/Mailing Address:	GURPREET SINGH HEER, ELECTRICIAN NAVNEET KAUR HEER, CASHIER 9040 SKYE PLACE SURREY, BC V3V 6T6 AS JOINT TENANTS
Taxation Authority	Surrey, City of

LAND TITLE OFFICE
STATE OF TITLE CERTIFICATE

Certificate Number: STSR4136011

Description of Land

Parcel Identifier: 006-394-973
Legal Description:
LOT 147 SECTION 32 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 49315

Legal Notations NONE

Charges, Liens and Interests

Nature: MORTGAGE
Registration Number: CB947626
Registration Date and Time: 2023-10-12 11:28
Registered Owner: ROYAL BANK OF CANADA

Duplicate Infeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE

This certificate is to be read subject to the provisions of section 23(2) of the Land Title Act(R.S.B.C. 1996 Chapter 250) and may be affected by sections 50 and 55-58 of the Land Act (R.S.B.C. 1996 Chapter 245).

9040 - Skye PI (13310)
SINGLE FAMILY DWELLING
ENERGY STEP 3

B-22-019137-0-0
AREA: NORTH

CITY OF SURREY

BUILDING PERMIT

PROJECT ADDRESS: 9040 - Skye PI SINGLE FAMILY DWELLING
ENERGY STEP 3
LEGAL DESCRIPTION: LT 147 SE SEC 32 T2 PL 49315
ZONE: LUC 104 (R-3 2265)
PERMIT TYPE: Residential C-S **BUILDING TYPE:** Single Family **WORK PROPOSED:** New
DECLARED VALUE OF CONSTRUCTION: \$700,000

WORK DESCRIPTION:

SINGLE FAMILY DWELLING Three storey on SLAB. Double Garage
 Code Compliance as per BCBC 2018
 BC Energy Step Code: Step 3
 Secondary Suite not permitted
 Do not remove any trees protected by the Surrey Tree Preservation By-law without permits.
 First Floor Slab: 64.67m Heating: RADIANT
 MAXIMUM SITE COVERAGE ACHIEVED
 P. Eng. Geotechnical & Structural as per GS DHESI
 Inspections required.
 RWL TO SPLASH PADS

APPLICANT:

Gurpreet S Heer 9040 Skye Place Surrey V3V 6T6

BUILDER / GENERAL CONTRACTOR:

JOTS 0507 ENTERPRISES LTD. 10846 141 St Surrey

OWNER:

Gurpreet S Heer 9040 Skye Place Surrey V3V 6T6

Navneet Heer 10251 143 St Surrey V3T 4T4

MAJOR ROAD:	No	LEGAL ACCESS FROM LANE:	No
SANITARY MAIN:	Yes	LEGAL ENCUMBRANCES:	Yes
SAN. CONNECTION:	to be applied for	WATER MAIN:	Yes
STORM SEWER:	Yes	WATER CONNECTION:	to be applied for and metered
STORM CONNECTION:	to be applied for	ELECTRICAL:	Underground
DRIVEWAY WIDTH:	6		

COMMENTS:

ENG - Driveway access is not to exceed 6 metres and must clear street lights, power poles, hydrants, hydro kiosks and any other utility structure by a minimum of 1 metre and must have a minimum 1.5 metre clearance from side property lines.

ENG - Any changes to the existing driveway access or construction of a new driveway access requires prior approval and a City Road and ROW permit from the Engineering Department. City Road and ROW permit for any driveway changes must be issued and completed prior to final occupancy.

ENG - Sanitary, storm and water connections must be applied for in Eng. Dept. prior to issuance of BP

ENG - Builder must implement Best Management Practises in accordance with Schedule "B" of the Erosion and Sediment Control By-law

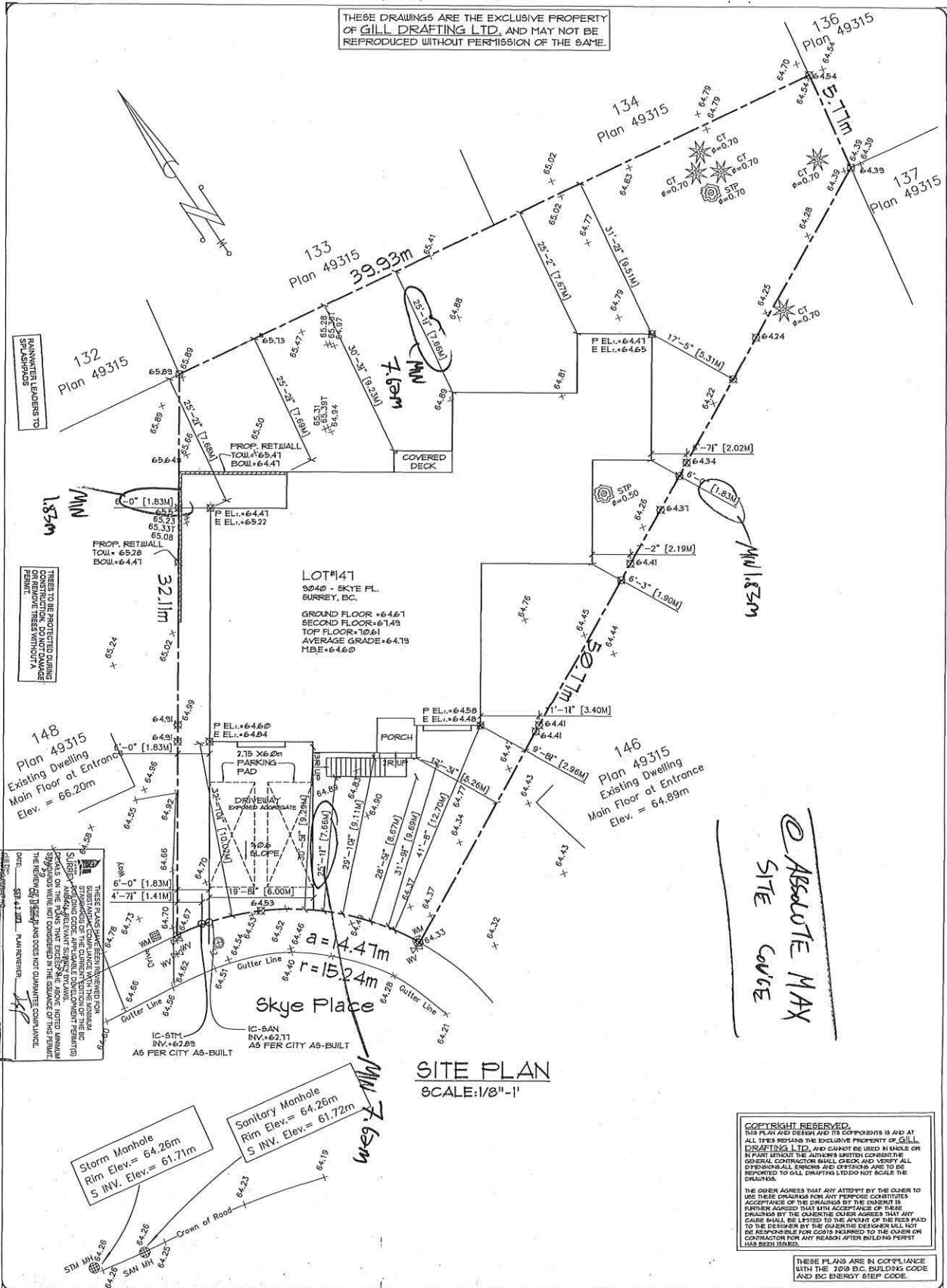
ENG - Builder is responsible for all boulevard repairs not reported and confirmed by Eng. Dept as pre-existing damage.

Builder to ensure that any fence construction does not conflict with service connections at the property line. The City must have full access to the storm and sanitary inspection chambers, water shut off and water meter. If the water meter conflicts with the fence location, applicant must relocate meter pit and setter 300mm from the proposed fence and provide a dummy, accessible without entering private property.

ENG - A FINAL BOULEVARD INSPECTION MUST BE COMPLETED BY THE ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF OCCUPANCY.

ISSUED BY: IP4
DATE OF ISSUANCE: THURSDAY SEPTEMBER 07, 2023

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF GILL DRAFTING LTD. AND MAY NOT BE REPRODUCED WITHOUT PERMISSION OF THE SAME.



ABSOLUTE MAX SITE COVER

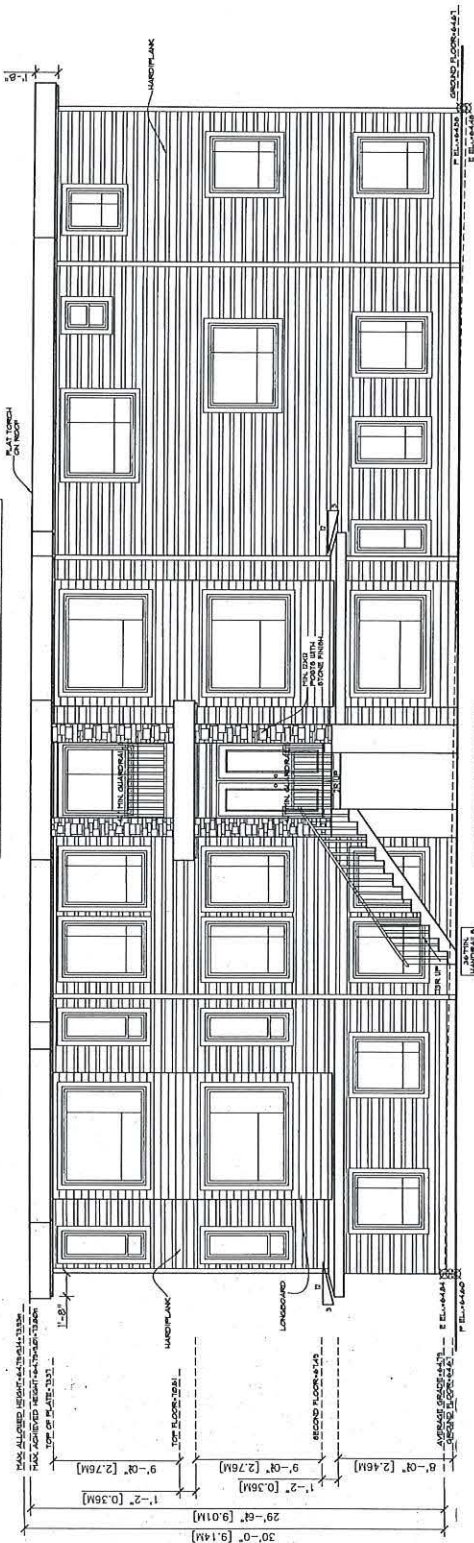
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 THE OWNER AGREES THAT ANY ATTEMPT BY THE OWNER TO USE THESE DRAWINGS FOR ANY PURPOSE CONSTITUTES ACCEPTANCE OF THE DRAWINGS BY THE OWNER IS FURTHER AGREED THAT WITH ACCEPTANCE OF THESE DRAWINGS BY THE OWNER THE OWNER AGREES THAT ANY CLAIM SHALL BE LIMITED TO THE AMOUNT OF THE FEES PAID TO THE DESIGNER BY THE OWNER. DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR FOR ANY REASON AFTER BUILDING PERMIT HAS BEEN ISSUED.

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

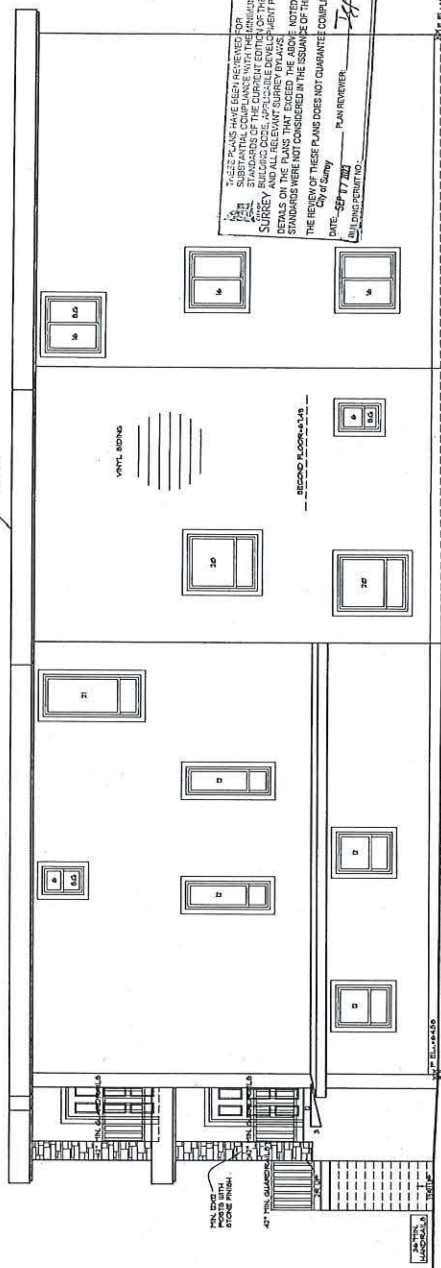
SITE PLAN
 SCALE: 1/8" = 1'

<p>DWN: KASRA</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 04 MAY 2022</p> <p>CHD: JPS</p> <p>PHN: 778-933-2511</p>	<p>PROJECT NAME</p> <p>PROPOSED RESIDENCE FOR GURPREET SINGH HEER</p> <p>07141 @ 9240 - SKYE PL., SURREY, BC</p>	<p>DESIGNER ADDRESS:</p> <p>GILL DRAFTING LTD.</p> <p>SURREY DESIGN CENTRE</p> <p>UNIT 21, 9971-76 AVE.</p> <p>SURREY, BC V0V 2E9</p> <p>TEL: (604) 593-6266</p> <p>FAX: (604) 593-6268</p> <p>WEBSITE: WWW.GILLDRAFTING.CA</p>	<p>Gill Drafting</p>	<p>REVISIONS</p> <p>APR 2023 JPS</p>	<p>DRAWING NO.</p> <p>GD22-4212</p> <p>SHEET NO.</p> <p>1 OF 11</p>
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FRONT ELEVATION
SCALE 1/4"=1'-0"



RIGHT ELEVATION
SCALE 1/4"=1'-0"

WALL FACE AREA = 241 SQFT.
LIFTING DISTANCE = 222 FT 4 1/2 IN. = 71.33 SQFT.
ACTUAL GLASS AREA = 18.2 SQFT.

SPARKL d.

THESE PLANS HAVE BEEN REVIEWED FOR SUBSTANTIAL COMPLIANCE WITH THE BC SURVEY AND ALL RELEVANT SURVEY BYLAWS AND STANDARDS HEREIN. THE ABOVE NOTED UNLAWFUL STANDARDS WERE NOT CONSIDERED IN THE ISSUANCE OF THIS PERMIT.
DATE: SEP 17 2022
BY: S. SUTHERLAND
PLANNING PERMIT NO. 178
PLANNING REVIEWER: J.P.

RECEIVED
JUL 21 2022

THERE PLANS ARE IN CONFORMANCE WITH THE 2018 B.C. BUILDING CODE AND BE ENERGY 818 CODE

DESIGNER ADDRESS:
GILL DRAFTING LTD.
SUITE 201
10111 151ST AVE
SURREY, B.C. V3W 1E6
TEL: (604) 595-9371
FAX: (604) 595-9381
WEBSITE: WWW.GILLDRAFTING.COM

DWG: KASRA
SCALE: AS NOTED
DATE: 04 MAY 2022
CHKD: JPS
MGR: TDS-995-9371

SHEET NO. 3 OF 11
DRAWING NO. GD22-4272

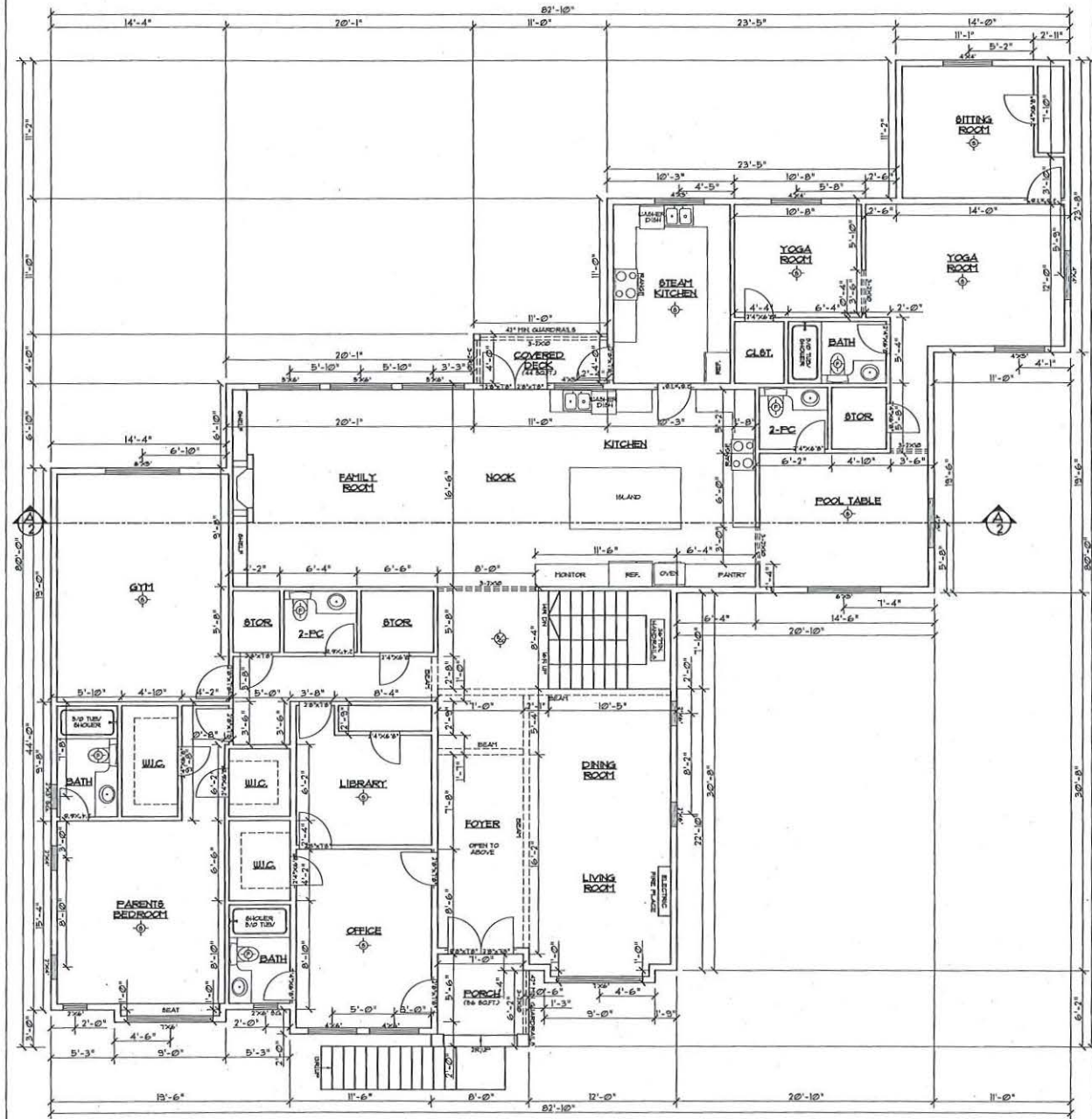
PROJECT NAME
PROPOSED RESIDENCE FOR
GURPREET SINGH HEER
LOT#171 @ 9040 - SKYE PL.
SURREY, B.C.

REVISION BY LEGAL DESCRIPTION
APR 2023 JPS



Gill Drafting Ltd.

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MAIN FLOOR

SCALE: 1/4" = 1'-0"
MAIN FLOOR AREA = 3481 SQFT.

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DATE: SEP 21, 2022
DRAWING NO.: 2022-0141
PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER
DESIGNER ADDRESS: GILL DRAFTING LTD. 8095T DESIG CENTRE 1817 75L 9811-16 AVE. SURREY, B.C. V0J 5E8 TEL: (604) 805-6286 FAX: (604) 555-6420 EMAIL: INFO@GILLDRAFTING.COM

- LEGEND**
- ⊕ SMOKE ALARM
 - ⊕ CARBON MONOXIDE (CO) ALARM
 - ⊕ SMOKE ALARM
 - ⊕ FLOOR DRAIN
 - ⊕ FAN

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND BC ENERGY STEP CODE.

OWN:	KASRA
SCALE:	1/4" = 1'-0"
DATE:	04 MAY 2022
APPD:	JPS
PHONE:	778-999-7511

PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER
LOT 141 @ 9040 - 9KYE PL. SURREY, BC
RECEIVED JUL 2 2022

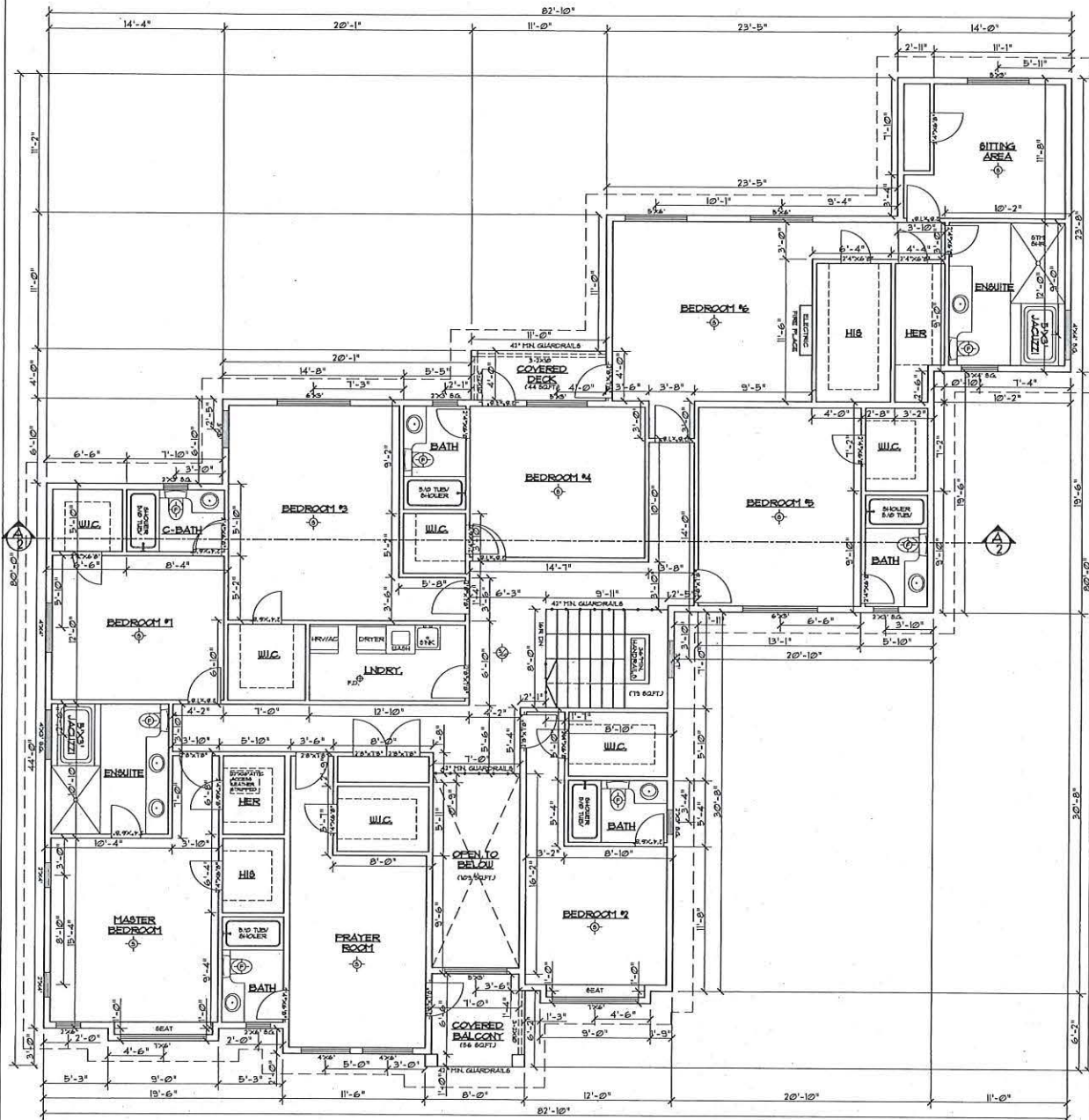
DESIGNER ADDRESS: GILL DRAFTING LTD. 8095T DESIG CENTRE 1817 75L 9811-16 AVE. SURREY, B.C. V0J 5E8 TEL: (604) 805-6286 FAX: (604) 555-6420 EMAIL: INFO@GILLDRAFTING.COM



REVISIONS	BY
APR 2023	JPS

DRAWING NO.	GD22-4272
SHEET NO.	5 OF 11

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TOP FLOOR
SCALE: 1/4"=1'-0"

TOP FLOOR AREA = 3491 SQFT.
OPEN AREA = 1025-115+188 SQFT.
NET TOP FL. AREA = 3303 SQFT.

LEGEND	
	SMOKE ALARM 1
	CARBON MONOXIDE (CO) ALARM
	SMOKE ALARM
	FLOOR DRAIN
	FAN

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND BC ENERGY STEP CODE.

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THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE BC BUILDING DEPARTMENT PERMITS STANDARDS OF THE CURRENT EDITION OF THE BC BUILDING CODE. APPROXIMATE DEVELOPMENT PERMITS DETAILS ON THE PLANS HAVE EXCEEDED THE ABOVE LISTED LIMITATIONS. THE REVIEW OF THESE PLANS DOES NOT GUARANTEE COMPLIANCE.
DATE: 02-21-2023 PLAN NUMBER: 210
GILL DRAFTING LTD. PLAN NUMBER: 210

OWN:	KASRA
SCALE:	1/4"=1'-0"
DATE:	04 MAY 2022
CHKD:	JFS
PHONE:	778-999-2511

PROJECT NAME
PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT#41 @ 3040 - SKYE PL. SURREY, BC

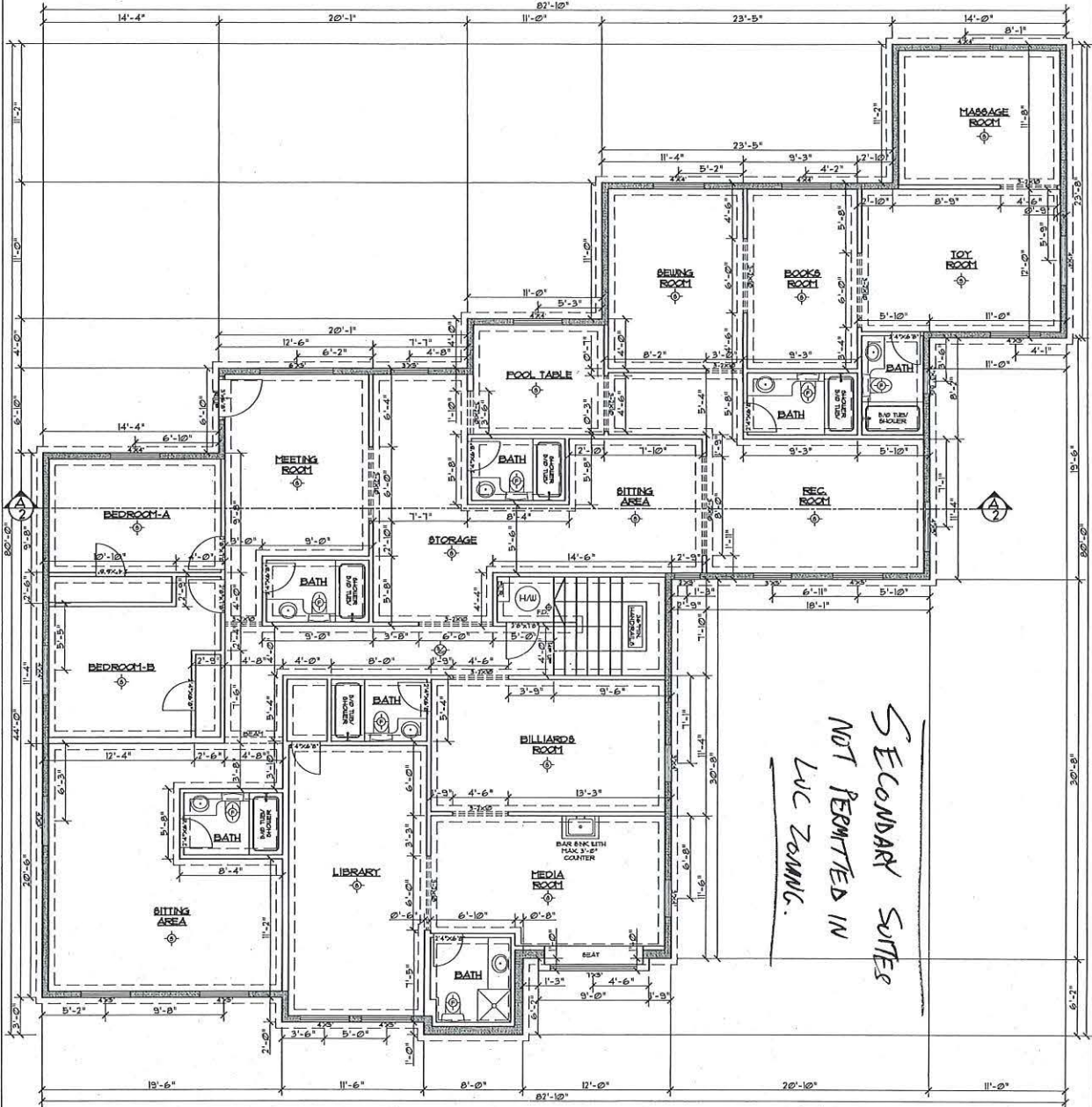
DESIGNER ADDRESS:
GILL DRAFTING LTD.
ARCHITECT DESIGN CENTRE
UNIT 218, 5811-16 AVE.
SURREY, B.C. V3J 2J6
TEL: (604) 593-8888
FAX: (604) 593-6233
WEBSITE: WWW.GILLDRAFTING.COM



REVISIONS	BY
APR 2023	JFS

DRAWING NO.	GD22-4212
SHEET NO.	6 OF 11

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BASEMENT & FDN FLOOR
SCALE: 1/4" = 1'-0"

BASEMENT FLOOR AREA = 3991 SQ.FT.

LEGEND

- ☼ SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- ⊕ SMOKE ALARM
- ⊕ FLOOR DRAIN
- ⊕ FAN

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THE OWNER AGREES THAT ANY ATTEMPT BY THE OWNER TO USE THESE DRAWINGS FOR ANY PURPOSES WITHOUT THE ACCEPTANCE OF THE DRAWINGS BY THE OWNER IS FURTHER AGREED THAT WITH ACCEPTANCE OF THESE DRAWINGS BY THE OWNER THE OWNER AGREES THAT ANY CLAIM SHALL BE LIMITED TO THE AMOUNT OF THE FEE PAID TO THE DESIGNER BY THE OWNER. THE DESIGNER WILL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR FOR ANY REASON AFTER BUILDING PERMIT HAS BEEN ISSUED.

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE BC BUILDING ACT AND THE BC BUILDING REGULATIONS. APPROVAL IS NOT GUARANTEED. THE DESIGNER DOES NOT GUARANTEE COMPLIANCE.

DATE: SEP 7, 2022
DESIGNER: [Signature]
PROJECT NO.: [Number]

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND BC ENERGY STEP CODE.

DWG:	KASRA
SCALE:	1/4" = 1'-0"
DATE:	04 MAY 2022
PROJ:	JF5
PHONE:	778-993-2571

PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER
LOT#41 @ 9040 - SKYE PL., SURREY, BC

RECEIVED
JUL 1 0 2022

DESIGNER ADDRESS: GILL DRAFTING LTD.
SUITE 200, 10000 150 AVE
SURREY, BC V3W 2E8
TEL: (604) 595-4888
FAX: (604) 595-6883
WWW.GILLDRAFTING.COM

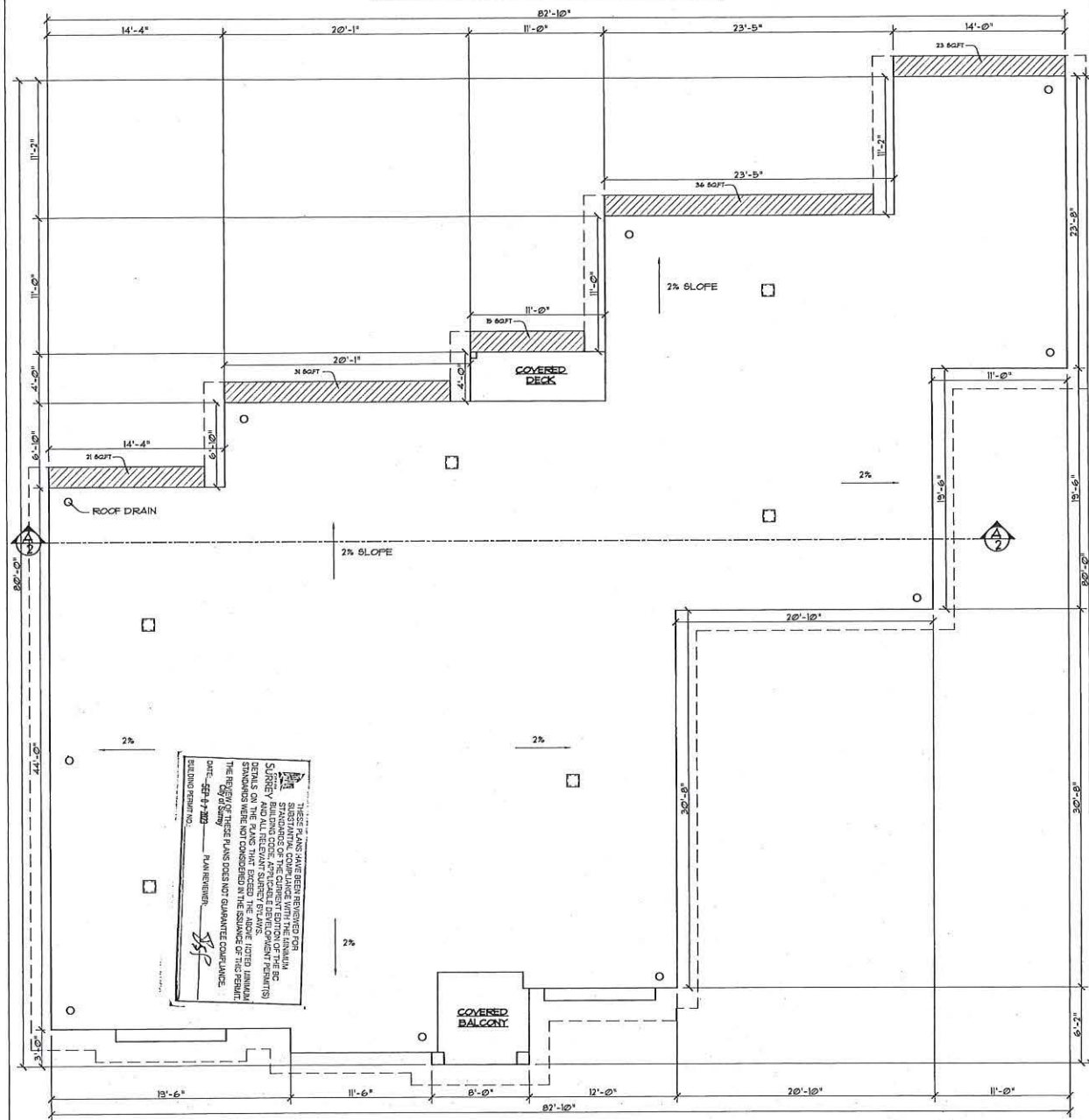


REVISIONS	BY
APR 2023	JF5

DRAWING NO.	GD22-42T2
SHEET NO.	7 OF 11

THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF GILL DRAFTING LTD. AND MAY NOT BE REPRODUCED WITHOUT PERMISSION OF THE SAME.

TOTAL VENTED SOFFIT AREA = 126 SQFT.



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ROOF PLAN
SCALE 1/4"=1'-0"

CEILING AREA AT TOP FLOOR = 3419 SQFT.

ROOF VENTILATION CALCULATIONS:

ATTIC AREA = 3419 SQFT. X 1/300 = 1139 SQFT.
 REQUIRED VENTILATION
 50% SOFFIT AREA = 1153 X 0.50 = 576.5 SQFT.
 50% ROOF AREA = 1153 X 0.50 = 576.5 SQFT.
 AREA OF ONE VENT = 110 SQFT.
 TOTAL NUMBER OF VENTS REQUIRED ON TOP = 5.78/1.0 = 6

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THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

DWG:	KA6RA
SCALE:	1/4"=1'-0"
DATE:	04 MAY 2022
DRW:	JPS
PHONE:	778-933-2511

PROJECT NAME
 PROPOSED RESIDENCE FOR GURPREET SINGH HEER
 LOT#141 @ 9040 - SKYE PL.
 SURREY, BC

DESIGNER ADDRESS:
 GILL DRAFTING LTD.
 SURREY DESIGN CENTRE
 UNIT 91, 9211-76 AVE.
 SURREY, B.C. V3U 6E6
 TEL: (604) 593-8384
 FAX: (604) 593-8381
 WEB: WWW.GILLDRAFTING.COM



REVISIONS	BY
APR 2023	JPS
RECEIVED	
JUL 15 2023	

DRAWING NO.	GD22-42T2
SHEET NO.	8 OF 11

CLIMATE ZONE 4 (HARDIPLANK)

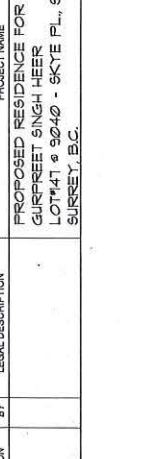
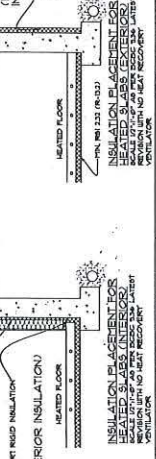
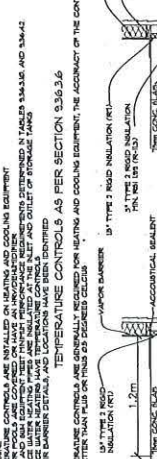
AS PER SECTION 9.36.2.10, NOTED IN PRELIMINARY DRAWINGS
IN PROVISIONAL AIR BARRIERS

ADDITION TO SLAB AND AIR BARRIERS
- INTERIOR WALL INSULATION
- INTERIOR WALL INSULATION
- INTERIOR WALL INSULATION
- INTERIOR WALL INSULATION

GENERAL INFORMATION
- INSULATION (TYPE, LOCATION, VALUE)
- VAPOR BARRIER (TYPE, LOCATION)
- AIR BARRIER (TYPE, LOCATION)
- THERMAL MASS (MATERIAL, LOCATION)

SPECIFIC REQUIREMENTS
- FLOORS OVER UNHEATED SPACES
- CEILING BELOW CATHEDRAL / FLAT ROOFS
- FLOORS OVER UNHEATED SPACES
- CEILING BELOW CATHEDRAL / FLAT ROOFS

TEMPERATURE CONTROLS
- TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6
- TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6
- TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6



1 FLOORS OVER UNHEATED SPACES

AS PER BOC 5.34 LATEST REVISION WITH NO HEAT RECOVERY VENTILATION

DESCRIPTION	NORMAL	EFFECTIVE
ROOF BATT INSULATION IN 240 WOOD TRAPING + 10' CC	R-13 (R-13)	R-14.8 (R-23.2)
OTHER BUILDING ENVELOPE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION		
1. INTERIOR AIR FILM	0.03	0.03
2. 1" RIGID INSULATION - CEMENTITE TILE	0.08	0.08
3. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
4. 3/4" RIGID INSULATION - CERAMIC TILE	0.04	0.04
5. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
6. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
7. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
8. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
9. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
10. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
TOTAL EFFECTIVE INSULATION VALUE		R-23.2
REQUIRED INSULATION VALUE (R-VALUE) FOR CLIMATE ZONE 4 (HARDIPLANK)		R-23.2
TOTAL EFFECTIVE THERMAL RESISTANCE FOR FLOORS ABOVE UNHEATED SPACES		R-14.7 (R-13.3)

2 FLOORS OVER UNHEATED SPACES

AS PER BOC 5.34 LATEST REVISION WITH NO HEAT RECOVERY VENTILATION

DESCRIPTION	NORMAL	EFFECTIVE
ROOF BATT INSULATION IN 240 WOOD TRAPING + 10' CC	R-13 (R-13)	R-14.8 (R-23.2)
OTHER BUILDING ENVELOPE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION		
1. INTERIOR AIR FILM	0.03	0.03
2. 1" RIGID INSULATION - CEMENTITE TILE	0.08	0.08
3. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
4. 3/4" RIGID INSULATION - CERAMIC TILE	0.04	0.04
5. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
6. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
7. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
8. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
9. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
10. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
TOTAL EFFECTIVE INSULATION VALUE		R-23.2
REQUIRED INSULATION VALUE (R-VALUE) FOR CLIMATE ZONE 4 (HARDIPLANK)		R-23.2
TOTAL EFFECTIVE THERMAL RESISTANCE FOR FLOORS ABOVE UNHEATED SPACES		R-14.7 (R-13.3)

3 FLOORS OVER UNHEATED SPACES

AS PER BOC 5.34 LATEST REVISION WITH NO HEAT RECOVERY VENTILATION

DESCRIPTION	NORMAL	EFFECTIVE
ROOF BATT INSULATION IN 240 WOOD TRAPING + 10' CC	R-13 (R-13)	R-14.8 (R-23.2)
OTHER BUILDING ENVELOPE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION		
1. INTERIOR AIR FILM	0.03	0.03
2. 1" RIGID INSULATION - CEMENTITE TILE	0.08	0.08
3. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
4. 3/4" RIGID INSULATION - CERAMIC TILE	0.04	0.04
5. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
6. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
7. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
8. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
9. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
10. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
TOTAL EFFECTIVE INSULATION VALUE		R-23.2
REQUIRED INSULATION VALUE (R-VALUE) FOR CLIMATE ZONE 4 (HARDIPLANK)		R-23.2
TOTAL EFFECTIVE THERMAL RESISTANCE FOR FLOORS ABOVE UNHEATED SPACES		R-14.7 (R-13.3)

4 CEILINGS BELOW CATHEDRAL / FLAT ROOFS

AS PER BOC 5.34 LATEST REVISION WITH NO HEAT RECOVERY VENTILATION

DESCRIPTION	NORMAL	EFFECTIVE
ROOF BATT INSULATION IN 240 WOOD TRAPING + 10' CC	R-13 (R-13)	R-14.8 (R-23.2)
OTHER BUILDING ENVELOPE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION		
1. INTERIOR AIR FILM	0.03	0.03
2. 1" RIGID INSULATION - CEMENTITE TILE	0.08	0.08
3. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
4. 3/4" RIGID INSULATION - CERAMIC TILE	0.04	0.04
5. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
6. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
7. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
8. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
9. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
10. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
TOTAL EFFECTIVE INSULATION VALUE		R-23.2
REQUIRED INSULATION VALUE (R-VALUE) FOR CLIMATE ZONE 4 (HARDIPLANK)		R-23.2
TOTAL EFFECTIVE THERMAL RESISTANCE FOR CEILING BELOW UNHEATED SPACES		R-14.7 (R-13.3)

5 FLOORS OVER UNHEATED SPACES

AS PER BOC 5.34 LATEST REVISION WITH NO HEAT RECOVERY VENTILATION

DESCRIPTION	NORMAL	EFFECTIVE
ROOF BATT INSULATION IN 240 WOOD TRAPING + 10' CC	R-13 (R-13)	R-14.8 (R-23.2)
OTHER BUILDING ENVELOPE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION		
1. INTERIOR AIR FILM	0.03	0.03
2. 1" RIGID INSULATION - CEMENTITE TILE	0.08	0.08
3. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
4. 3/4" RIGID INSULATION - CERAMIC TILE	0.04	0.04
5. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
6. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
7. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
8. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
9. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
10. 1/2" RIGID INSULATION - CERAMIC TILE	0.04	0.04
TOTAL EFFECTIVE INSULATION VALUE		R-23.2
REQUIRED INSULATION VALUE (R-VALUE) FOR CLIMATE ZONE 4 (HARDIPLANK)		R-23.2
TOTAL EFFECTIVE THERMAL RESISTANCE FOR FLOORS ABOVE UNHEATED SPACES		R-14.7 (R-13.3)

GENERAL INFORMATION
INSULATION (TYPE, LOCATION, VALUE)
VAPOR BARRIER (TYPE, LOCATION)
AIR BARRIER (TYPE, LOCATION)
THERMAL MASS (MATERIAL, LOCATION)

TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6
TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6
TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6

INSULATION (TYPE, LOCATION, VALUE)
VAPOR BARRIER (TYPE, LOCATION)
AIR BARRIER (TYPE, LOCATION)
THERMAL MASS (MATERIAL, LOCATION)

INSULATION (TYPE, LOCATION, VALUE)
VAPOR BARRIER (TYPE, LOCATION)
AIR BARRIER (TYPE, LOCATION)
THERMAL MASS (MATERIAL, LOCATION)

INSULATION (TYPE, LOCATION, VALUE)
VAPOR BARRIER (TYPE, LOCATION)
AIR BARRIER (TYPE, LOCATION)
THERMAL MASS (MATERIAL, LOCATION)

INSULATION (TYPE, LOCATION, VALUE)
VAPOR BARRIER (TYPE, LOCATION)
AIR BARRIER (TYPE, LOCATION)
THERMAL MASS (MATERIAL, LOCATION)

REVISION BY LEGAL DESCRIPTION PROJECT NAME

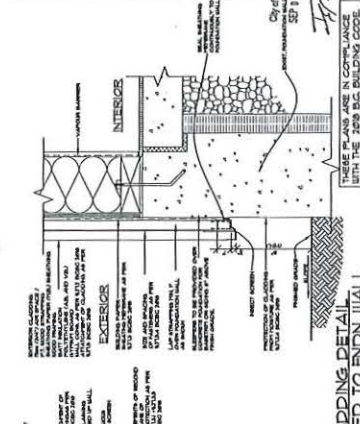
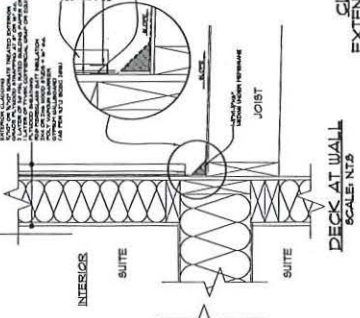
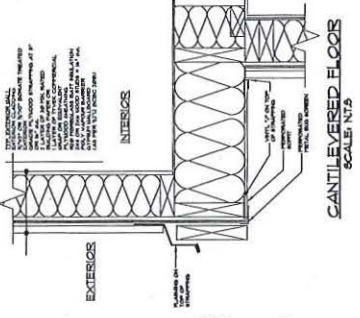
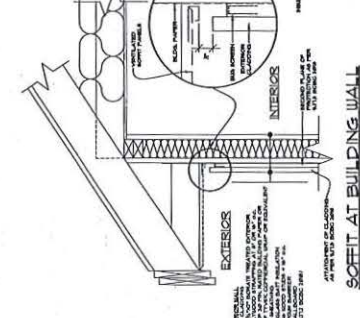
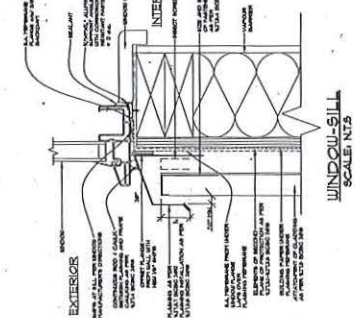
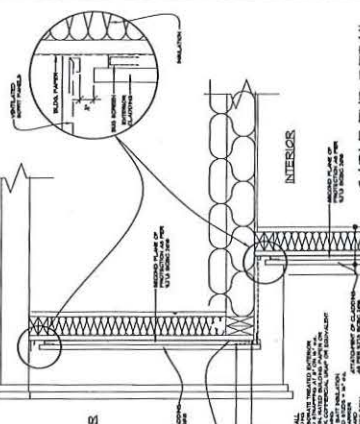
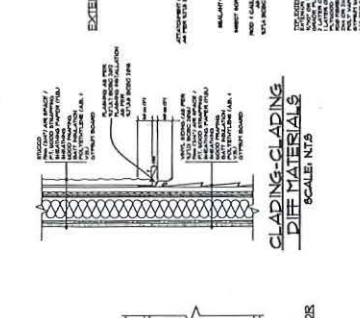
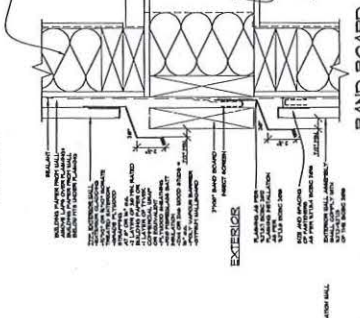
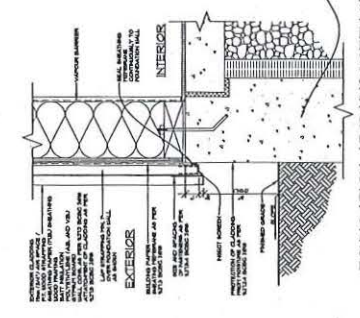
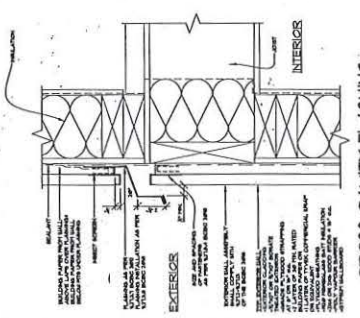
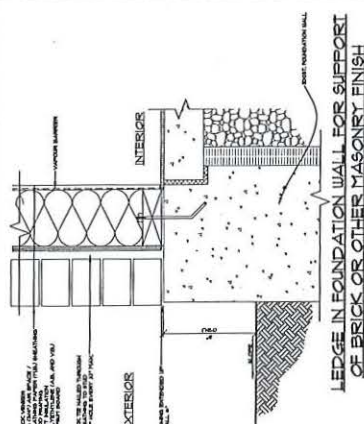
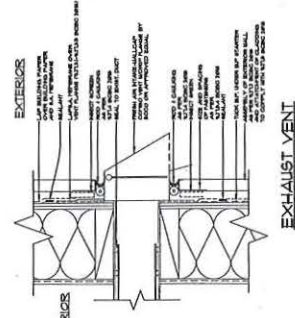
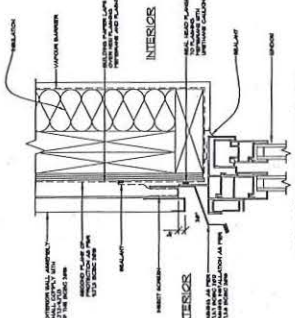
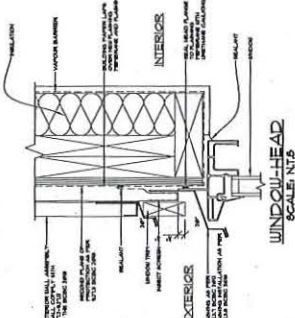
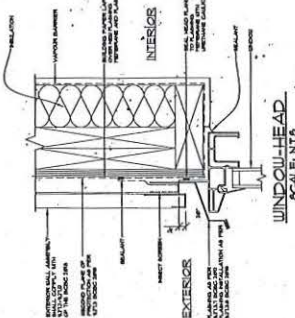
PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT 141 & 9040 - SKYE PL., SURREY, B.C.

SHEET NO. DRAWING NO. DESIGNER ADDRESS:
KABRA AS NOTED 9 OF 11 GD22-4212 GILL DRAFTING LTD.
DATE: 04 MAY 2022
SCALE: 1/8" = 1'-0" (SEE BOC 5.34 LATEST REVISION WITH NO HEAT RECOVERY VENTILATION)
1:888-898-8988 78-959-8911

RECEIVED JUL 5 2022

GILL DRAFTING LTD.
8111 155TH AVENUE
SURREY, B.C. V3W 6E6
TEL: (604) 595-6931
FAX: (604) 595-6931
WWW.GILLDRAFTING.COM

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REVISION	BY	LEGAL DESCRIPTION	PROJECT NAME	DRAWING NO.	SHEET NO.	DATE	SCALE
			PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT#41 @ 9040 - SKYE PL., SURREY, B.C.	GD22-4272	11 OF 11	04 MAY 2022	AS NOTED

Gill Drafting Ltd.

RECEIVED
JUL 11 2022

FOOTING SCHEDULE

Label	Description	Spacing	Looking
B1	3" x 4" x 8" (W.P. FTWP FOOTING)	2'-10" CONT. BOT.	NO
B2	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B3	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B4	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B5	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B6	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B7	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B8	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B9	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B10	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B11	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B12	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO
B13	3" x 6" x 10" (W.P. FTWP FOOTING)	1'-6" CONT. BOT.	NO

POST SCHEDULE

Label	Description	Base	Cap
C1	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C2	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C3	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C4	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C5	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C6	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C7	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C8	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C9	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C10	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C11	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C12	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C13	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C14	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C15	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C16	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C17	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C18	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C19	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C20	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C21	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C22	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C23	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C24	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C25	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C26	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C27	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C28	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C29	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG
C30	4" x 4" (W.P.)	KPS25-2000	META-1 STRUG

LOAD BRG WALL SCHEDULE

Label	Description	Looking
D1	2' x 4' @ 16" O.C.	NO
D2	2' x 4' @ 16" O.C.	NO
D3	2' x 4' @ 16" O.C.	NO
D4	2' x 4' @ 16" O.C.	NO
D5	2' x 4' @ 16" O.C.	NO
D6	2' x 4' @ 16" O.C.	NO
D7	2' x 4' @ 16" O.C.	NO
D8	2' x 4' @ 16" O.C.	NO
D9	2' x 4' @ 16" O.C.	NO
D10	2' x 4' @ 16" O.C.	NO
D11	2' x 4' @ 16" O.C.	NO
D12	2' x 4' @ 16" O.C.	NO
D13	2' x 4' @ 16" O.C.	NO
D14	2' x 4' @ 16" O.C.	NO
D15	2' x 4' @ 16" O.C.	NO
D16	2' x 4' @ 16" O.C.	NO
D17	2' x 4' @ 16" O.C.	NO
D18	2' x 4' @ 16" O.C.	NO
D19	2' x 4' @ 16" O.C.	NO
D20	2' x 4' @ 16" O.C.	NO
D21	2' x 4' @ 16" O.C.	NO
D22	2' x 4' @ 16" O.C.	NO
D23	2' x 4' @ 16" O.C.	NO
D24	2' x 4' @ 16" O.C.	NO
D25	2' x 4' @ 16" O.C.	NO

BEAM SCHEDULE

Label	Description	Remarks
B1	2' x 3' x 10' PL (F.P. 5 W.P.)	
B2	2' x 3' x 10' PL (F.P. 5 W.P.)	
B3	2' x 3' x 10' PL (F.P. 5 W.P.)	
B4	3' x 3' x 11' PL (F.P. 11 W.P.)	
B5	3' x 3' x 11' PL (F.P. 11 W.P.)	
B6	3' x 3' x 11' PL (F.P. 11 W.P.)	
B7	3' x 3' x 11' PL (F.P. 11 W.P.)	
B8	3' x 3' x 11' PL (F.P. 11 W.P.)	
B9	3' x 3' x 11' PL (F.P. 11 W.P.)	
B10	3' x 3' x 11' PL (F.P. 11 W.P.)	
B11	3' x 3' x 11' PL (F.P. 11 W.P.)	
B12	3' x 3' x 11' PL (F.P. 11 W.P.)	
B13	3' x 3' x 11' PL (F.P. 11 W.P.)	

REFER TO ARCHITECTURAL DWGS FOR DIMENSIONS (DO NOT SCALE)

ALL WALLS FINISH AT THE FINISH FLOOR LINE UNLESS OTHERWISE NOTED.

ALL DOORS ARE TO BE 2'-0" HIGH BY 2'-8" WIDE UNLESS OTHERWISE NOTED.

ALL WINDOWS ARE TO BE 4'-0" HIGH BY 6'-0" WIDE UNLESS OTHERWISE NOTED.

ALL CLOSETS ARE TO BE 6'-0" HIGH BY 8'-0" WIDE UNLESS OTHERWISE NOTED.

ALL CEILING ARE TO BE 8'-0" HIGH UNLESS OTHERWISE NOTED.

ALL FLOOR ARE TO BE 0'-0" HIGH UNLESS OTHERWISE NOTED.

ALL ROOF ARE TO BE 0'-0" HIGH UNLESS OTHERWISE NOTED.

ALL EXTERIOR FINISH ARE TO BE 0'-0" HIGH UNLESS OTHERWISE NOTED.

ALL INTERIOR FINISH ARE TO BE 0'-0" HIGH UNLESS OTHERWISE NOTED.

ALL FINISH ARE TO BE 0'-0" HIGH UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE FACE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE SURFACE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE EDGE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE CORNER UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE JUNCTION UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE CENTER OF GRAVITY UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF APPLICATION UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF MEASUREMENT UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF INTERSECTION UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF CONTACT UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF ANCHORAGE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF FIXTURE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF RESTRAINT UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF SUPPORT UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF CONNECTION UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF ASSEMBLY UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF DETACHMENT UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF RELEASE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF ENGAGEMENT UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF INTERFERENCE UNLESS OTHERWISE NOTED.

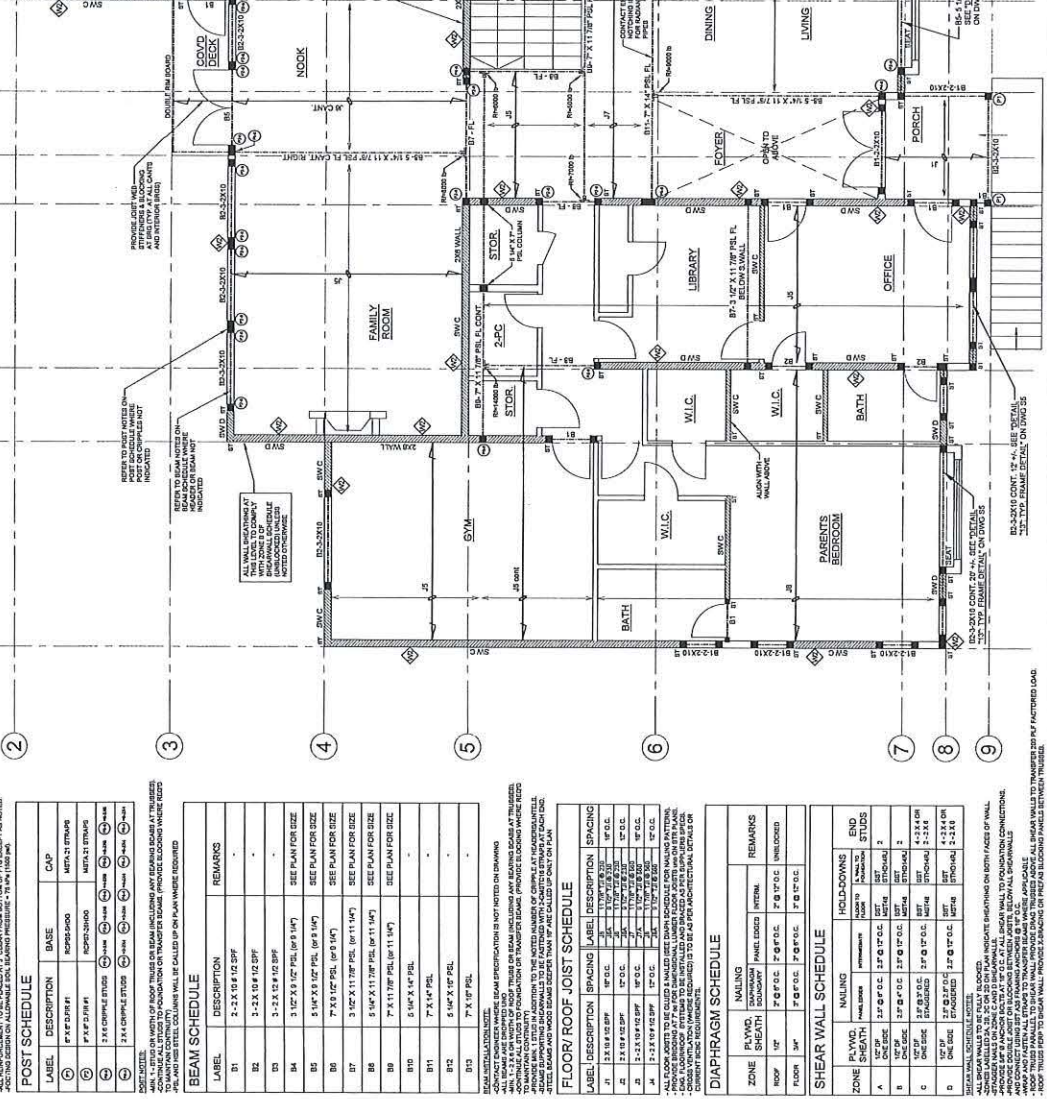
ALL DIMENSIONS ARE TO BE TO THE POINT OF COLLISION UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF CONTACT UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF CONTACT UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF CONTACT UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO BE TO THE POINT OF CONTACT UNLESS OTHERWISE NOTED.



LOAD BRG WALL SCHEDULE

Label	Description	Looking
D1	2' x 4' @ 16" O.C.	NO
D2	2' x 4' @ 16" O.C.	NO
D3	2' x 4' @ 16" O.C.	NO
D4	2' x 4' @ 16" O.C.	NO
D5	2' x 4' @ 16" O.C.	NO
D6	2' x 4' @ 16" O.C.	NO
D7	2' x 4' @ 16" O.C.	NO
D8	2' x 4' @ 16" O.C.	NO
D9	2' x 4' @ 16" O.C.	NO
D10	2' x 4' @ 16" O.C.	NO
D11	2' x 4' @ 16" O.C.	NO
D12	2' x 4' @ 16" O.C.	NO
D13	2' x 4' @ 16" O.C.	NO
D14	2' x 4' @ 16" O.C.	NO
D15	2' x 4' @ 16" O.C.	NO
D16	2' x 4' @ 16" O.C.	NO
D17	2' x 4' @ 16" O.C.	NO
D18	2' x 4' @ 16" O.C.	NO
D19	2' x 4' @ 16" O.C.	NO
D20	2' x 4' @ 16" O.C.	NO
D21	2' x 4' @ 16" O.C.	NO
D22	2' x 4' @ 16" O.C.	NO
D23	2' x 4' @ 16" O.C.	NO
D24	2' x 4' @ 16" O.C.	NO
D25	2' x 4' @ 16" O.C.	NO

BEAM SCHEDULE

Label	Description	Remarks
B1	2' x 3' x 10' PL (F.P. 5 W.P.)	
B2	2' x 3' x 10' PL (F.P. 5 W.P.)	
B3	2' x 3' x 10' PL (F.P. 5 W.P.)	
B4	3' x 3' x 11' PL (F.P. 11 W.P.)	
B5	3' x 3' x 11' PL (F.P. 11 W.P.)	
B6	3' x 3' x 11' PL (F.P. 11 W.P.)	
B7	3' x 3' x 11' PL (F.P. 11 W.P.)	
B8	3' x 3' x 11' PL (F.P. 11 W.P.)	
B9	3' x 3' x 11' PL (F.P. 11 W.P.)	
B10	3' x 3' x 11' PL (F.P. 11 W.P.)	
B11	3' x 3' x 11' PL (F.P. 11 W.P.)	
B12	3' x 3' x 11' PL (F.P. 11 W.P.)	
B13	3' x 3' x 11' PL (F.P. 11 W.P.)	

FLOOR/ROOF JOIST SCHEDULE

Label	Description	Spacing	Looking	Remarks
J1	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J2	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J3	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J4	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J5	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J6	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J7	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J8	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J9	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J10	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J11	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J12	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J13	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J14	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J15	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J16	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J17	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J18	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J19	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J20	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J21	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J22	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J23	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J24	2' x 6" x 12" (W.P.)	16" O.C.	NO	
J25	2' x 6" x 12" (W.P.)	16" O.C.	NO	

DIAPHRAGM SCHEDULE

Zone	Plwyd	Sheath	Panel	Load	Intern.	Remarks
A	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	
B	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	
C	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	
D	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	
E	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	
F	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	
G	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	
H	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	
I	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	
J	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	
K	2' x 6" x 12" (W.P.)	5/8" CDX	1/2" OSB	120	0	

REV

NO.	DESCRIPTION	DATE
0 <td>ISSUED FOR PERMIT</td> <td>MAY 11, 2022</td>	ISSUED FOR PERMIT	MAY 11, 2022
1 <td>REVISION FOR PERMIT</td> <td>JUNE 22, 2022</td>	REVISION FOR PERMIT	JUNE 22, 2022
2 <td>ARCH REVISION</td> <td>JUNE 22, 2022</td>	ARCH REVISION	JUNE 22, 2022

ARCHITECT/DESIGNER:

GILL DRAFTING

ENGINEERING CONSULTANT:

GS Dhshi & Associates Consulting Engineers

158 W. Peachtree Street, Suite 2000
Atlanta, Georgia 30309
Phone: 404.525.5555
Fax: 404.525.5556
www.gs-engineers.com

PROJECT: PROPOSED RESIDENCE FOR GURPREET HEER

DATE: JUL 13, 2022

SCALE: 1/8" = 1'-0" (AS SHOWN ON FLOOR PLAN)

DATE: MAY 11, 2022

DRAWING NO.: 202108

SHEET NO.: S3 of 2

REVISION: 2



MAIN FLOOR PLAN WITH TOP FLOOR & LOWER ROOF FRAMING OVER

NOTE: FLOOR SYSTEM HAS BEEN DESIGNED TO ALLOW FOR 1.5" CONCRETE FLOOR TOPPING.

ALTERNATE COST MANUFACTURER: 18'-0" X 8'-0" X 12'-0" PSL CONT. 17'-4" ON DWG 25. APPROVAL: SEE FLOOR PLAN FOR APPROVAL. APPROVAL: SEE FLOOR PLAN FOR APPROVAL. APPROVAL: SEE FLOOR PLAN FOR APPROVAL.

REV	NO.	DESCRIPTION	DATE
0	1	ISSUED FOR PERMIT	MAY 13, 2022
1	1	RECEIVED FOR PERMIT	JUNE 27, 2022
2	1	ARCH REVISION	JUNE 28, 2022

REV	NO.	DESCRIPTION	DATE
3	1	ARCH REVISION	JUNE 28, 2022
4	1	ARCH REVISION	JUNE 28, 2022
5	1	ARCH REVISION	JUNE 28, 2022
6	1	ARCH REVISION	JUNE 28, 2022
7	1	ARCH REVISION	JUNE 28, 2022
8	1	ARCH REVISION	JUNE 28, 2022
9	1	ARCH REVISION	JUNE 28, 2022

ARCHITECT/OWNER

GILL DRAFTING

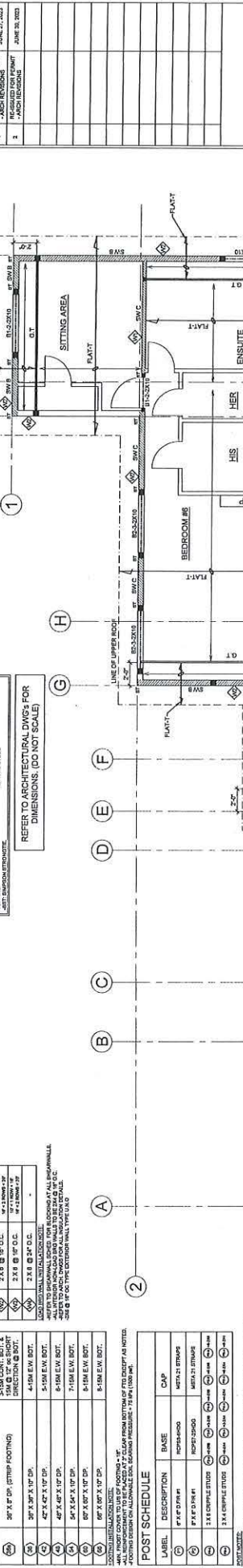
ENGINEERING CONSULTANT
GS Dhesi & Associates
Consulting Engineers
 158 University Road
 Suite 200
 St. Louis, MO 63103
 Phone: (314) 433-8888
 Fax: (314) 433-8889
 Email: info@gsdhesi.com
 Website: www.gsdhesi.com

PROJECT:
PROPOSED RESIDENCE
FOR GURPREET HEER
 157' x 50' 0" SITE PLACED,
 SURVEY, E.C.

TITLE:
FRAMING PLAN AND
SCHEDULES

DATE: MAY 13, 2022
 SCALE: 1/4" = 1'-0" (DOOR & FLOOR)
 DRAWING NO: 220104
 SHEET NO: 2
 TOTAL SHEETS: 2

PROJECT NO: 220104
 SHEET NO: 2
 TOTAL SHEETS: 2



LOAD BRG WALL SCHEDULE
1. 2" X 8" @ 16" O.C.
2. 2" X 8" @ 16" O.C.
3. 2" X 8" @ 16" O.C.
4. 2" X 8" @ 16" O.C.
5. 2" X 8" @ 16" O.C.
6. 2" X 8" @ 16" O.C.
7. 2" X 8" @ 16" O.C.
8. 2" X 8" @ 16" O.C.
9. 2" X 8" @ 16" O.C.

POST SCHEDULE
1. 4" X 8" @ 16" O.C.
2. 4" X 8" @ 16" O.C.
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8. 4" X 8" @ 16" O.C.
9. 4" X 8" @ 16" O.C.

BEAM SCHEDULE
1. 2" X 8" @ 16" O.C.
2. 2" X 8" @ 16" O.C.
3. 2" X 8" @ 16" O.C.
4. 2" X 8" @ 16" O.C.
5. 2" X 8" @ 16" O.C.
6. 2" X 8" @ 16" O.C.
7. 2" X 8" @ 16" O.C.
8. 2" X 8" @ 16" O.C.
9. 2" X 8" @ 16" O.C.

FLOOR/ROOF JOIST SCHEDULE
1. 2" X 8" @ 16" O.C.
2. 2" X 8" @ 16" O.C.
3. 2" X 8" @ 16" O.C.
4. 2" X 8" @ 16" O.C.
5. 2" X 8" @ 16" O.C.
6. 2" X 8" @ 16" O.C.
7. 2" X 8" @ 16" O.C.
8. 2" X 8" @ 16" O.C.
9. 2" X 8" @ 16" O.C.

DIAPHRAGM SCHEDULE
1. 2" X 8" @ 16" O.C.
2. 2" X 8" @ 16" O.C.
3. 2" X 8" @ 16" O.C.
4. 2" X 8" @ 16" O.C.
5. 2" X 8" @ 16" O.C.
6. 2" X 8" @ 16" O.C.
7. 2" X 8" @ 16" O.C.
8. 2" X 8" @ 16" O.C.
9. 2" X 8" @ 16" O.C.

LOAD BRG WALL SCHEDULE
1. 2" X 8" @ 16" O.C.
2. 2" X 8" @ 16" O.C.
3. 2" X 8" @ 16" O.C.
4. 2" X 8" @ 16" O.C.
5. 2" X 8" @ 16" O.C.
6. 2" X 8" @ 16" O.C.
7. 2" X 8" @ 16" O.C.
8. 2" X 8" @ 16" O.C.
9. 2" X 8" @ 16" O.C.

POST SCHEDULE
1. 4" X 8" @ 16" O.C.
2. 4" X 8" @ 16" O.C.
3. 4" X 8" @ 16" O.C.
4. 4" X 8" @ 16" O.C.
5. 4" X 8" @ 16" O.C.
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8. 4" X 8" @ 16" O.C.
9. 4" X 8" @ 16" O.C.

BEAM SCHEDULE
1. 2" X 8" @ 16" O.C.
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9. 2" X 8" @ 16" O.C.

FLOOR/ROOF JOIST SCHEDULE
1. 2" X 8" @ 16" O.C.
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9. 2" X 8" @ 16" O.C.

DIAPHRAGM SCHEDULE
1. 2" X 8" @ 16" O.C.
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4. 2" X 8" @ 16" O.C.
5. 2" X 8" @ 16" O.C.
6. 2" X 8" @ 16" O.C.
7. 2" X 8" @ 16" O.C.
8. 2" X 8" @ 16" O.C.
9. 2" X 8" @ 16" O.C.

REFER TO ARCHITECTURAL DWG'S FOR DIMENSIONS (DO NOT SCALE)

ALL WALL PLACEMENT BASED ON TRUSS LAYOUT PROVIDED BY WEST COAST ROOF TRUSS, LTD. BASED ON A FLAT ROOF WITHOUT FROM WINDS APPROVAL BY THE ENGINEER. INDICATED OTHERWISE ON THE FRAMING PLAN. ALL BEARING UNLESS NOTED OTHERWISE.

ROOF TRUSS PLACEMENT BASED ON TRUSS LAYOUT PROVIDED BY WEST COAST ROOF TRUSS, LTD. BASED ON A FLAT ROOF WITHOUT FROM WINDS APPROVAL BY THE ENGINEER. INDICATED OTHERWISE ON THE FRAMING PLAN. ALL BEARING UNLESS NOTED OTHERWISE.

ALL WALL PLACEMENT BASED ON TRUSS LAYOUT PROVIDED BY WEST COAST ROOF TRUSS, LTD. BASED ON A FLAT ROOF WITHOUT FROM WINDS APPROVAL BY THE ENGINEER. INDICATED OTHERWISE ON THE FRAMING PLAN. ALL BEARING UNLESS NOTED OTHERWISE.

ROOF TRUSS PLACEMENT BASED ON TRUSS LAYOUT PROVIDED BY WEST COAST ROOF TRUSS, LTD. BASED ON A FLAT ROOF WITHOUT FROM WINDS APPROVAL BY THE ENGINEER. INDICATED OTHERWISE ON THE FRAMING PLAN. ALL BEARING UNLESS NOTED OTHERWISE.

City of St. Louis
 SEP 07 2022

CEILING HEIGHT = 9'-0" 3/4"
 UNL. ON PLAN

9040 - Skye PI (13310)
REVISION 1
SINGLE FAMILY DWELLING
ENERGY STEP 3

B-22-019137-0-1
AREA: NORTH

CITY OF SURREY

BUILDING PERMIT

PROJECT ADDRESS: 9040 - Skye PI REVISION 1
 SINGLE FAMILY DWELLING
 ENERGY STEP 3
 LEGAL DESCRIPTION: LT 147 SE SEC 32 T2 PL 49315
 ZONE: LUC 104 (R-3 2265)
 PERMIT TYPE: Residential C-S BUILDING TYPE: Single Family WORK PROPOSED: New
 DECLARED VALUE OF CONSTRUCTION: \$0

WORK DESCRIPTION:

Revision 01: Retaining wall added on left side and back @0.8m < 1.2m height .window added in front basement washroom; media room and gym room swapped places from main floor from basement.
 SINGLE FAMILY DWELLING Three storey on SLAB.
 Code Compliance as per BCBC 2018
 BC Energy Step Code: Step 3
 Secondary Suite not permitted
 Do not remove any trees protected by the Surrey Tree Preservation By-law without permits.
 First Floor Slab: 64.67m Heating: RADIANT
 MAXIMUM SITE COVERAGE ACHIEVED
 P. Eng. Geotechnical & Structural as per GS DHESI
 Inspections required.
 RWL TO SPLASH PADS

APPLICANT:

Gurpreet S Heer 9040 Skye Place Surrey V3V 6T6

BUILDER / GENERAL CONTRACTOR:

JOTS 0507 ENTERPRISES LTD. 10846 141 St Surrey

OWNER:

Gurpreet S Heer 9040 Skye Place Surrey V3V 6T6

Navneet Heer 10251 143 St Surrey V3T 4T4

MAJOR ROAD:	No	LEGAL ACCESS FROM LANE:	No
SANITARY MAIN:	Yes	LEGAL ENCUMBRANCES:	Yes
SAN. CONNECTION:	to be applied for	WATER MAIN:	Yes
STORM SEWER:	Yes	WATER CONNECTION:	to be applied for and metered
STORM CONNECTION:	to be applied for	ELECTRICAL:	Underground
DRIVEWAY WIDTH:	6		

COMMENTS:

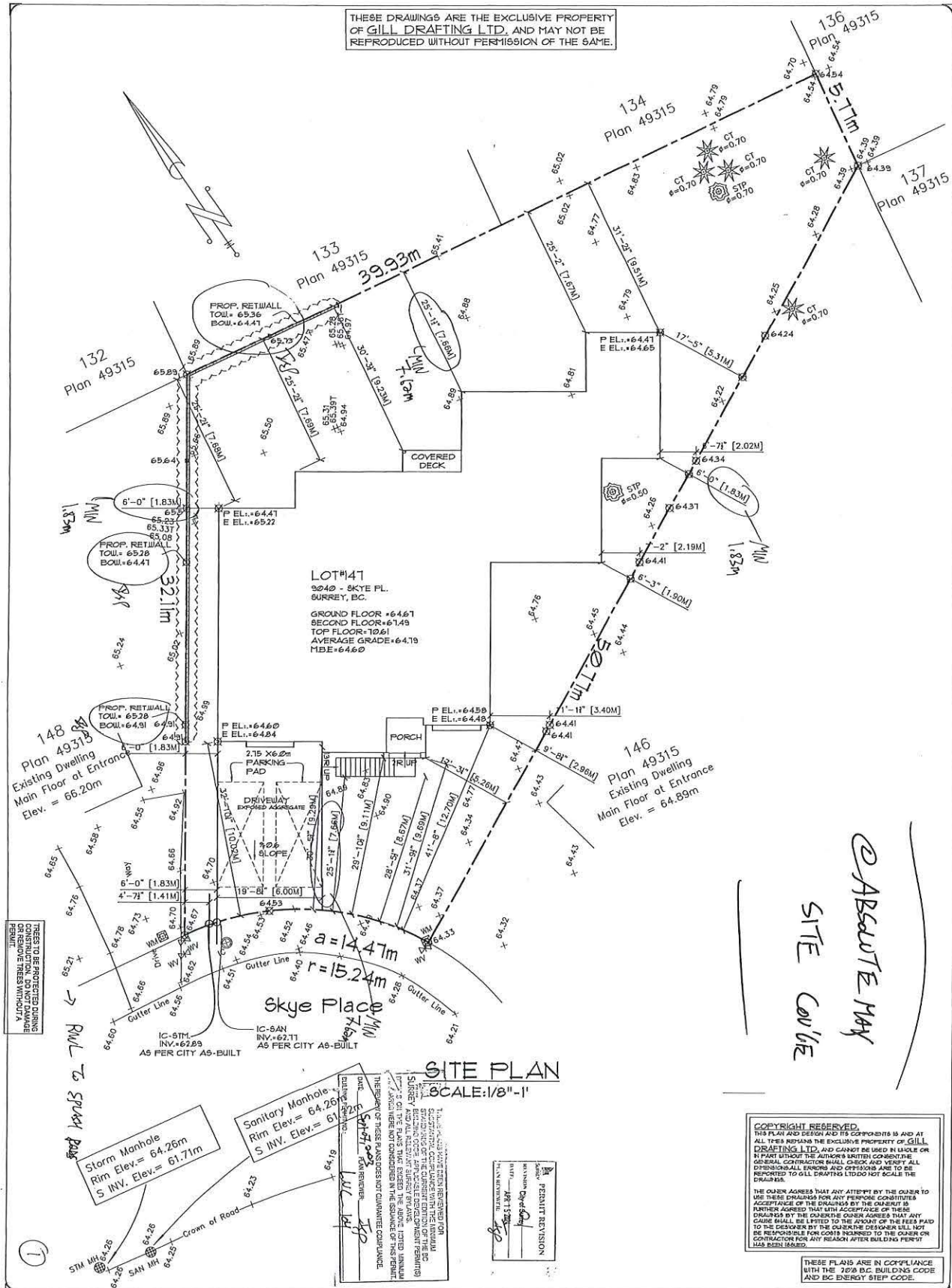
ENG - Driveway access is not to exceed 6 metres and must clear street lights, power poles, hydrants, hydro kiosks and any other utility structure by a minimum of 1 metre and must have a minimum 1.5 metre clearance from side property lines. ENG - Any changes to the existing driveway access or construction of a new driveway access requires prior approval and a City Road and ROW permit from the Engineering Department. City Road and ROW permit for any driveway changes must be issued and completed prior to final occupancy. ENG - Sanitary, storm and water connections must be applied for in Eng. Dept. prior to issuance of BP ENG - Builder must implement Best Management Practises in accordance with Schedule "B" of the Erosion and Sediment Control By-law ENG - Builder is responsible for all boulevard repairs not reported and confirmed by Eng. Dept as pre-existing damage. Builder to ensure that any fence construction does not conflict with service connections at the property line. The City must have full access to the storm and sanitary inspection chambers, water shut off and water meter. If the water meter conflicts with the fence location, applicant must relocate meter pit and setter 300mm from the proposed fence and provide a dummy, accessible without entering

ISSUED BY: IP4
 DATE OF ISSUANCE: MONDAY APRIL 15, 2024

private property. ENG - A FINAL BOULEVARD INSPECTION MUST BE COMPLETED BY THE
ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF OCCUPANCY.

ISSUED BY: IP4
DATE OF ISSUANCE: MONDAY APRIL 15, 2024

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ABSOLUTE MAY
SITE CO/VE

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THE OWNER AGREES THAT ANY ATTEMPT BY THE OWNER TO USE THESE DRAWINGS FOR ANY PURPOSES OTHER THAN ACCEPTANCE BY THE OWNER IS FURTHER AGREED THAT UPON ACCEPTANCE OF THESE DRAWINGS BY THE OWNER THE OWNER AGREES THAT ANY CLAIM SHALL BE LIMITED TO THE AMOUNT OF THE FEE PAID TO THE DESIGNER BY THE OWNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR COSTS INCURRED TO THE OWNER OR CONTRACTOR FOR ANY REASON AFTER BUILDING PERMIT HAS BEEN ISSUED.

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND BC ENERGY STEP CODE.

DWG:	K49RA
SCALE:	1/8" = 1'-0"
DATE:	04 MAY 2022
DRW:	JFS
PHONE:	778-999-2511

PROJECT NAME:	PROPOSED RESIDENCE FOR GURPREET SINGH NEER LOT#41 @ 9040 SKYE PL. SURREY, BC
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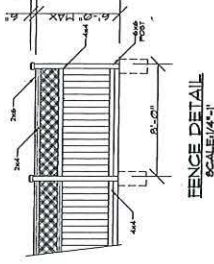
DESIGNER ADDRESS:	GILL DRAFTING LTD. BANEY DESIGN CENTRE UNIT #18 0871-16 AVE. SURREY, B.C. V3J 2E6 TEL: (604) 599-8386 FAX: (604) 599-8833 WEB: GILLDRAFTING.COM
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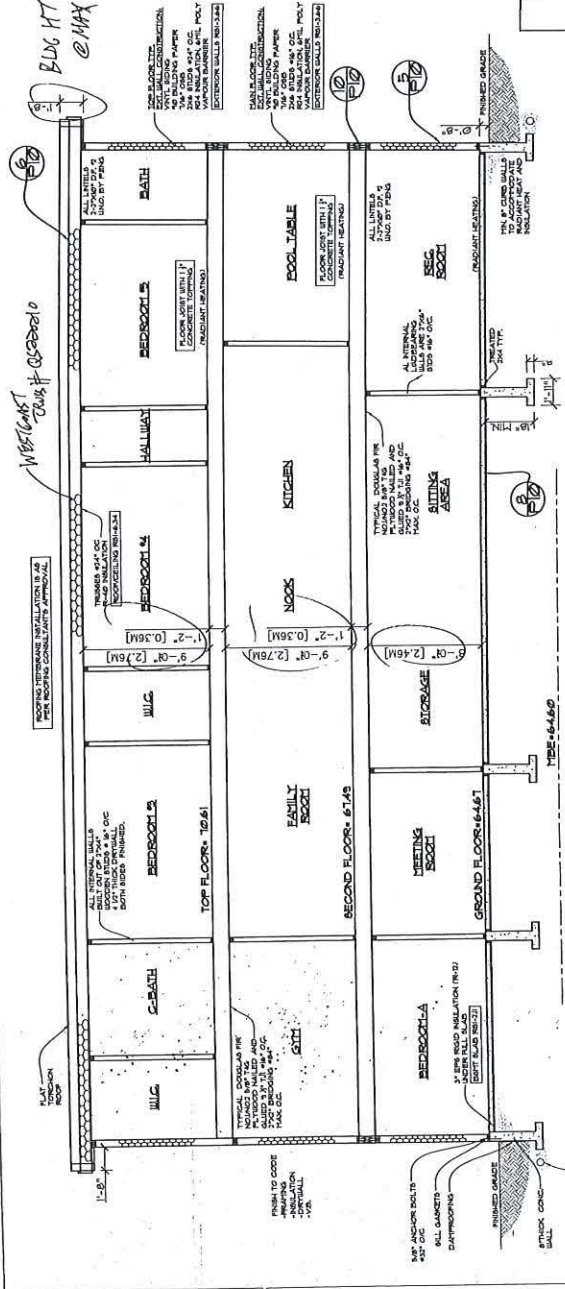
REVISIONS:	BY:	DRAWING NO.:
APR 2023	JFS	GD22-42T2
		SHEET NO.:
		1 OF 11

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NOTES:
 1. CONTRACTOR OR BUILDER TO CHECK A COPY OF THESE DRAWINGS WITH THE LOCAL BUILDING DEPARTMENT BEFORE COMMENCING WORK.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL BUILDING CODE.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL ELECTRICAL CODE.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODE.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL FIRE CODE.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL MECHANICAL VENTILATION AND AIR CONDITIONING CODE.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL ENERGY EFFICIENCY CODE.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL SOUND AND VIBRATION CODE.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL ACCESSIBILITY GUIDELINES.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL GREEN BUILDING STRATEGY.



FENCE DETAIL
SCALE 1/4\"/>



SECTION A
SCALE 1/4\"/>

BUILDING CHARACTERISTICS SUMMARY

Detail (Assembly/ System Type / Foot Type / Etc.)	Average U-value (R-Value)
Roof Ceilings Fish Trusses (2x4 @ 24" o.c.) w/ 1/2" gypsum board Deck 2x10 @ 16" o.c. with 3/4" batt 1/2" RFI	RSI 0.54
Above Grade Walls 2x8 @ 16" o.c. 2x4 batt 1/2" RFI 1/2" air cavity 1/2" Hardie	RSI 0.88
Below Grade Walls 1/2" RFI 2x8 @ 16" o.c. 2x4 batt 1/2" RFI 1/2" air cavity 1/2" Hardie	RSI 4.27
Floors Over Unheated Spaces 1/2" RFI 2x8 @ 16" o.c. 2x4 batt 1/2" RFI 1/2" air cavity 1/2" Hardie	RSI 5.05
Slabs Sub 3" EPS Rigid Insulation (R12) under full slab (RSI 2.11)	RSI 2.11
Windows and glass doors Double or Triple glazed, Low-E, Argon US1 14 / SHGC 0.40	Performance Min US 1 SHGC 1.40 0.40
Doors Fiberglass polyurethane core doors	RSI 0.86
Air Barrier System Location Sealed poly urethane and caulk - interior Air Barrier	US 1 SHGC 1.40 0.40
Space Heating / Cooling Principal: Radiant Heating with control dampers meet min US % of boiler Supplementary: Supplemental	APUE 85.00
Domestic Hot Water 50 US Gall storage tank capacity	SEF 70.00
Ventilation Mech House: RRV with 150 CFM	% EFF 0.9
Other Fossil Fuels	

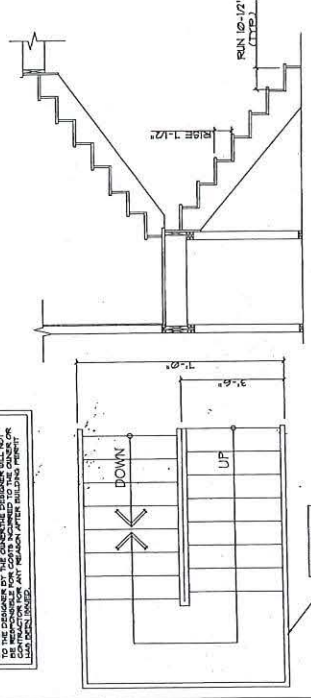
PERMIT REVIEW
 CITY OF SUDBURY
 11/13/2023

FAIR:
 TOTAL LOT AREA: 110290 SQFT.
 ALLOWABLE F.A.R.: N/A
 ACTUAL F.A.R.: 0.754 SQFT

SITE COVERAGE:
 TOTAL LOT AREA: 110290 SQFT.
 ALLOWABLE SITE COVERAGE: 43% = 36593 SQFT.
 ACTUAL SITE COVERAGE: 36596 SQFT

DECK AREA:
 MAIN FLOOR DECK AREA: 444 SQFT.
 TOP FLOOR DECK AREA: 1500 SQFT.
 TOTAL DECK AREA: 1944 SQFT.

ZONING: LUC



STAIR DETAIL
SCALE 1/2\"/>

RECEIVED
 JUL 11 2023

DESIGNER ADDRESS:
 GILL DRAFTING LTD.
 1000-1000-1000 AVE.
 SUITE 101
 TEL: (647) 999-6886
 WEBSITE: WWW.GILLDRAFTING.COM

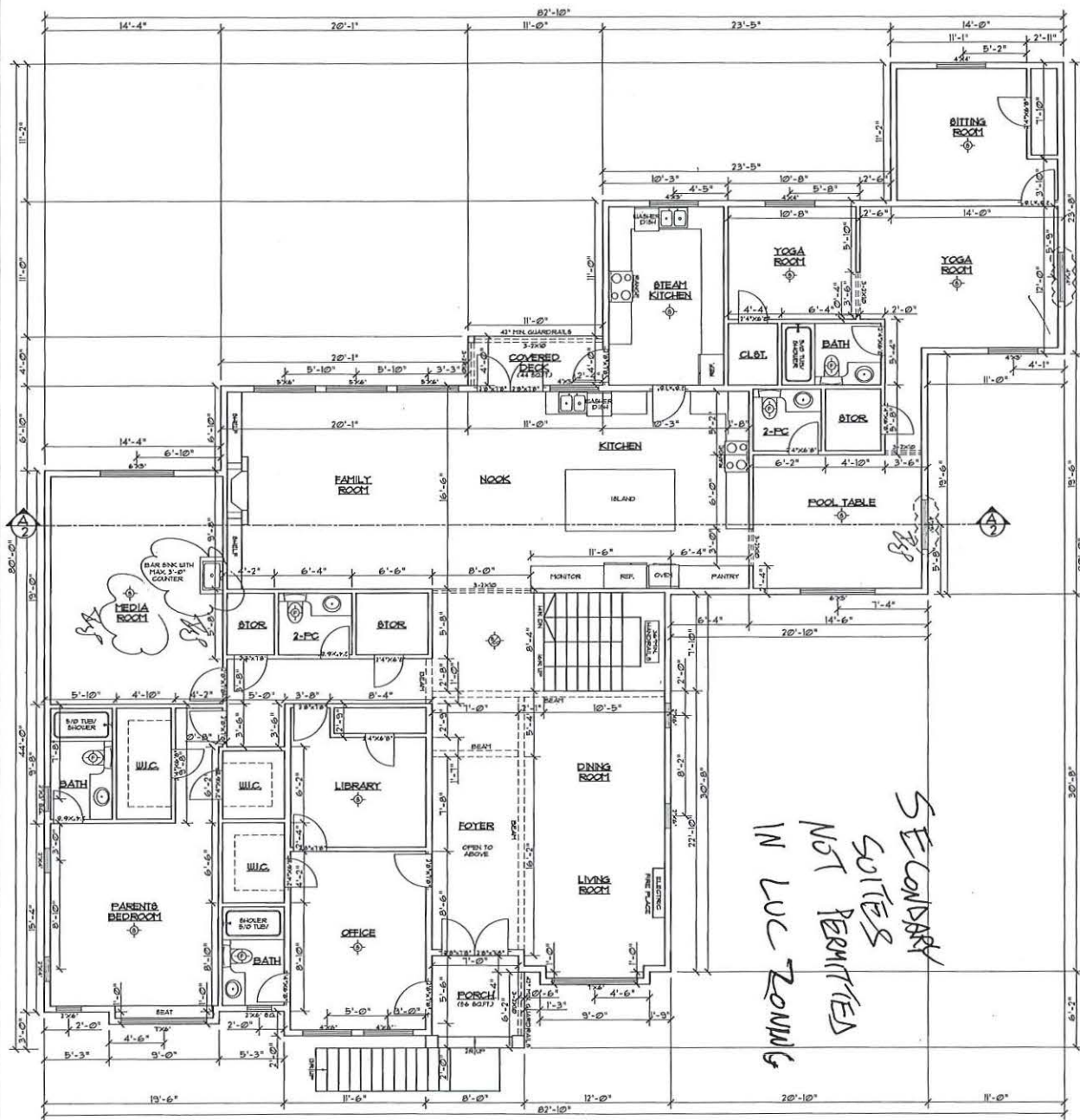
SHEET NO. 2 OF 11
 DRAWING NO. GD22-4272

Gill Drafting Ltd.

PROJECT NAME
 PROPOSED RESIDENCE FOR
 GURPREET SINGH HEER
 LOT # 9040 - SKYE PL.
 SUDBURY, B.C.

REVISION BY
 APR 2023 JFS

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MAIN FLOOR
SCALE 1/4"=1'-0"

MAIN FLOOR AREA = 3491 SQFT.

LEGEND

- ⬠ SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- ⬠ SMOKE ALARM
- ⬠ FLOOR DRAIN
- ⬠ FAN

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DATE: 04 MAY 2022
PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER
SIGNED: [Signature]
GILL DRAFTING LTD.
1111 PERMIT EXTENSION

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

DATE:	KASRA
SCALE:	1/4"=1'-0"
DATE:	04 MAY 2022
CHKD:	JFS
PHONE:	718-993-2511

PROPOSED RESIDENCE FOR
GURPREET SINGH HEER
LOT#141 @ 9040 - SKYE PL.
SURREY, BC

DESIGNER ADDRESS:
GILL DRAFTING LTD.
BURNET DESIGN CENTRE
1017 51 BURNET AVE.
BURNET, B.C. V3J 5E8
TEL: (604) 535-8866
FAX: (604) 535-4831
WEBSITE: 1220GLDRAFTING.COM



REVISIONS	BY
APR 2023	JFS

DRAWING NO.	GD22-4272
SHEET NO.	5 OF 11

REV	NO.	DESCRIPTION	DATE
0		ISSUED FOR PERMIT	MAY 14, 2022
1		REVISION FOR PERMIT	JUNE 22, 2022
2		REVISION FOR PERMIT	JUNE 22, 2022
3		REVISION FOR PERMIT	FEB 15, 2024
4		REVISION FOR PERMIT	APRIL 14, 2024

GILL DRAFTING

ARCHITECT/ENGINEER

ENGINEERING CONSULTANT:
GS Dhesi & Associates
 Consulting Engineers
 100 Vancouver Road
 Suite 200-2021
 The Woodlands, TX 77380-5221
 Phone: 281-360-2222
 Fax: 281-360-2221
 www.gs-engineers.com

PROJECT:
 PROPOSED RESIDENCE
 FOR GURPREET HEER

PROJECT NO.: 100133

DATE: MAY 15, 2022

SCALE: 1/4" = 1'-0" (SEE NOTES FOR VARIATIONS)

DRAWN BY: [Signature]

CHECKED BY: [Signature]

DESIGN: MS

PROJECT NO.: 100133

DRAWING NO.: **S2**

REV: 4

FOUNDATION & BASEMENT PLAN
 WITH MAIN FLOOR FRAMING OVER

NOTE: FLOOR SYSTEM HAS BEEN DESIGNED TO ALLOW FOR 1.5" CONCRETE FLOOR TOPPING.

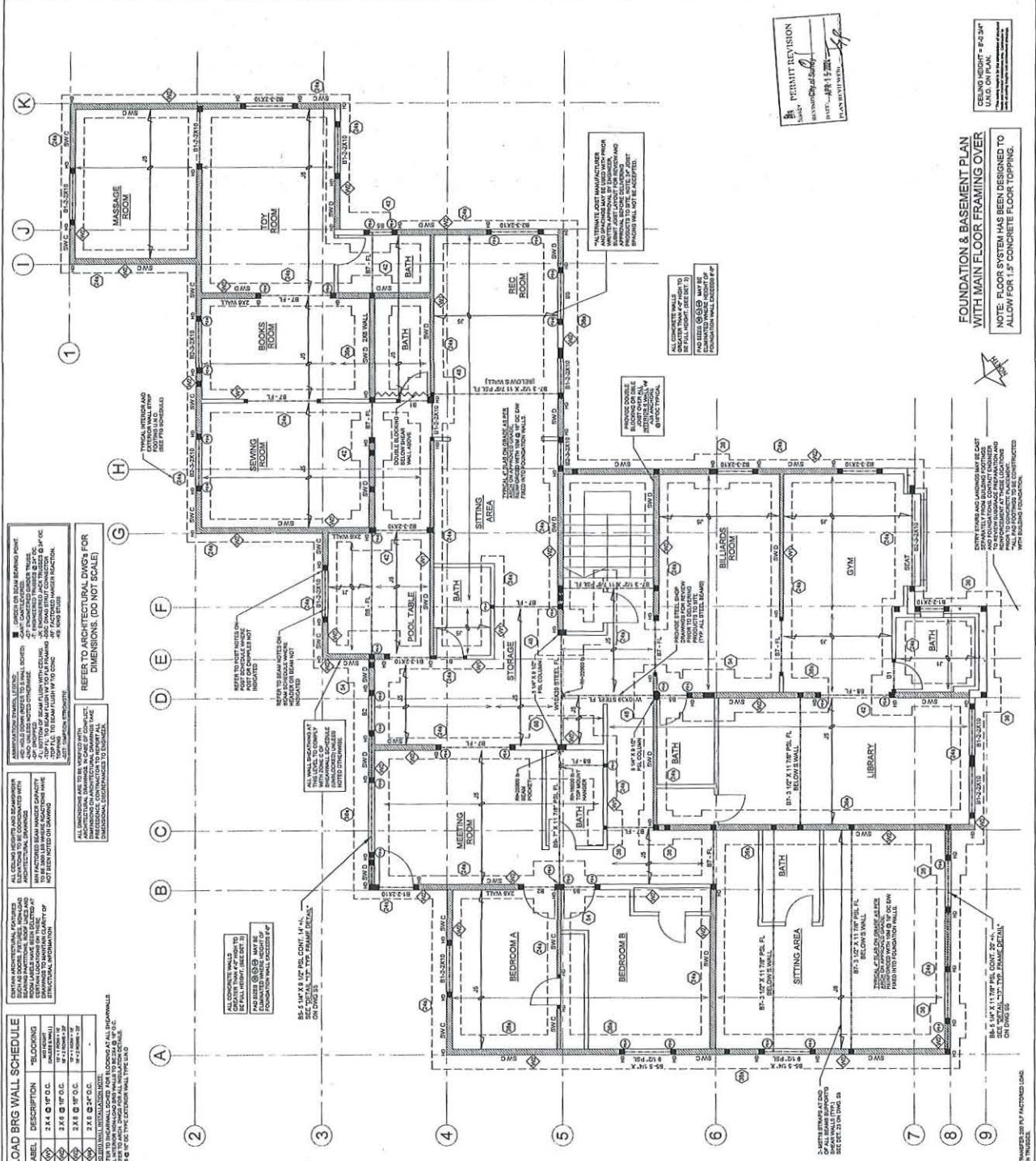
PERMIT REVISION

DATE: APR 15 2024

PLAN REVISION: [Signature]

FOUNDATION & BASEMENT PLAN

NOTE: FLOOR SYSTEM HAS BEEN DESIGNED TO ALLOW FOR 1.5" CONCRETE FLOOR TOPPING.



LABEL	DESCRIPTION	SPACING
W1	2" X 8" @ 16" O.C. (TOP STRIP FOOTING)	3'-11 1/2" CONT. BOT.
W2	2" X 8" @ 16" O.C. (TOP STRIP FOOTING)	3'-11 1/2" CONT. BOT.
W3	2" X 8" @ 16" O.C. (TOP STRIP FOOTING)	3'-11 1/2" CONT. BOT.
W4	2" X 8" @ 16" O.C. (TOP STRIP FOOTING)	3'-11 1/2" CONT. BOT.
W5	2" X 8" @ 16" O.C. (TOP STRIP FOOTING)	3'-11 1/2" CONT. BOT.
W6	2" X 8" @ 16" O.C. (TOP STRIP FOOTING)	3'-11 1/2" CONT. BOT.
W7	2" X 8" @ 16" O.C. (TOP STRIP FOOTING)	3'-11 1/2" CONT. BOT.
W8	2" X 8" @ 16" O.C. (TOP STRIP FOOTING)	3'-11 1/2" CONT. BOT.
W9	2" X 8" @ 16" O.C. (TOP STRIP FOOTING)	3'-11 1/2" CONT. BOT.
W10	2" X 8" @ 16" O.C. (TOP STRIP FOOTING)	3'-11 1/2" CONT. BOT.

LABEL	DESCRIPTION	BASE	CAP
P1	4" X 4" POST	4" X 4" POST	4" X 4" POST
P2	4" X 4" POST	4" X 4" POST	4" X 4" POST
P3	4" X 4" POST	4" X 4" POST	4" X 4" POST
P4	4" X 4" POST	4" X 4" POST	4" X 4" POST
P5	4" X 4" POST	4" X 4" POST	4" X 4" POST
P6	4" X 4" POST	4" X 4" POST	4" X 4" POST
P7	4" X 4" POST	4" X 4" POST	4" X 4" POST
P8	4" X 4" POST	4" X 4" POST	4" X 4" POST
P9	4" X 4" POST	4" X 4" POST	4" X 4" POST
P10	4" X 4" POST	4" X 4" POST	4" X 4" POST

LABEL	DESCRIPTION	REMARKS
B1	2" X 12" @ 16" O.C.	
B2	2" X 12" @ 16" O.C.	
B3	2" X 12" @ 16" O.C.	
B4	2" X 12" @ 16" O.C.	
B5	2" X 12" @ 16" O.C.	
B6	2" X 12" @ 16" O.C.	
B7	2" X 12" @ 16" O.C.	
B8	2" X 12" @ 16" O.C.	
B9	2" X 12" @ 16" O.C.	
B10	2" X 12" @ 16" O.C.	
B11	2" X 12" @ 16" O.C.	
B12	2" X 12" @ 16" O.C.	
B13	2" X 12" @ 16" O.C.	

LABEL	DESCRIPTION	SPACING
J1	2" X 12" @ 16" O.C.	
J2	2" X 12" @ 16" O.C.	
J3	2" X 12" @ 16" O.C.	
J4	2" X 12" @ 16" O.C.	
J5	2" X 12" @ 16" O.C.	
J6	2" X 12" @ 16" O.C.	
J7	2" X 12" @ 16" O.C.	
J8	2" X 12" @ 16" O.C.	
J9	2" X 12" @ 16" O.C.	
J10	2" X 12" @ 16" O.C.	

ZONE	PL/VD	WALLING	REMARKS
1	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
2	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
3	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
4	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
5	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
6	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
7	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
8	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
9	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
10	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	

ZONE	PL/VD	WALLING	REMARKS
1	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
2	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
3	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
4	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
5	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
6	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
7	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
8	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
9	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	
10	2" X 12" @ 16" O.C.	2" X 12" @ 16" O.C.	

REV	NO	DESCRIPTION	DATE
1	1	ISSUED FOR PERMIT	MAY 11, 2022
2	1	REVISION FOR PERMIT	JUNE 23, 2022
3	1	REVISION FOR PERMIT	JUNE 23, 2022
4	1	REVISION FOR PERMIT	FEB 13, 2024
5	1	REVISION FOR PERMIT	APRIL 04, 2024

PROPOSED RESIDENCE FOR GURPREET HEER

107-147 8400 HWY 63 PLACE, SHERBROOKE, Q.C.

ENGINEERING CONSULTANT:
GS Dhesi & Associates
 Consulting Engineers
 1250-1260 Avenue
 118 Westmount Road
 Westmount, Quebec H3T 2E2
 Tel: 514-343-2222
 Fax: 514-343-2222
 www.gsdesi.com

PROJECT: PROPOSED RESIDENCE FOR GURPREET HEER

DATE: MAY 11, 2022

SCALE: 1/4" = 1'-0" (AS SHOWN UNLESS NOTED)

DRAWN: MS
 CHECKED: MS
 PERMIT NO: 2022-03
 DRAWING NO: S3

REVIT: APR 11 2024

DATE: APR 11 2024

NO. OF SHEETS: 4

SHEET NO: 3

GILL DRAFTING

ARCHITECT/ENGINEER

PERMIT REVISION

REV: Cheryl Stacey
 DATE: MAY 14, 2024
 FILE NO: 2022-03

CEILING HEIGHT = 9'-0" MIN.
 FLOOR FINISH TO BE INDICATED
 ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE

LOAD BRG WALL SCHEDULE

LABEL	DESCRIPTION	TELCORNG
1	2 X 4 @ 16" O.C.	1
2	2 X 4 @ 16" O.C.	1
3	2 X 4 @ 16" O.C.	1
4	2 X 4 @ 16" O.C.	1
5	2 X 4 @ 16" O.C.	1
6	2 X 4 @ 16" O.C.	1
7	2 X 4 @ 16" O.C.	1
8	2 X 4 @ 16" O.C.	1
9	2 X 4 @ 16" O.C.	1

FOOTING SCHEDULE

LABEL	DESCRIPTION	SPACING
1	3-1/2" CORR. BOTT. & TOP	5-1/2" ON CENTER
2	3-1/2" CORR. BOTT. & TOP	5-1/2" ON CENTER
3	3-1/2" CORR. BOTT. & TOP	5-1/2" ON CENTER
4	3-1/2" CORR. BOTT. & TOP	5-1/2" ON CENTER
5	3-1/2" CORR. BOTT. & TOP	5-1/2" ON CENTER
6	3-1/2" CORR. BOTT. & TOP	5-1/2" ON CENTER
7	3-1/2" CORR. BOTT. & TOP	5-1/2" ON CENTER
8	3-1/2" CORR. BOTT. & TOP	5-1/2" ON CENTER
9	3-1/2" CORR. BOTT. & TOP	5-1/2" ON CENTER

POST SCHEDULE

LABEL	DESCRIPTION	BASE	CAP
1	4" X 4" EWP	4" X 4" EWP	4" X 4" EWP
2	4" X 4" EWP	4" X 4" EWP	4" X 4" EWP
3	4" X 4" EWP	4" X 4" EWP	4" X 4" EWP
4	4" X 4" EWP	4" X 4" EWP	4" X 4" EWP
5	4" X 4" EWP	4" X 4" EWP	4" X 4" EWP
6	4" X 4" EWP	4" X 4" EWP	4" X 4" EWP
7	4" X 4" EWP	4" X 4" EWP	4" X 4" EWP
8	4" X 4" EWP	4" X 4" EWP	4" X 4" EWP
9	4" X 4" EWP	4" X 4" EWP	4" X 4" EWP

BEAM SCHEDULE

LABEL	DESCRIPTION	REMARKS
B1	2-2 X 10 @ 12" O.C.	
B2	3-2 X 8 @ 10" O.C.	
B3	3-2 X 8 @ 10" O.C.	
B4	3-2 X 8 @ 10" O.C.	
B5	3-2 X 8 @ 10" O.C.	
B6	3-2 X 8 @ 10" O.C.	
B7	3-2 X 8 @ 10" O.C.	
B8	3-2 X 8 @ 10" O.C.	
B9	3-2 X 8 @ 10" O.C.	
B10	3-2 X 8 @ 10" O.C.	
B11	3-2 X 8 @ 10" O.C.	
B12	3-2 X 8 @ 10" O.C.	
B13	3-2 X 8 @ 10" O.C.	

FLOOR/ROOF JOIST SCHEDULE

LABEL	DESCRIPTION	SPACING	REMARKS
J1	2 X 8 @ 16" O.C.	16" O.C.	
J2	2 X 8 @ 16" O.C.	16" O.C.	
J3	2 X 8 @ 16" O.C.	16" O.C.	
J4	2 X 8 @ 16" O.C.	16" O.C.	
J5	2 X 8 @ 16" O.C.	16" O.C.	
J6	2 X 8 @ 16" O.C.	16" O.C.	
J7	2 X 8 @ 16" O.C.	16" O.C.	
J8	2 X 8 @ 16" O.C.	16" O.C.	
J9	2 X 8 @ 16" O.C.	16" O.C.	
J10	2 X 8 @ 16" O.C.	16" O.C.	
J11	2 X 8 @ 16" O.C.	16" O.C.	
J12	2 X 8 @ 16" O.C.	16" O.C.	
J13	2 X 8 @ 16" O.C.	16" O.C.	
J14	2 X 8 @ 16" O.C.	16" O.C.	
J15	2 X 8 @ 16" O.C.	16" O.C.	
J16	2 X 8 @ 16" O.C.	16" O.C.	
J17	2 X 8 @ 16" O.C.	16" O.C.	
J18	2 X 8 @ 16" O.C.	16" O.C.	
J19	2 X 8 @ 16" O.C.	16" O.C.	
J20	2 X 8 @ 16" O.C.	16" O.C.	
J21	2 X 8 @ 16" O.C.	16" O.C.	
J22	2 X 8 @ 16" O.C.	16" O.C.	
J23	2 X 8 @ 16" O.C.	16" O.C.	
J24	2 X 8 @ 16" O.C.	16" O.C.	
J25	2 X 8 @ 16" O.C.	16" O.C.	
J26	2 X 8 @ 16" O.C.	16" O.C.	
J27	2 X 8 @ 16" O.C.	16" O.C.	
J28	2 X 8 @ 16" O.C.	16" O.C.	
J29	2 X 8 @ 16" O.C.	16" O.C.	
J30	2 X 8 @ 16" O.C.	16" O.C.	
J31	2 X 8 @ 16" O.C.	16" O.C.	
J32	2 X 8 @ 16" O.C.	16" O.C.	
J33	2 X 8 @ 16" O.C.	16" O.C.	
J34	2 X 8 @ 16" O.C.	16" O.C.	
J35	2 X 8 @ 16" O.C.	16" O.C.	
J36	2 X 8 @ 16" O.C.	16" O.C.	
J37	2 X 8 @ 16" O.C.	16" O.C.	
J38	2 X 8 @ 16" O.C.	16" O.C.	
J39	2 X 8 @ 16" O.C.	16" O.C.	
J40	2 X 8 @ 16" O.C.	16" O.C.	
J41	2 X 8 @ 16" O.C.	16" O.C.	
J42	2 X 8 @ 16" O.C.	16" O.C.	
J43	2 X 8 @ 16" O.C.	16" O.C.	
J44	2 X 8 @ 16" O.C.	16" O.C.	
J45	2 X 8 @ 16" O.C.	16" O.C.	
J46	2 X 8 @ 16" O.C.	16" O.C.	
J47	2 X 8 @ 16" O.C.	16" O.C.	
J48	2 X 8 @ 16" O.C.	16" O.C.	
J49	2 X 8 @ 16" O.C.	16" O.C.	
J50	2 X 8 @ 16" O.C.	16" O.C.	
J51	2 X 8 @ 16" O.C.	16" O.C.	
J52	2 X 8 @ 16" O.C.	16" O.C.	
J53	2 X 8 @ 16" O.C.	16" O.C.	
J54	2 X 8 @ 16" O.C.	16" O.C.	
J55	2 X 8 @ 16" O.C.	16" O.C.	
J56	2 X 8 @ 16" O.C.	16" O.C.	
J57	2 X 8 @ 16" O.C.	16" O.C.	
J58	2 X 8 @ 16" O.C.	16" O.C.	
J59	2 X 8 @ 16" O.C.	16" O.C.	
J60	2 X 8 @ 16" O.C.	16" O.C.	
J61	2 X 8 @ 16" O.C.	16" O.C.	
J62	2 X 8 @ 16" O.C.	16" O.C.	
J63	2 X 8 @ 16" O.C.	16" O.C.	
J64	2 X 8 @ 16" O.C.	16" O.C.	
J65	2 X 8 @ 16" O.C.	16" O.C.	
J66	2 X 8 @ 16" O.C.	16" O.C.	
J67	2 X 8 @ 16" O.C.	16" O.C.	
J68	2 X 8 @ 16" O.C.	16" O.C.	
J69	2 X 8 @ 16" O.C.	16" O.C.	
J70	2 X 8 @ 16" O.C.	16" O.C.	
J71	2 X 8 @ 16" O.C.	16" O.C.	
J72	2 X 8 @ 16" O.C.	16" O.C.	
J73	2 X 8 @ 16" O.C.	16" O.C.	
J74	2 X 8 @ 16" O.C.	16" O.C.	
J75	2 X 8 @ 16" O.C.	16" O.C.	
J76	2 X 8 @ 16" O.C.	16" O.C.	
J77	2 X 8 @ 16" O.C.	16" O.C.	
J78	2 X 8 @ 16" O.C.	16" O.C.	
J79	2 X 8 @ 16" O.C.	16" O.C.	
J80	2 X 8 @ 16" O.C.	16" O.C.	
J81	2 X 8 @ 16" O.C.	16" O.C.	
J82	2 X 8 @ 16" O.C.	16" O.C.	
J83	2 X 8 @ 16" O.C.	16" O.C.	
J84	2 X 8 @ 16" O.C.	16" O.C.	
J85	2 X 8 @ 16" O.C.	16" O.C.	
J86	2 X 8 @ 16" O.C.	16" O.C.	
J87	2 X 8 @ 16" O.C.	16" O.C.	
J88	2 X 8 @ 16" O.C.	16" O.C.	
J89	2 X 8 @ 16" O.C.	16" O.C.	
J90	2 X 8 @ 16" O.C.	16" O.C.	
J91	2 X 8 @ 16" O.C.	16" O.C.	
J92	2 X 8 @ 16" O.C.	16" O.C.	
J93	2 X 8 @ 16" O.C.	16" O.C.	
J94	2 X 8 @ 16" O.C.	16" O.C.	
J95	2 X 8 @ 16" O.C.	16" O.C.	
J96	2 X 8 @ 16" O.C.	16" O.C.	
J97	2 X 8 @ 16" O.C.	16" O.C.	
J98	2 X 8 @ 16" O.C.	16" O.C.	
J99	2 X 8 @ 16" O.C.	16" O.C.	
J100	2 X 8 @ 16" O.C.	16" O.C.	

DIAPHRAGM SCHEDULE

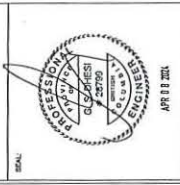
ZONE	PL/W.C. SHEATH	NAILING	HOLD-DOWNS	END STUDS	REMARKS
1	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
2	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
3	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
4	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
5	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
6	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
7	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
8	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
9	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
10	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
11	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
12	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
13	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
14	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
15	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
16	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
17	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
18	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
19	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
20	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
21	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
22	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
23	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
24	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
25	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
26	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
27	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
28	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
29	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
30	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
31	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
32	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
33	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
34	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
35	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
36	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
37	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
38	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
39	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
40	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
41	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
42	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
43	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
44	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
45	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
46	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
47	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
48	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
49	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
50	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
51	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
52	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
53	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
54	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
55	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
56	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
57	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
58	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
59	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
60	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
61	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
62	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
63	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
64	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
65	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
66	5/8" CD	16" O.C.	16" O.C.	16" O.C.	
67	5/8" CD	16" O.C.	16" O.C.	16" O.C.	

REV	NO.	DESCRIPTION	DATE
1	1	ISSUED FOR PERMIT	MAY 18, 2022
2	1	REVISION FOR PERMIT	JUNE 27, 2022
3	1	REVISION FOR PERMIT	JUNE 28, 2022
4	1	REVISION FOR PERMIT	FEB 13, 2024
5	1	REVISION FOR PERMIT	APRIL 04, 2024

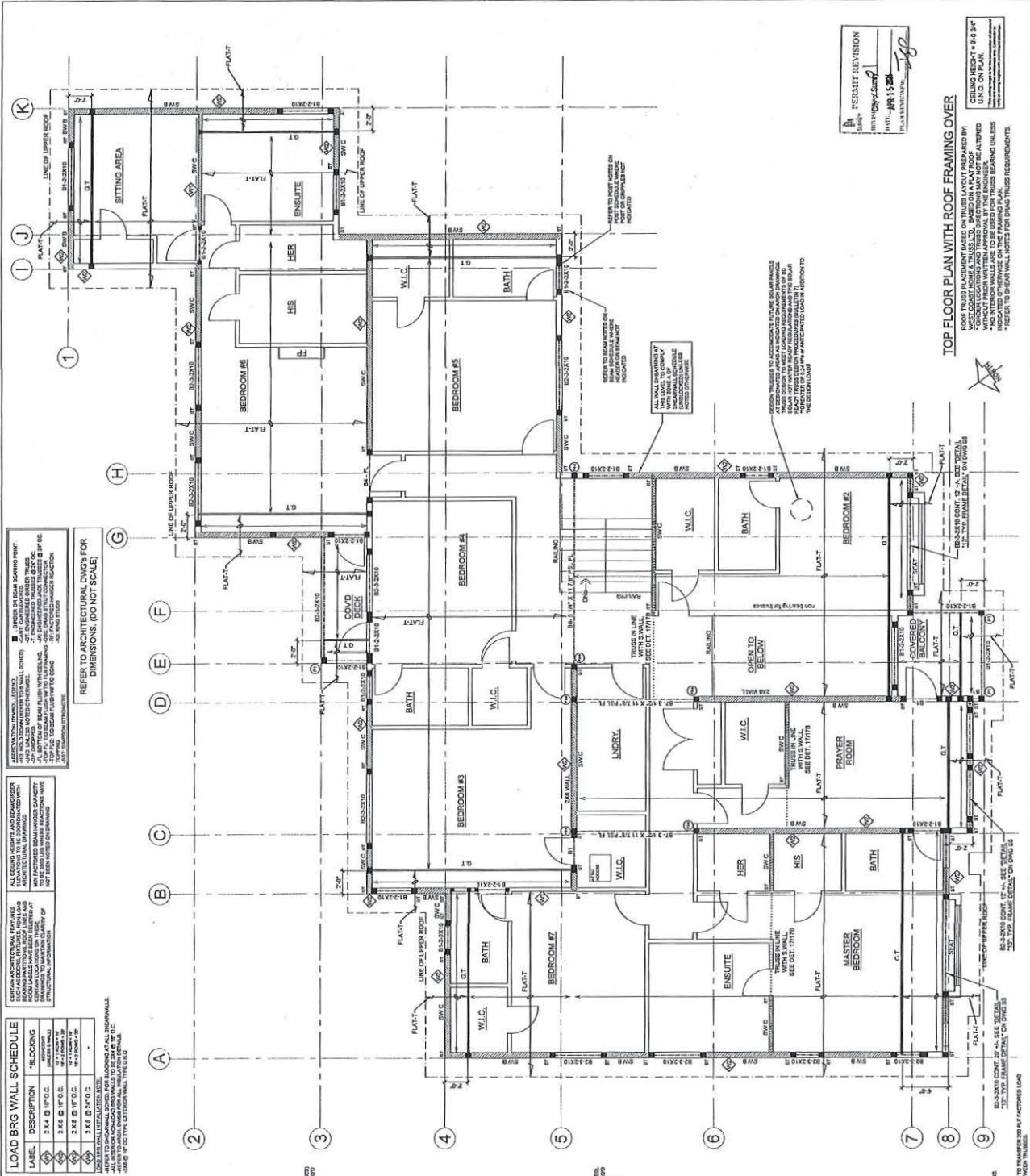
ARCHITECT/ENGINEER
GILL DRAFTING

ENGINEERING CONTRACTOR
**GS Dhshi & Associates
Consulting Engineers**

PROJECT
**PROPOSED RESIDENCE
FOR GURPREET HEER**



DATE	MAY 12, 2022
SCALE	1/4" = 1'-0" UNLESS NOTED OTHERWISE
DRAWN BY	DESIKAS
CHECKED BY	DESIKAS
PROJECT NO.	2019
DRAWING NO.	S4
REV.	4



LOAD BRG WALL SCHEDULE

LABEL	DESCRIPTION	SPACING	REMARKS
1	2" X 8" @ 16" O.C.	2-5M CONT. BOT.	
2	2" X 8" @ 16" O.C.	2-5M CONT. BOT.	
3	2" X 8" @ 16" O.C.	2-5M CONT. BOT.	
4	2" X 8" @ 16" O.C.	2-5M CONT. BOT.	

POST SCHEDULE

LABEL	DESCRIPTION	BASE	CAP
1	4" X 4" X 1/2" PSL	4-5M E.W. BOT.	4-5M E.W. BOT.
2	4" X 4" X 1/2" PSL	4-5M E.W. BOT.	4-5M E.W. BOT.
3	4" X 4" X 1/2" PSL	4-5M E.W. BOT.	4-5M E.W. BOT.
4	4" X 4" X 1/2" PSL	4-5M E.W. BOT.	4-5M E.W. BOT.

BEAM SCHEDULE

LABEL	DESCRIPTION	REMARKS
B1	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B2	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B3	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B4	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B5	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B6	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B7	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B8	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B9	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B10	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B11	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE
B12	2" X 12" X 1/2" PSL	SEE PLAN FOR SIZE

FLOOR/ROOF JOIST SCHEDULE

LABEL	DESCRIPTION	SPACING	REMARKS
J1	2" X 12" X 1/2" PSL	16" O.C.	
J2	2" X 12" X 1/2" PSL	16" O.C.	
J3	2" X 12" X 1/2" PSL	16" O.C.	
J4	2" X 12" X 1/2" PSL	16" O.C.	
J5	2" X 12" X 1/2" PSL	16" O.C.	
J6	2" X 12" X 1/2" PSL	16" O.C.	
J7	2" X 12" X 1/2" PSL	16" O.C.	
J8	2" X 12" X 1/2" PSL	16" O.C.	
J9	2" X 12" X 1/2" PSL	16" O.C.	
J10	2" X 12" X 1/2" PSL	16" O.C.	
J11	2" X 12" X 1/2" PSL	16" O.C.	
J12	2" X 12" X 1/2" PSL	16" O.C.	

DIAPHRAGM SCHEDULE

ZONE	PLATE	THICKNESS	REMARKS
1	1/2"	1/2"	
2	1/2"	1/2"	
3	1/2"	1/2"	
4	1/2"	1/2"	
5	1/2"	1/2"	
6	1/2"	1/2"	
7	1/2"	1/2"	
8	1/2"	1/2"	
9	1/2"	1/2"	
10	1/2"	1/2"	
11	1/2"	1/2"	
12	1/2"	1/2"	

SHEAR WALL SCHEDULE

ZONE	THICKNESS	REMARKS
1	12"	
2	12"	
3	12"	
4	12"	
5	12"	
6	12"	
7	12"	
8	12"	
9	12"	
10	12"	
11	12"	
12	12"	

TOP FLOOR PLAN WITH ROOF FRAMING OVER

CEILING HEIGHT = 9'-0" UNLESS NOTED OTHERWISE.

NO INTERIOR WALLS ARE TO BE USED FOR TRUSS BEARING UNLESS SPECIFICALLY NOTED OTHERWISE.

REFER TO SHEAR WALL NOTES FOR DRAG TRUSS REQUIREMENTS.

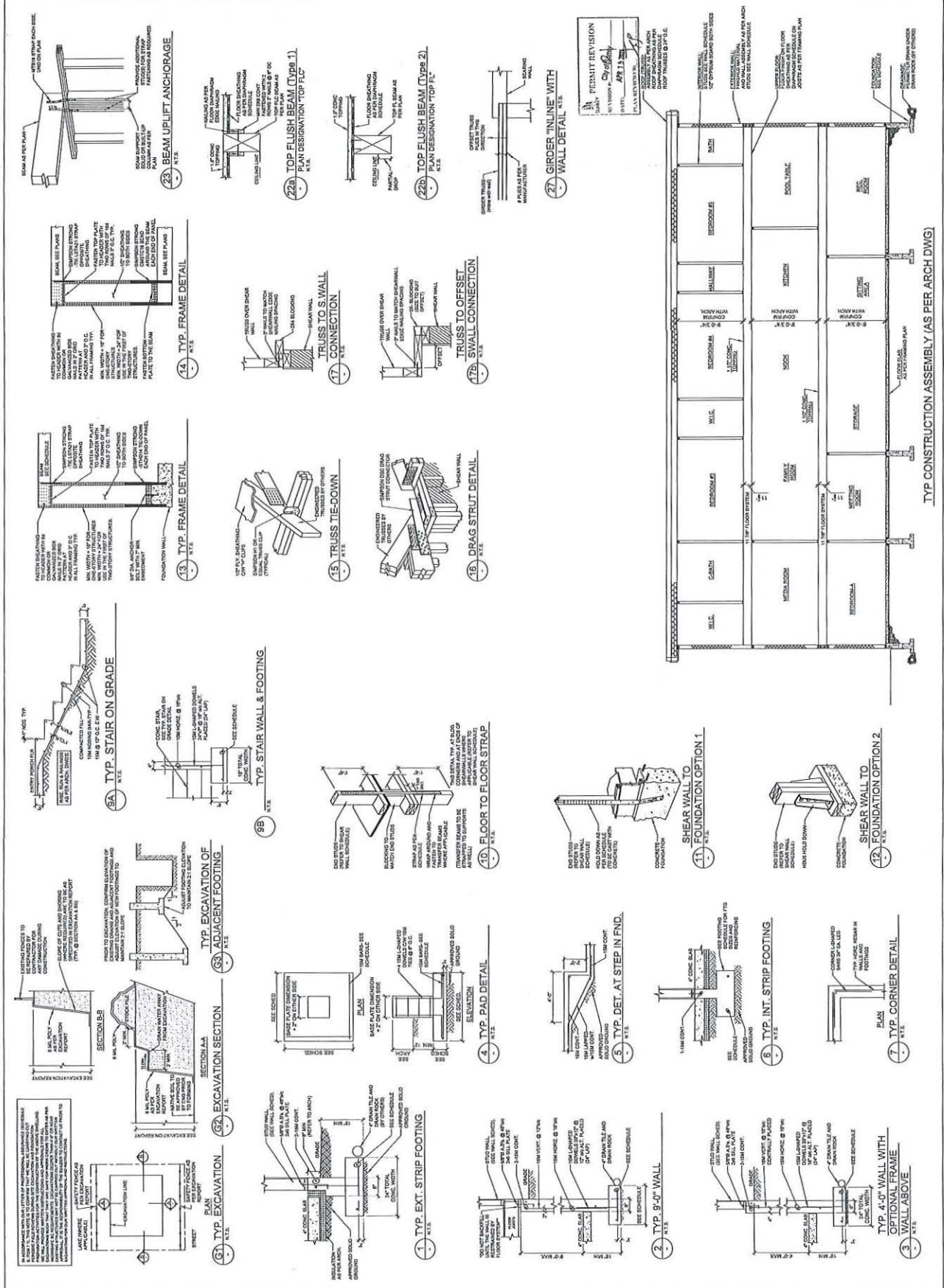
REV	NO	DESCRIPTION	DATE
2	1	SELECTED FOR PERMIT	MAY 16, 2022
3	1	REDESIGNED FOR PERMIT	JUNE 21, 2023
4	1	ADDED REVISIONS	JUNE 28, 2023
5	1	ADDED REVISIONS	FEB 15, 2024
6	1	ADDED REVISIONS	APRIL 24, 2024

ARCHITECT/DESIGNER:
GILL DRAFTING
 CONSULTANT:
GS Drest & Associates
 Consulting Engineers
 5742-972 Avenue
 100 Warehouse Road
 Raleigh, NC 27617
 TEL: 770-332-3344
 FAX: 770-332-3344
 WWW.GSDREST.COM

PROJECT:
**PROPOSED RESIDENCE
 FOR GURPREET HEER**
 ESDG PERMITS IN NUMBER: 8100212

FILE:
**DETAILS AND
 SCHEDULES**
 LIT: 1/15/2024
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: MAY 12, 2022

SCALE:	1/4" = 1'-0" (AS PER PLAN SHEET)
DRAWN:	RS
DESIGN:	MS
PROJECT NO:	22019
CHECKED:	CS
DRAWING NO:	S5
REV:	4



TYP. CONSTRUCTION ASSEMBLY (AS PER ARCH DWG)



PLANNING AND DEVELOPMENT DEPT.
BUILDING DIVISION

FINAL BUILDING APPROVAL

Date: Sep 04, 2024 11:32

Address: 9040 Skye Pl
REVISION 1
SINGLE FAMILY DWELLING
ENERGY STEP 3

Legal Description: LT 147 SE SEC 32 T2 PL 49315

Permit Number: 22-019137-000-01

Permit Type: Residential C-S-Single Family-New

Page 1 of 1

A handwritten signature in black ink, appearing to read "KM", written over a horizontal line.

Kyle May

Please allow 3-4 weeks from the date of Final Building Approval to process damage deposit refunds.





Photograph 3



SURREY
PROPERTY SERVICES
9040 Saxe Rd
Oct 22 24 12:15 pm
STOP WORK ORDER
REASON FOR STOP: SEE NOTICE

SURREY
IMPORTANT NOTICE
9040 Saxe Rd Oct 22/24
As a result of an inspection of the subject's documents will be issued to the
property owner with instructions for payment.
If you are unable to pay the amount due, please contact the
Surrey Property Services at 604-273-8888 or visit our website at
surrey.ca/property-services.
If you are unable to pay the amount due, please contact the
Surrey Property Services at 604-273-8888 or visit our website at
surrey.ca/property-services.
IF AN OFFENSE TO REMOVE CONTACT HAS NOT
BEEN MADE TO THE BY 4 PM

SURREY
IMPORTANT NOTICE
9040 Saxe Rd
As a result of an inspection of
the subject's documents will be issued to the
property owner with instructions for payment.
If you are unable to pay the amount due, please contact the
Surrey Property Services at 604-273-8888 or visit our website at
surrey.ca/property-services.
If you are unable to pay the amount due, please contact the
Surrey Property Services at 604-273-8888 or visit our website at
surrey.ca/property-services.





Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10





the future lives here.

**VIA REGISTERED MAIL (RN 721 630 814 CA)**

October 23, 2024

File: 09040-13310

GURPREET S HEER
 NAVNEET K HEER
 9040 SKYE PLACE
 SURREY BC V3V 6T6

Dear Gurpreet S Heer and Navneet K Heer:

Re: 9040 SKYE PLACE - UNAUTHORIZED CONSTRUCTION

An Inspection conducted by the City of Surrey's Building Division on October 22, 2024, indicated that a large addition for extra interior floor space was added to the rear, as well as a large deck, multiple exterior doors, and deck entrances have been added to the exterior of the dwelling, and secondary suite(s) (the "Works") have been constructed without valid building permits [and are being occupied without valid occupancy permits] in contravention of *Surrey Building Bylaw, 2012, No. 17850* (the "*Bylaw*").

Pursuant to Section 19 of the *Bylaw*, you are hereby ordered to do the following **on or before November 25, 2024:**

- 1) Submit to the City of Surrey's Building Division a building permit application for the demolition of the Works, along with all required documents and information, as required by the *Bylaw*, **and**
- 2) Perform the demolition of the Works in accordance with the permit issued by the City of Surrey and applicable laws.

We will review the City's file after the above deadline to ascertain whether you have complied with this order. **Failure to comply with this order is a breach of Section 96 of the *Bylaw* and will result in further action, including legal proceedings, being taken by the City to enforce compliance with the *Bylaw*.**

Please be advised that under Section 73 of the *Bylaw*, the Works must not be used or occupied until you have applied for and obtained a valid occupancy permit for the Works.

Should you require further information, kindly contact the Front Counter in Planning & Development at 604-591-4086.

Regards,

Jon Milloy, RBO
 Manager, Building Inspection Section
 /arb

Planning & Development Department | 13450 - 104 Avenue | Surrey, British Columbia, Canada | V3T 1V8
 T 604.591.4441 F 604.591.2507 www.surrey.ca

From: gurpreet singh <gurpreet332@hotmail.com>
Sent: November 1, 2024 10:19 AM
To: Building Violations <BuildingViolations@surrey.ca>
Subject: 9040 Skye pl.

Good morning Sir/madam,

My name is Gurpreet Heer and own my house at 9040 Skye pl. A stop work notice has been put at the house. Also building inspector has been here multiple times to put orange sticker. I have never had issue with city before and have no knowledge how to go about this stop work. Also sometimes work out of town. The situation is very stressful for me so please want to personally talk with someone. So came to second floor at city hall and at reception they told me to email here. So please I would like to request an appointment to see someone and talk about it. Thank you.

Regards,

Gurpreet heer

778-999-2577

Get [Outlook for Android](#)

From: [Building Violations](#)
To: [gurpreet singh](#)
Subject: RE: Stop Work Notice | 9040 Skye Place
Date: November 4, 2024 11:31:40 AM
Attachments: [image001.png](#)

Hi Gurpreet,

The City of Surrey's Building Division completed a search in the database and found that a Stop Work Order was posted October 22, 2024, due to a large addition and deck have been constructed without valid building permits.

A building permit application is to be submitted to normalize the outstanding violation. For more information on how to submit a permit application, please review the links provided below.

For interior renovation work, please refer

to https://www.surrey.ca/sites/default/files/media/documents/BP_Interior_Renovation.pdf

For additions constructed to the dwelling, please refer

to https://www.surrey.ca/sites/default/files/media/documents/BP_for_Addition.pdf

For accessory buildings constructed, please refer

to https://www.surrey.ca/sites/default/files/media/documents/BP_for_detached_garage.pdf

The City appreciates your efforts in normalizing the unauthorized construction. In order to move forward, please submit the requirements detailed in the links provided above as soon as possible.

Once the documents are submitted and accepted at the City, someone from our team will reach out to provide further steps.

Please contact our Customer Service team at 604-591-4086 for more information.

Regards,

Building Violations | Building Division



CITY OF SURREY

Planning & Development Department

13450 104th Ave, Surrey, BC, Canada V3T 1V8

www.surrey.ca

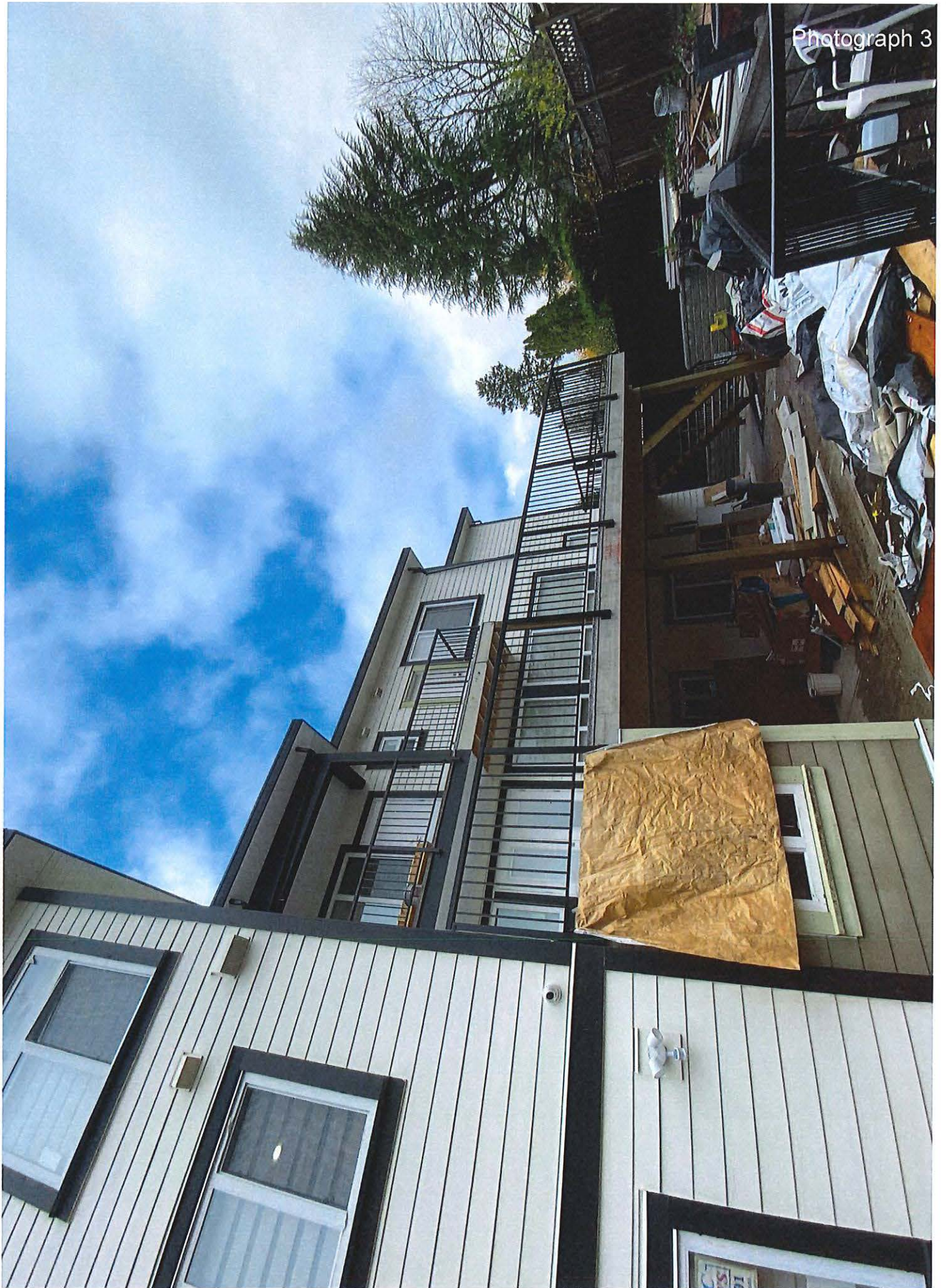
Schedule M
Photograph 1



Photograph 2



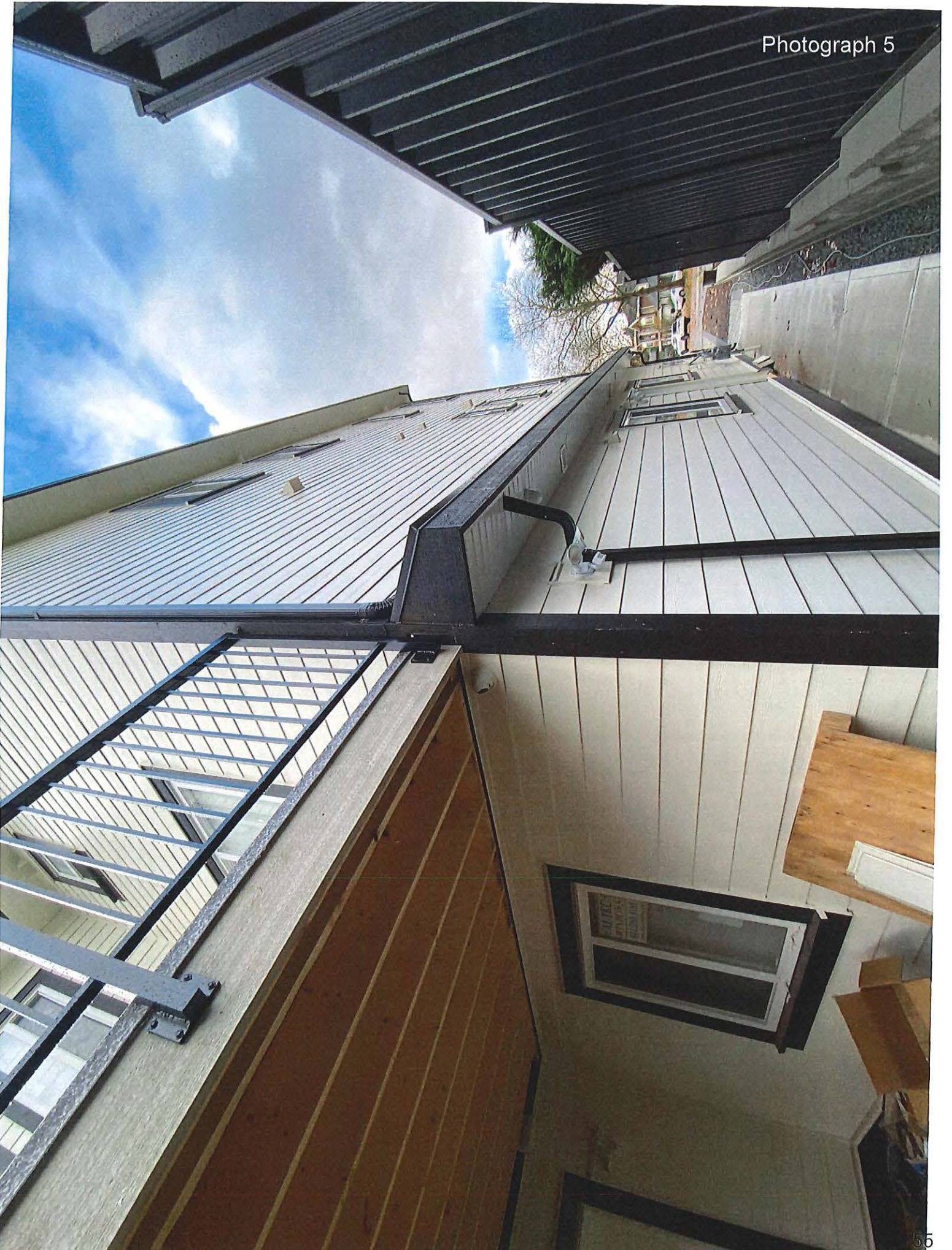
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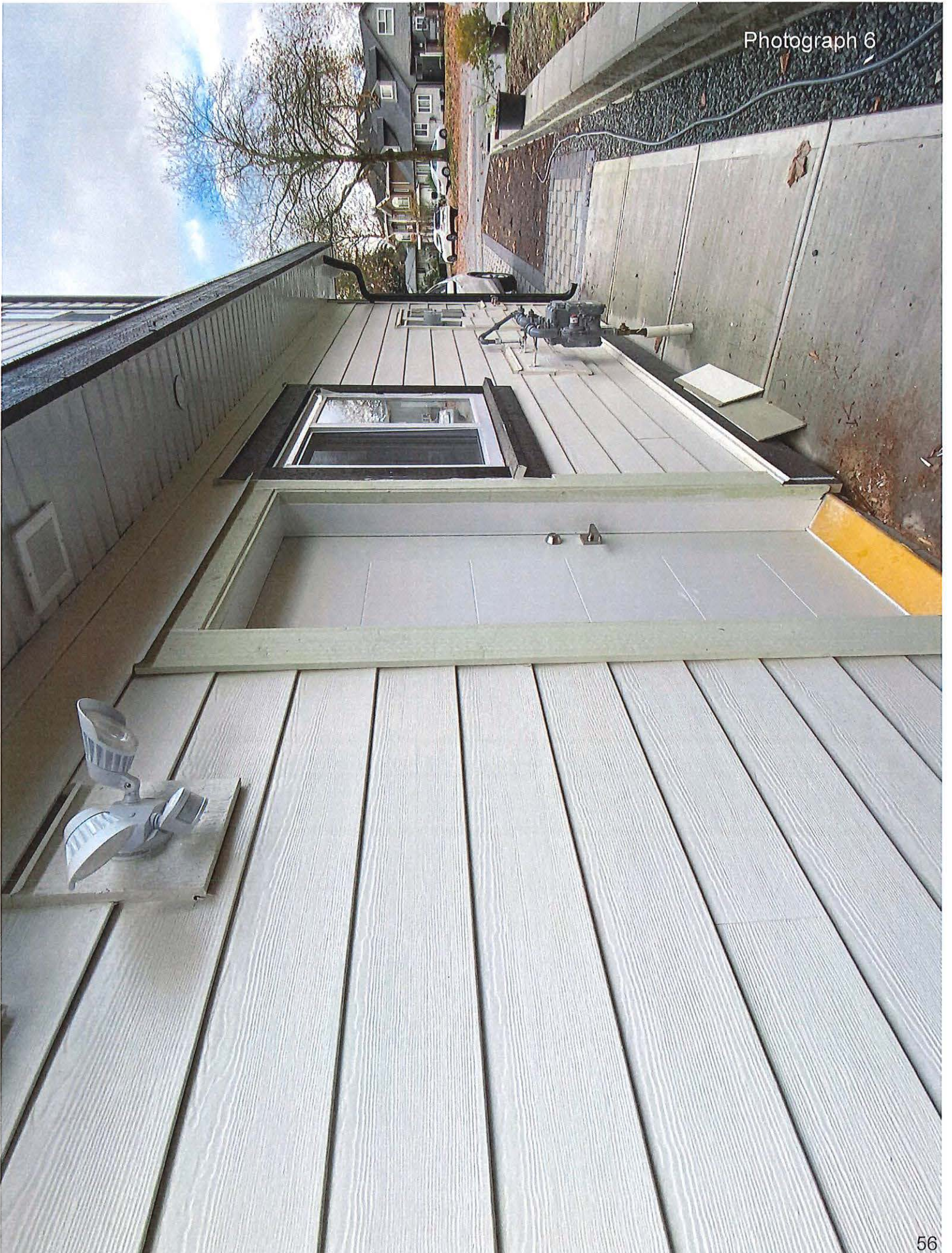
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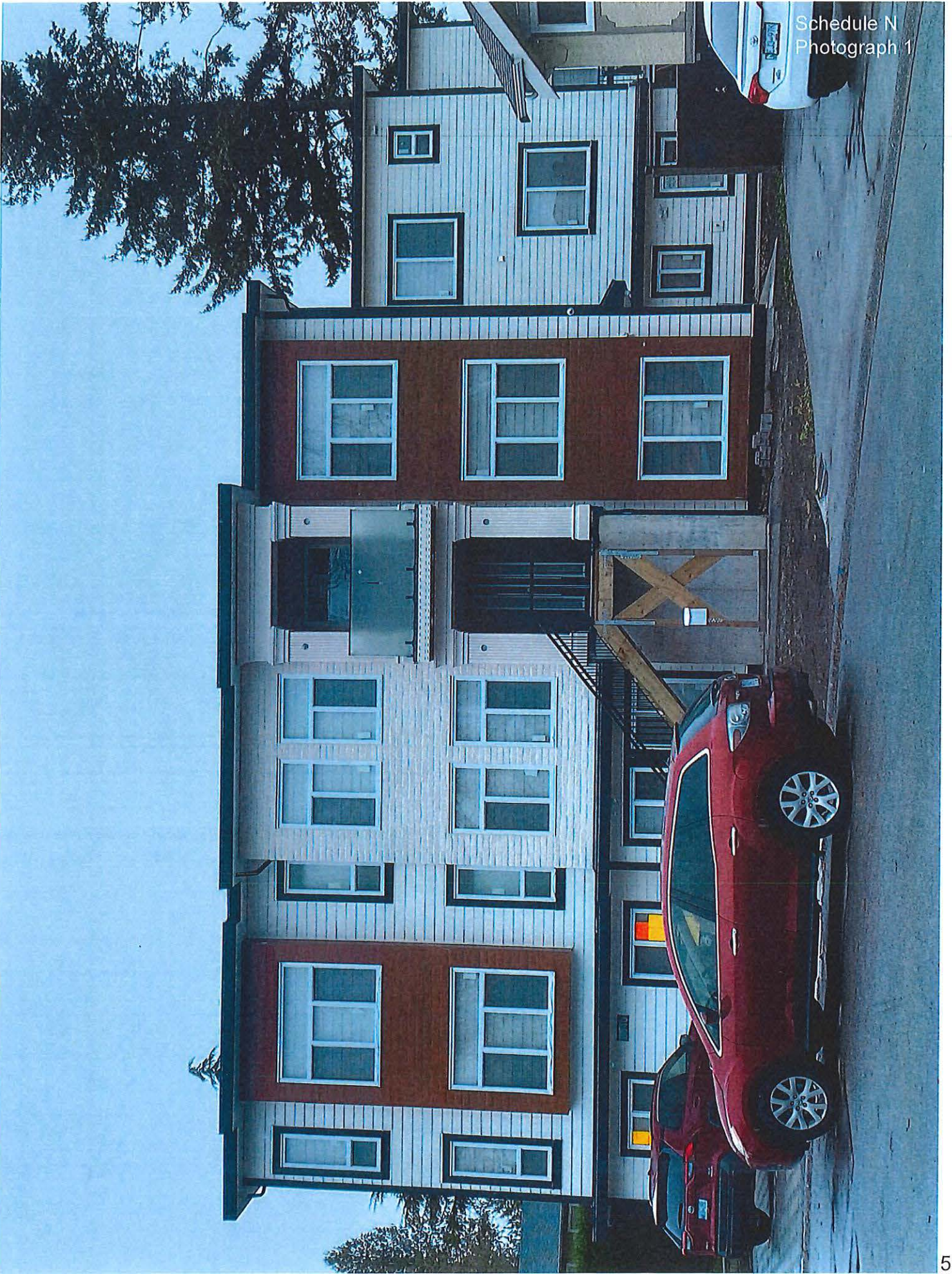


Photograph 5



Photograph 6





Photograph 2



Photograph 3



Photograph 4

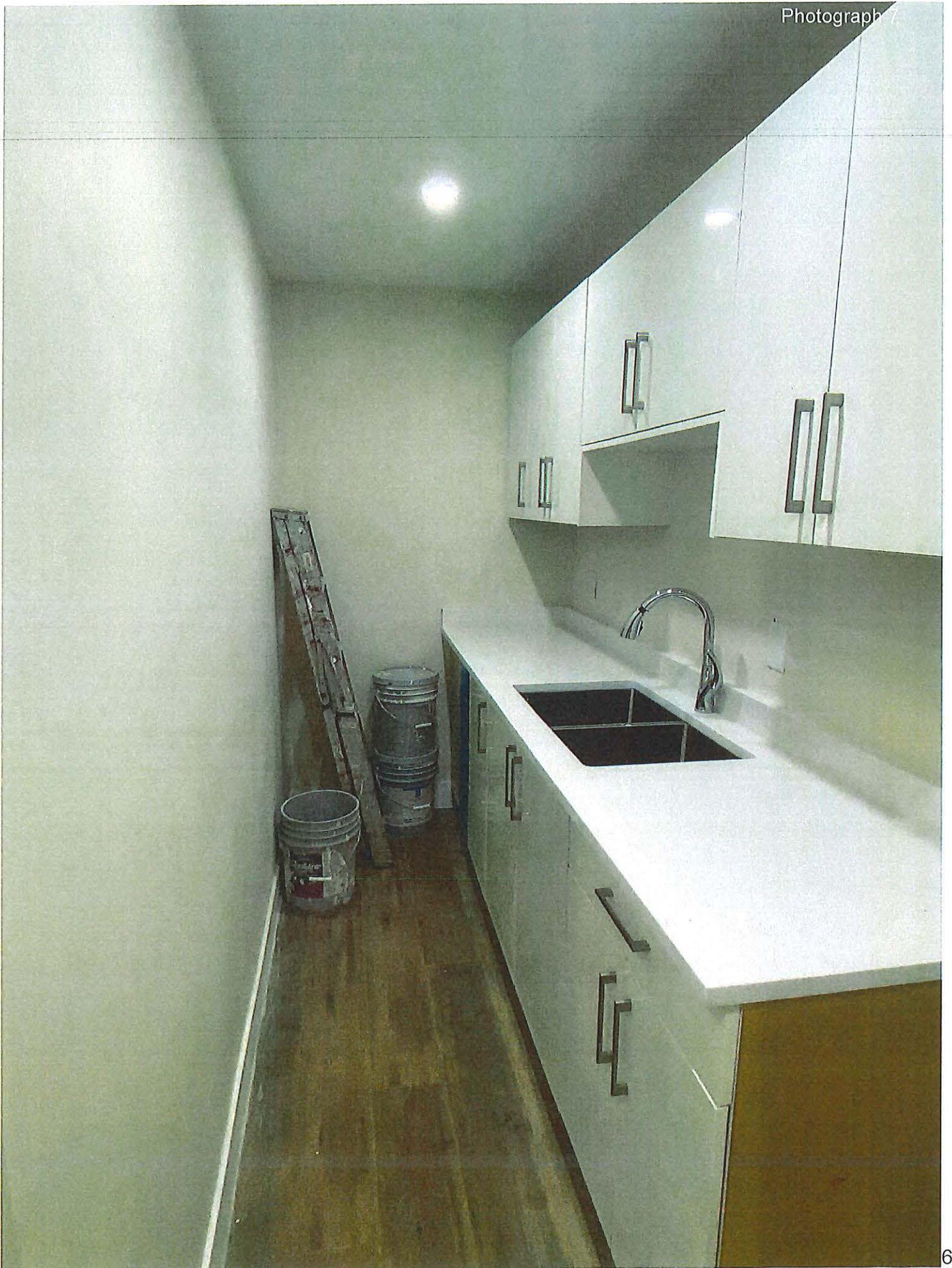


Photograph 5



Photograph 6





Photograph 8



Photograph 9



Photograph 10



Photograph 11

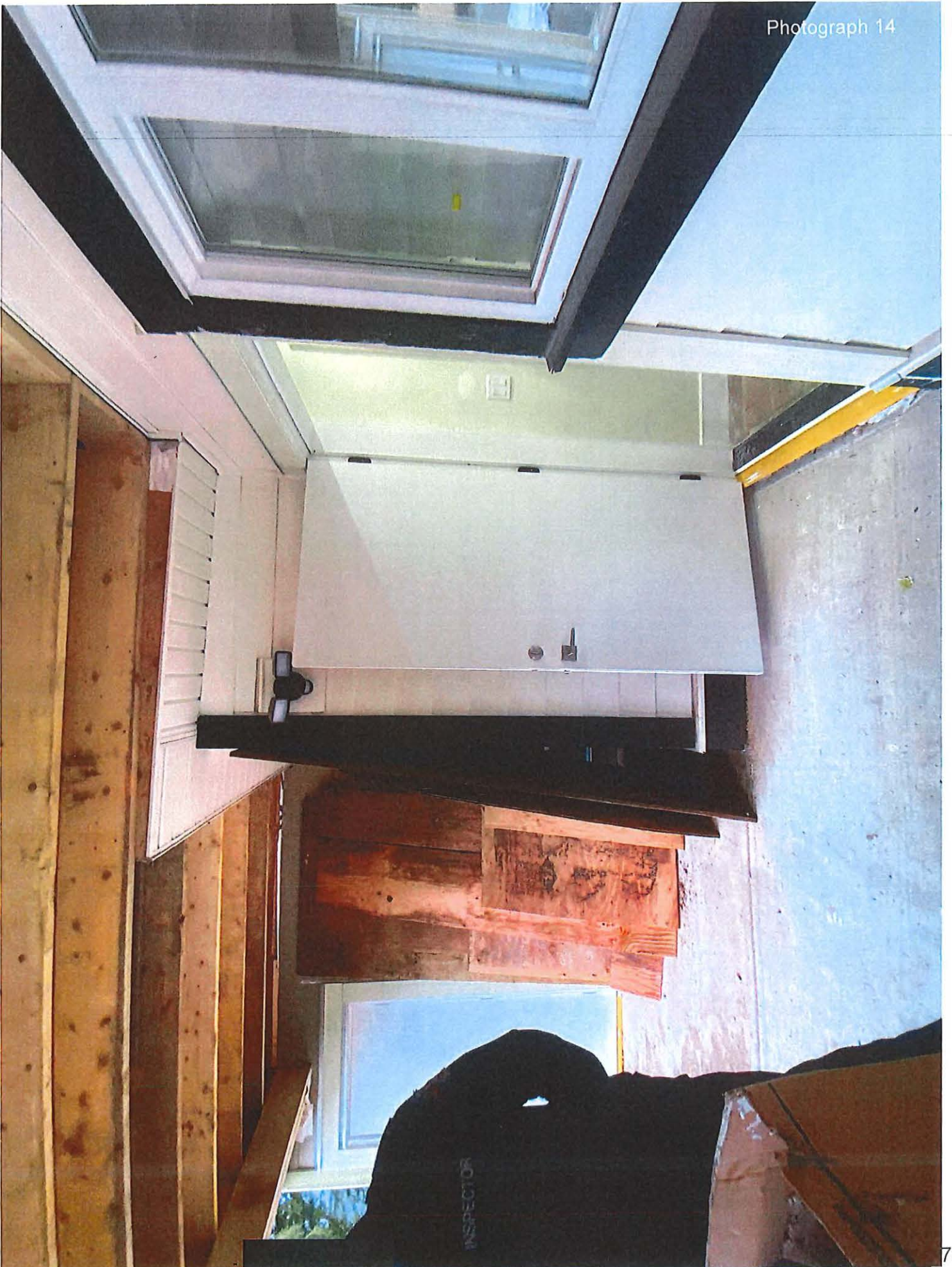


Photograph 12





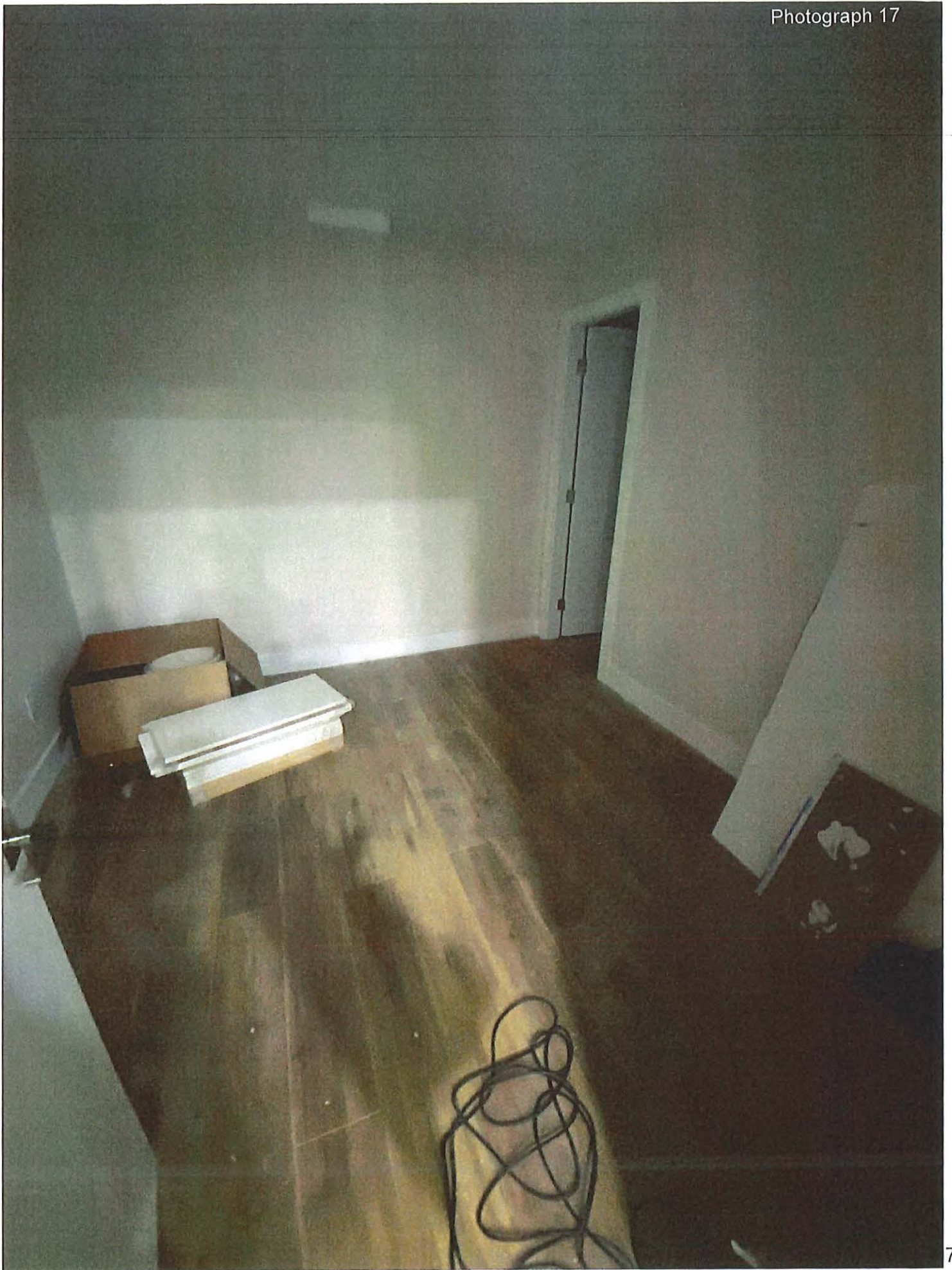
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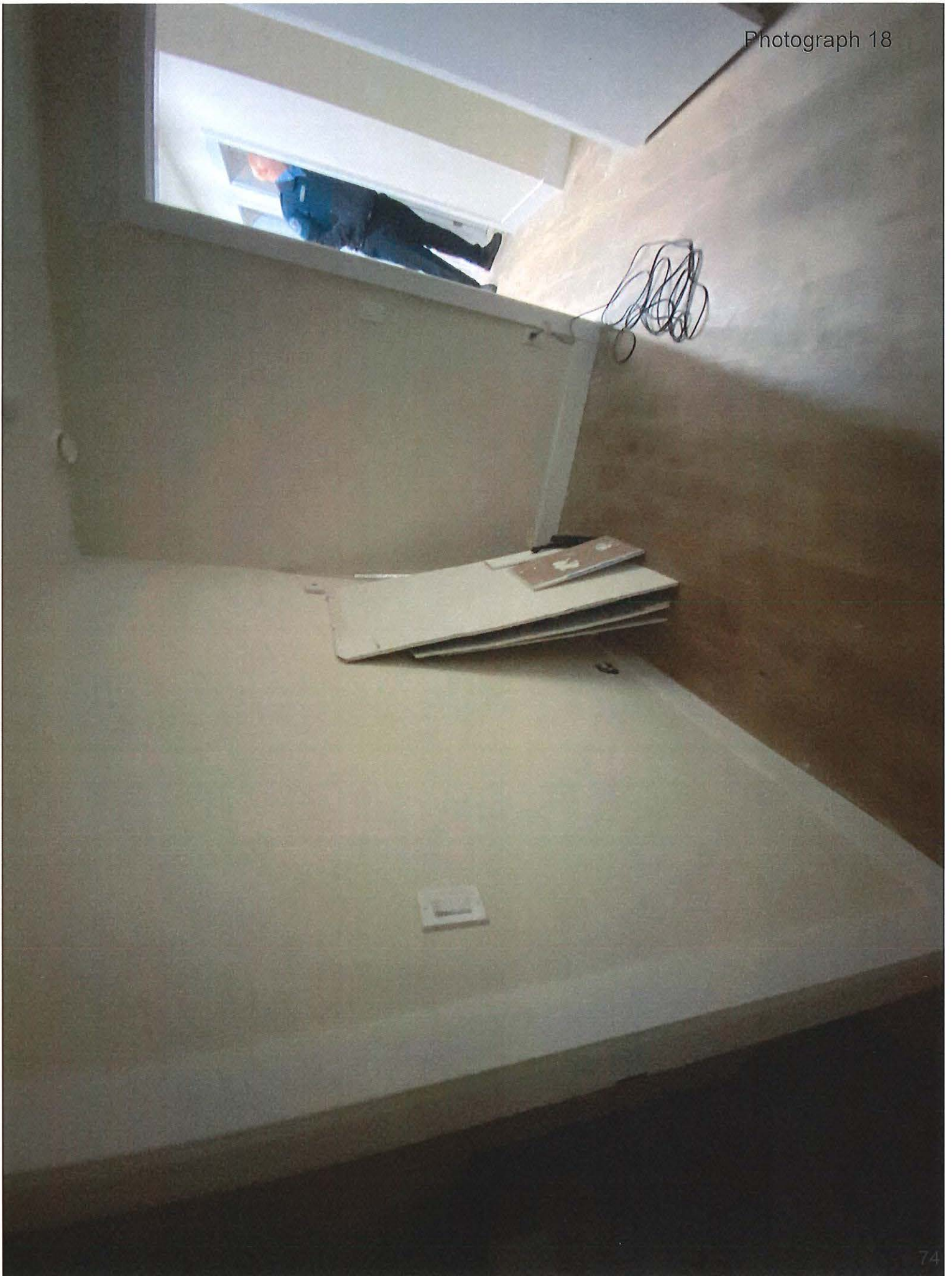
Photograph 15







Photograph 18



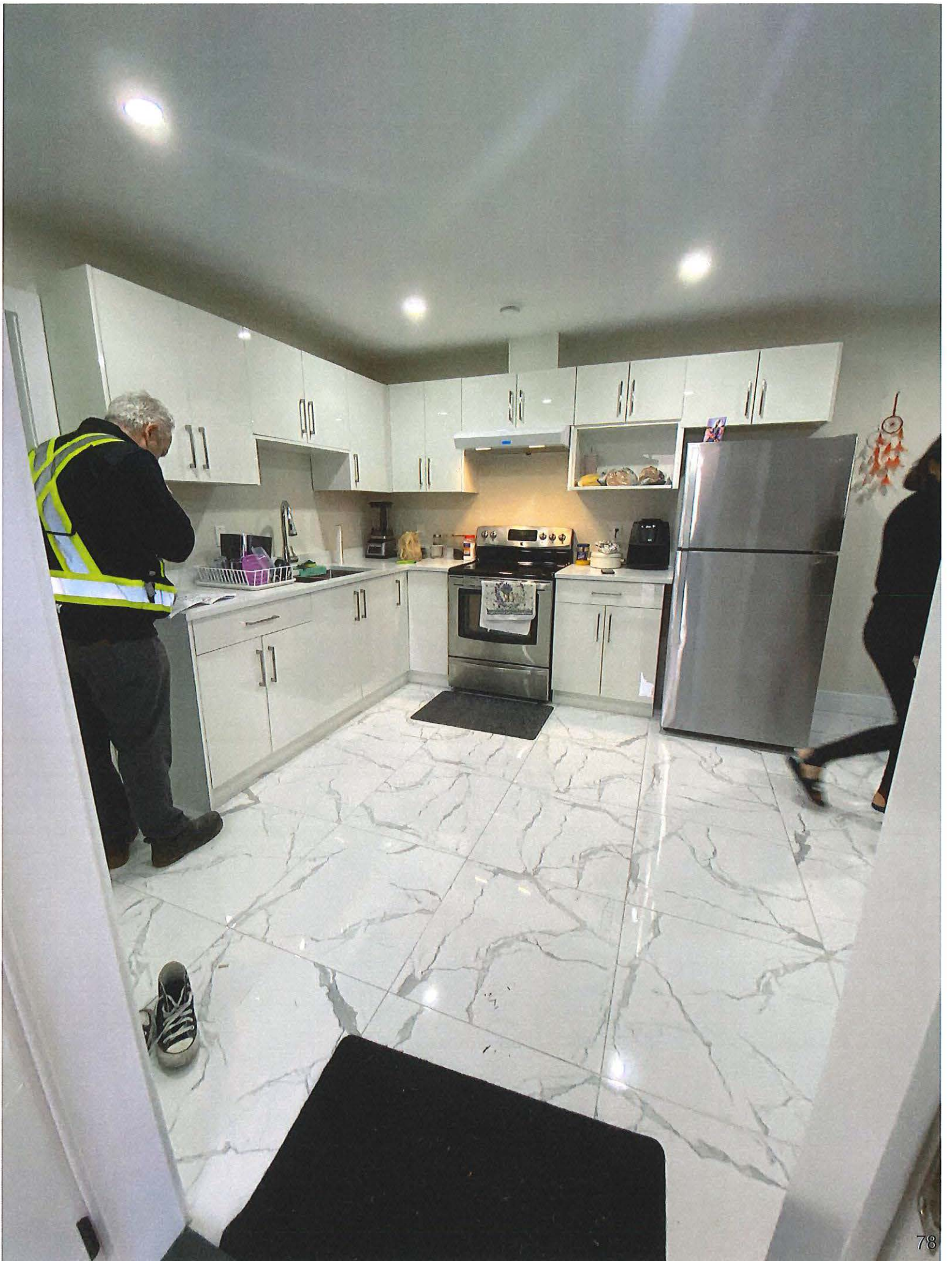
Photograph 19





Photograph 21





Photograph 23





Photograph 25

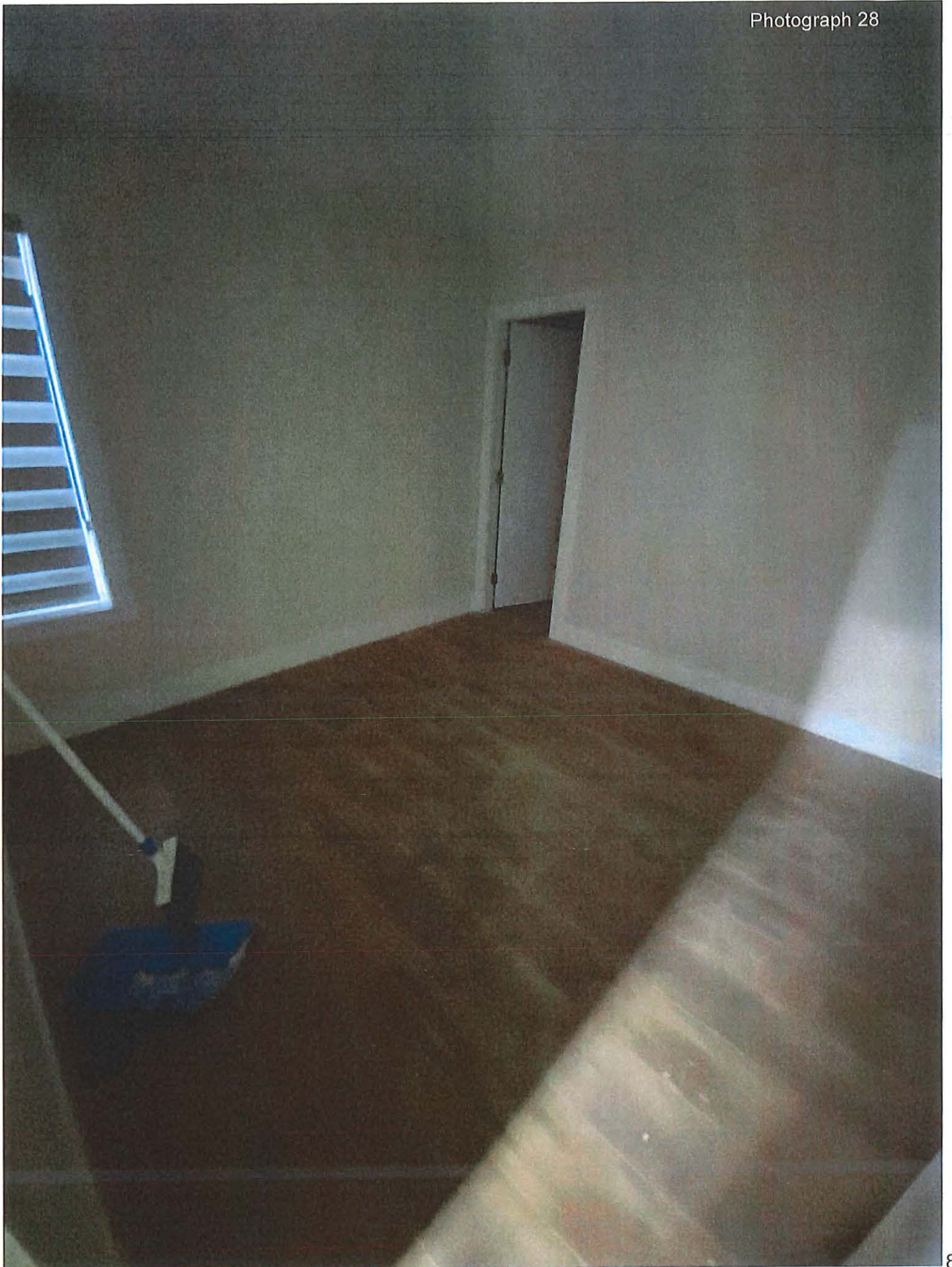




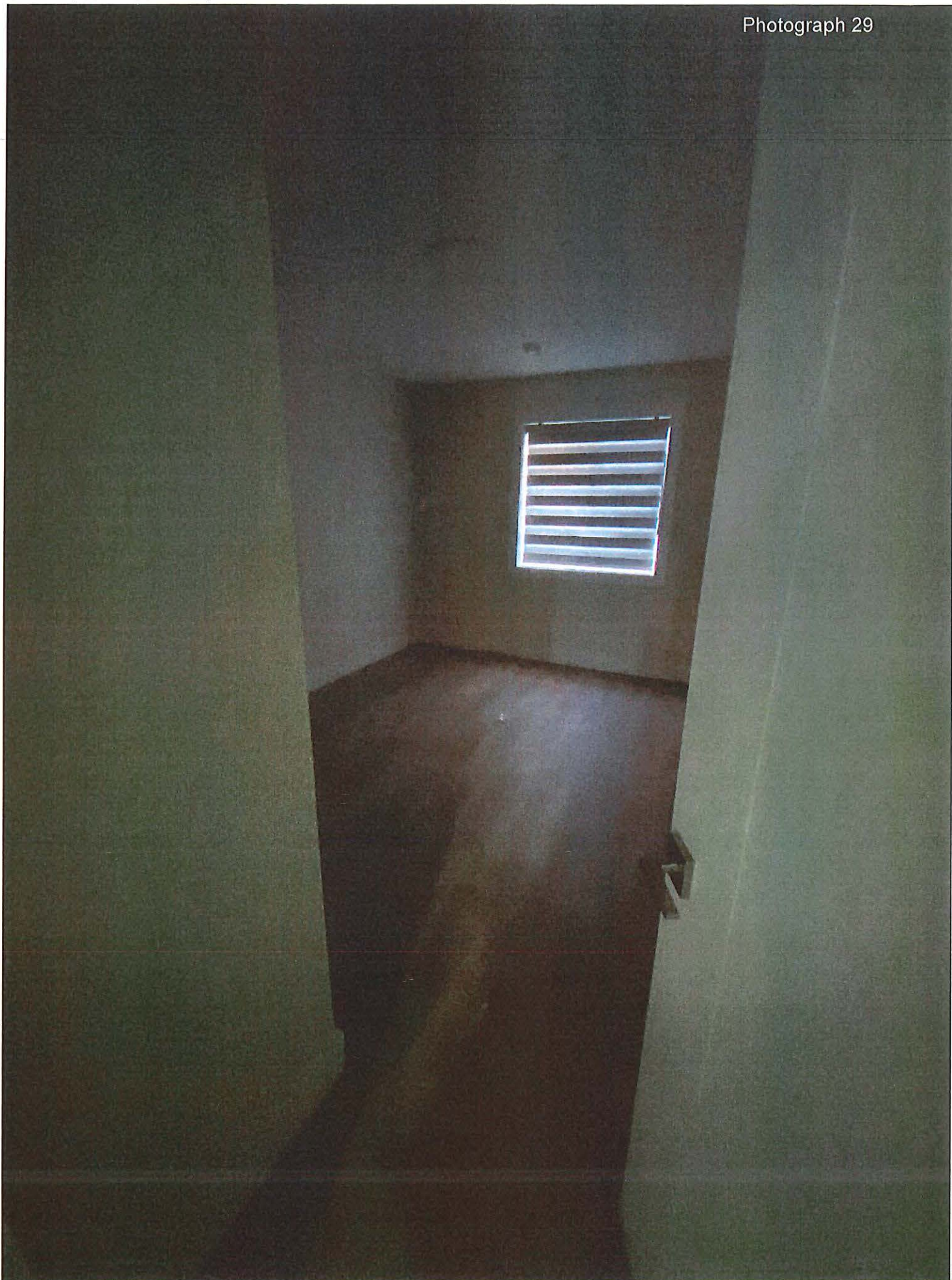
Photograph 27



Photograph 28



Photograph 29



Photograph 30







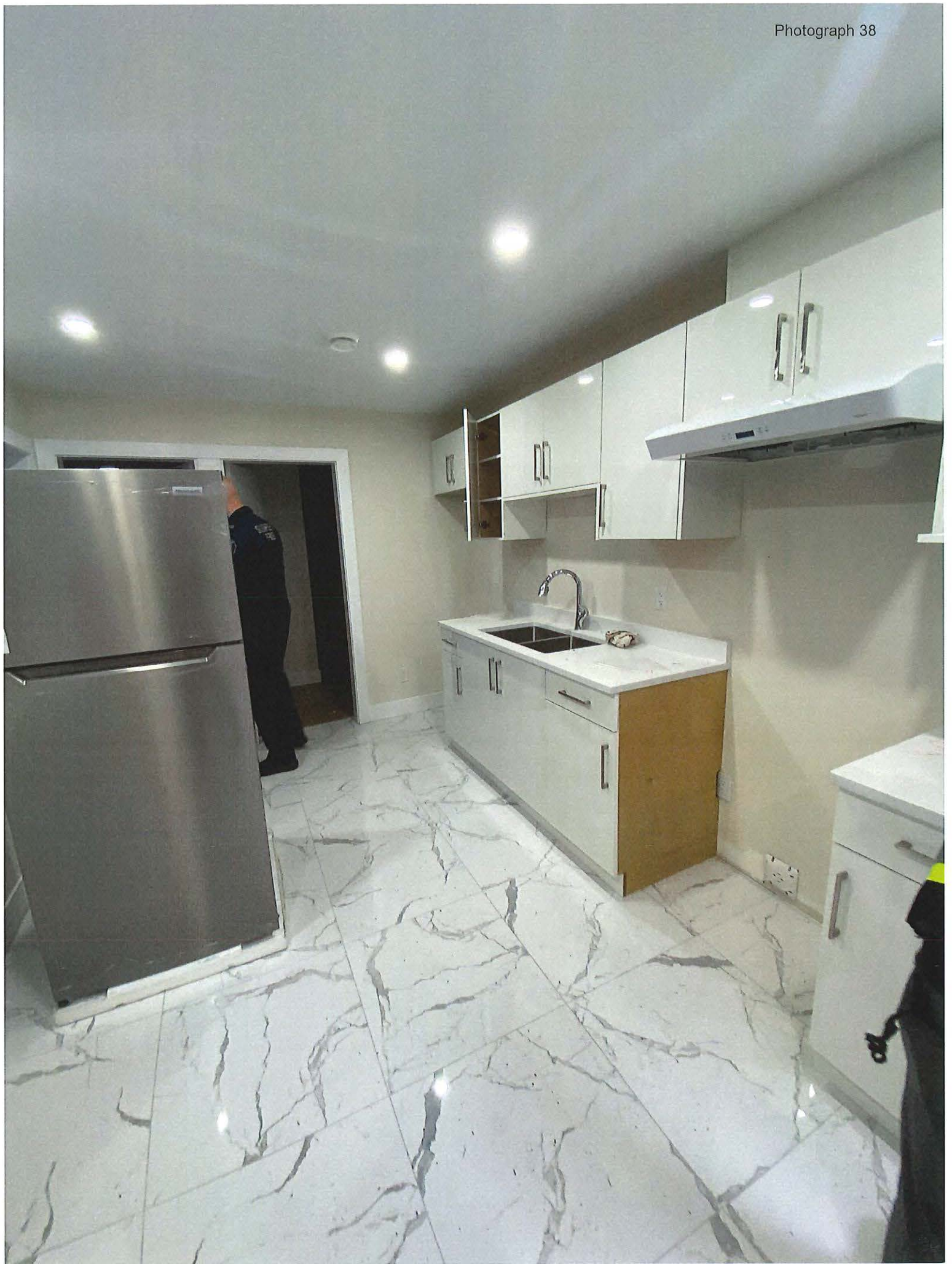






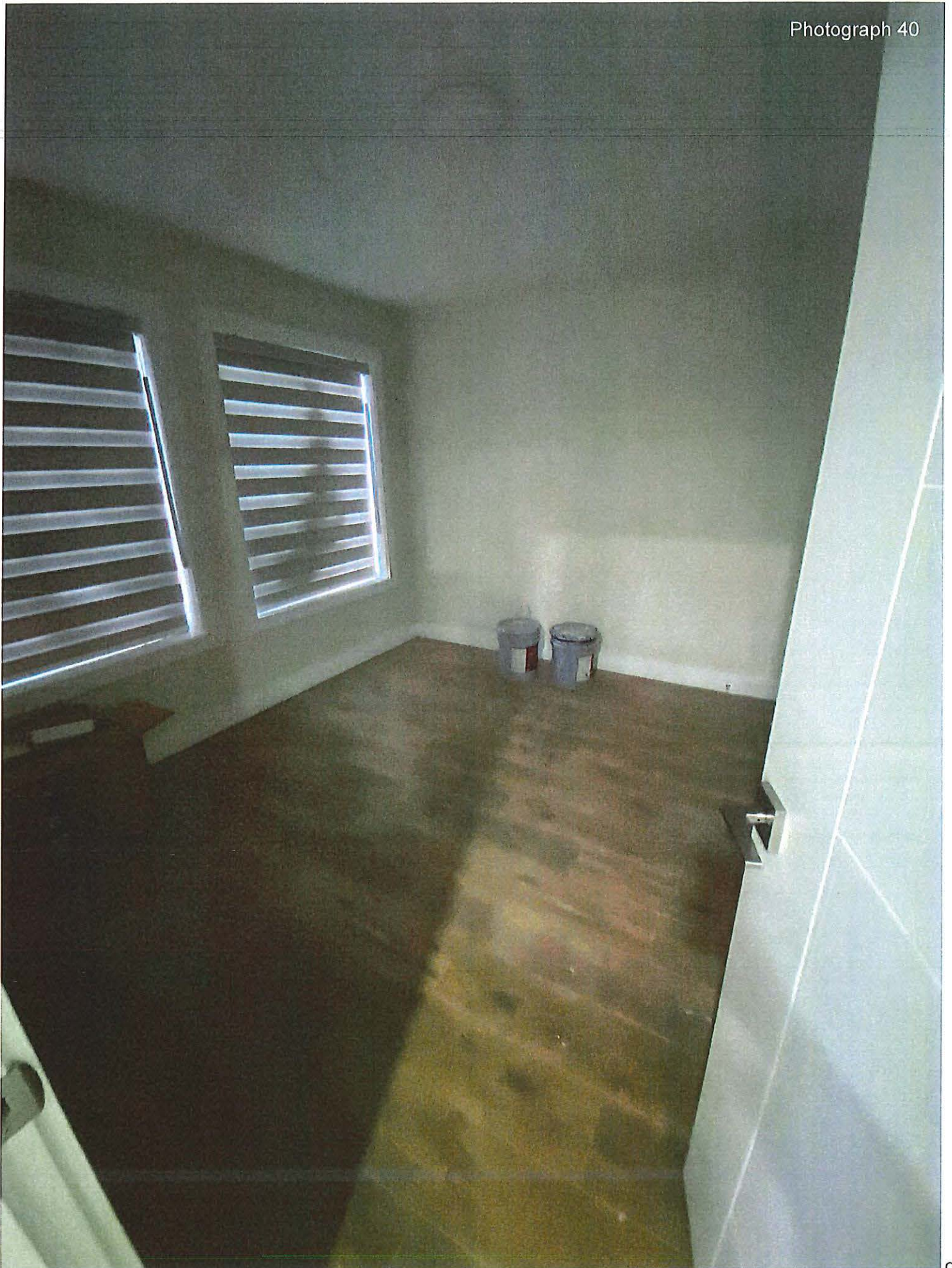






Photograph 39



















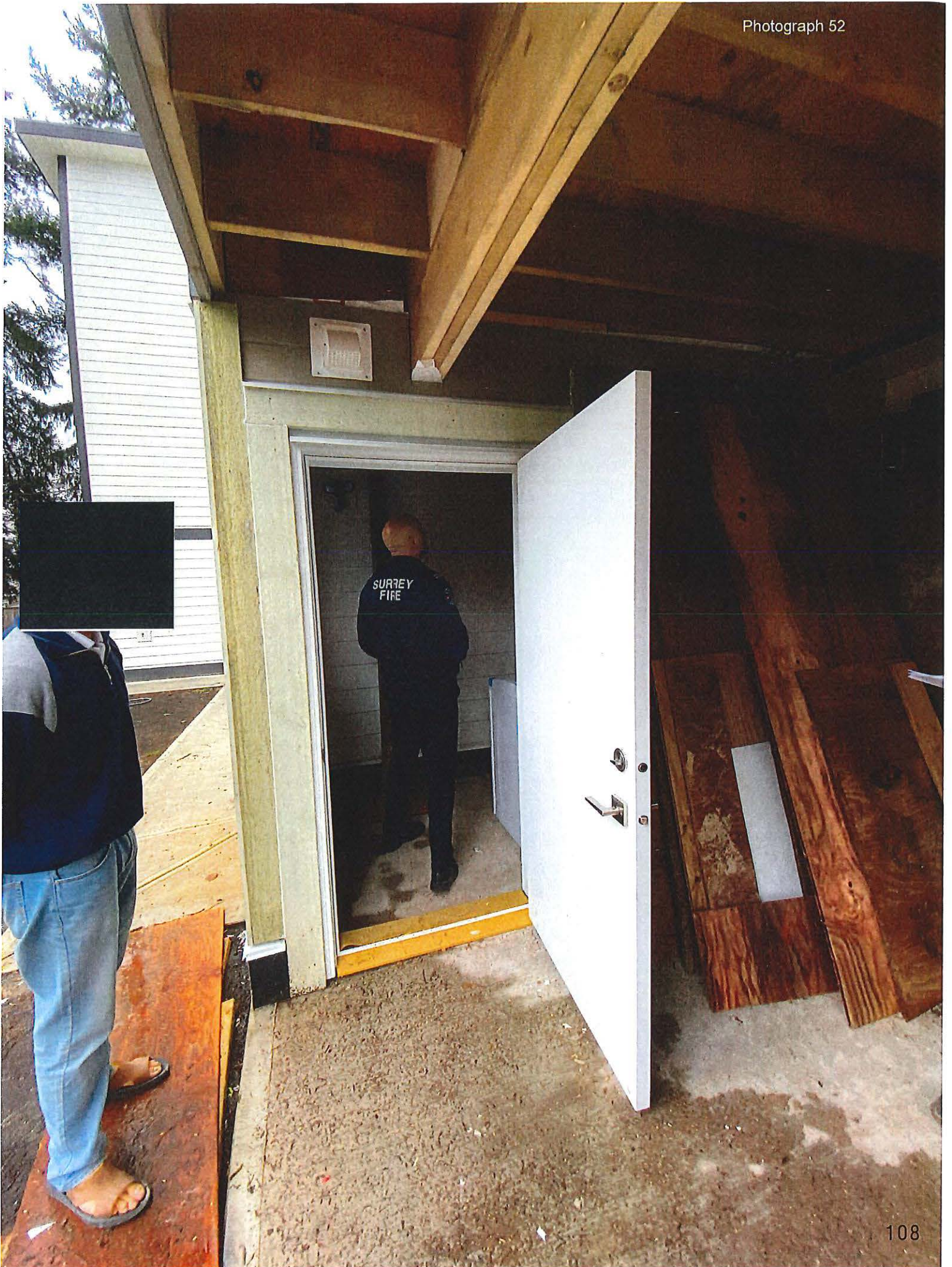
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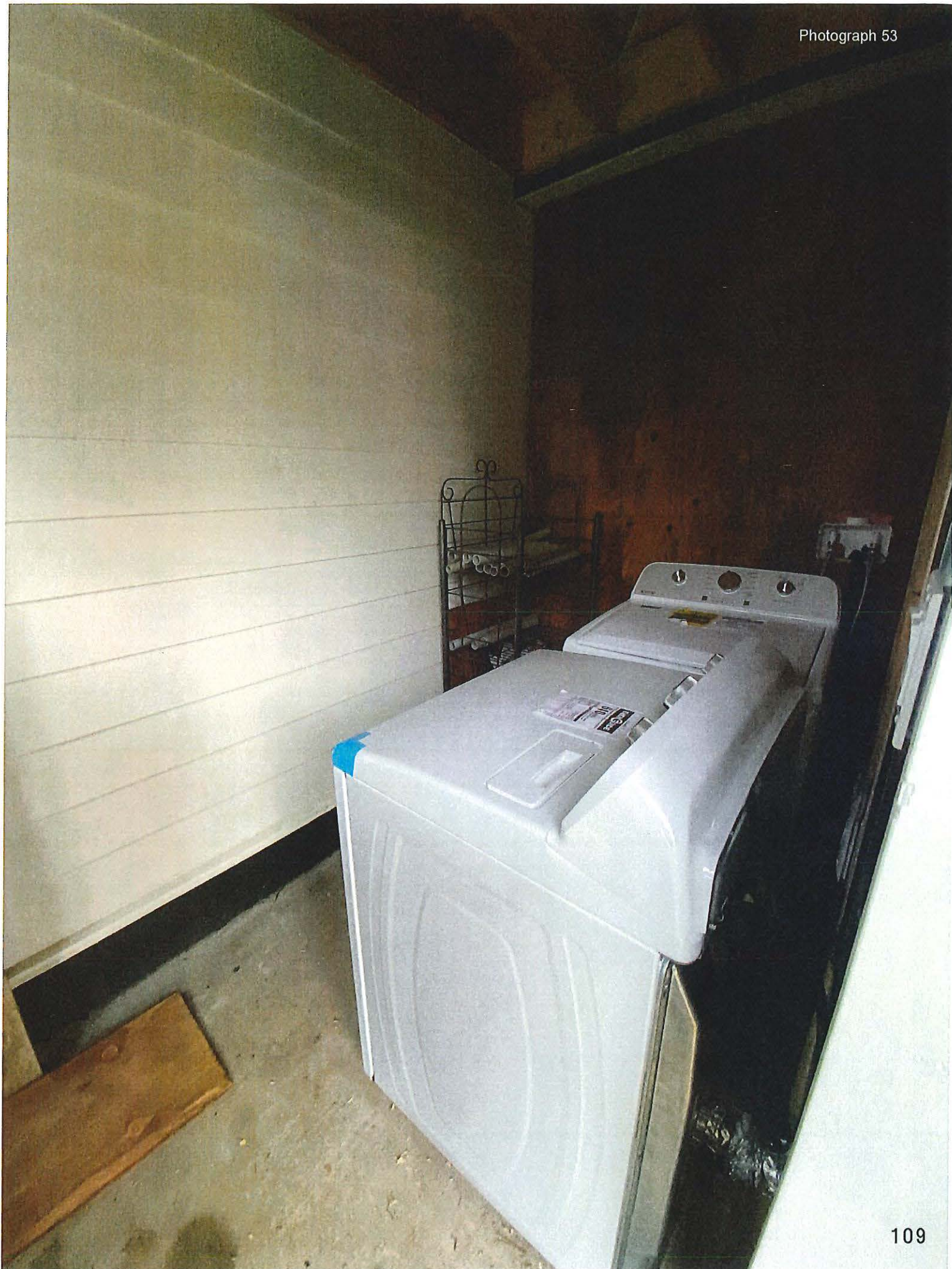




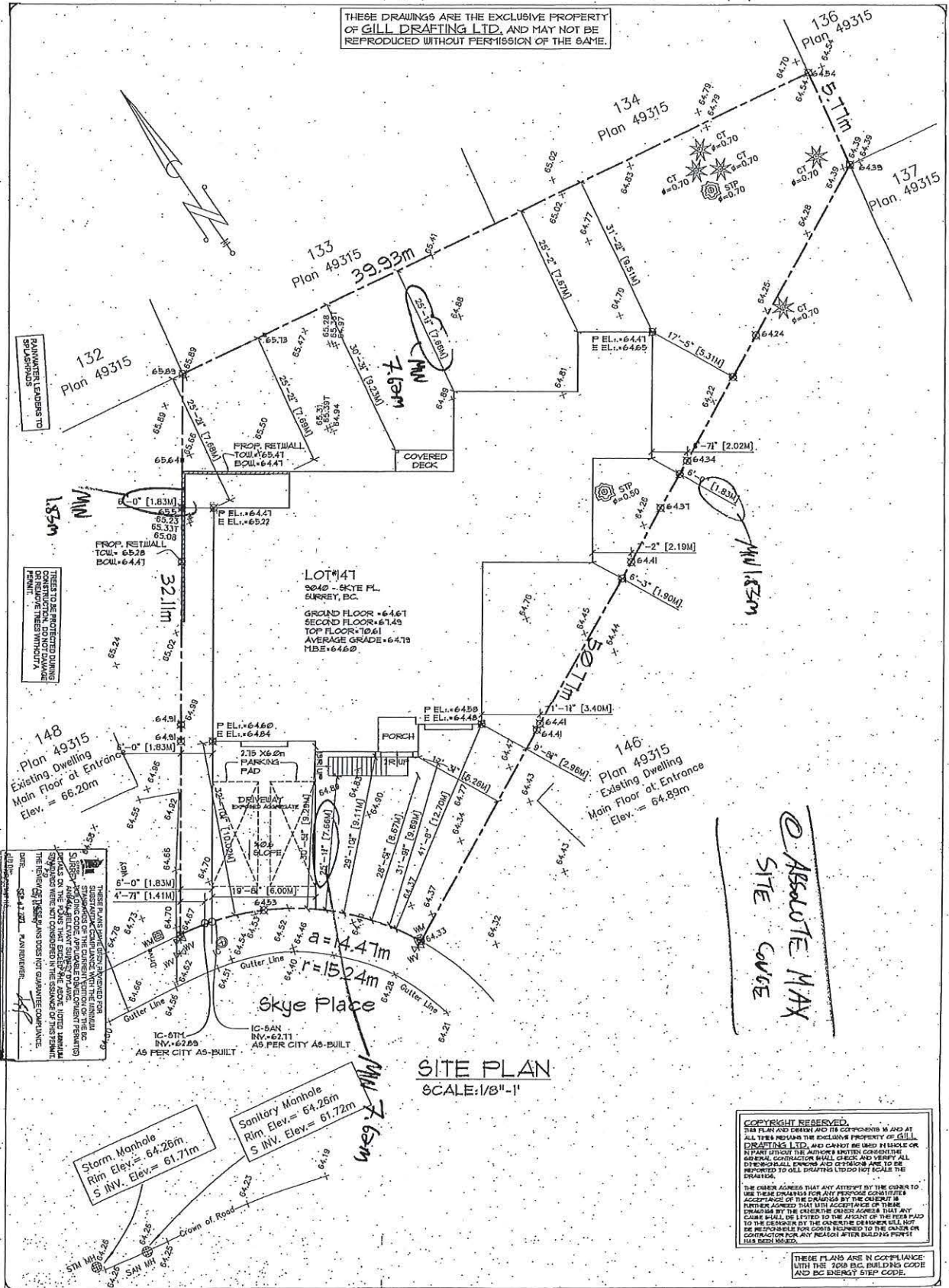








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SITE PLAN
SCALE: 1/8" = 1'

ABSOLUTE MAX
SITE CURVE

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THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

OWN:	KASRA
SCALE:	1/8" = 1'-0"
DATE:	04 MAY 2022
PROJ:	JPS
PHONE:	110-999-2511

PROPOSED RESIDENCE FOR GURPREET SINGH HEER
LOT 141 @ 3040 - SKYE PL.
SURREY, B.C.

DESIGNER ADDRESS:
GILL DRAFTING LTD.
SUITE 201 DESIGN CENTRE
4811 21ST ST W
SURREY, B.C. V0W 1K5
TEL: (604) 595-0000
FAX: (604) 595-0001
WEBSITE: WWW.GILLDRAFTING.COM



REVISIONS	BY
APR 2023	JPS

DRAWING NO.	GD22-4212
SHEET NO.	1 OF 11

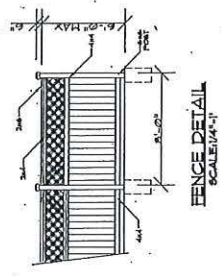
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NOTES:

1. ALL DIMENSIONS FOR WINDOWS AND DOORS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
2. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL BUILDING CODE.
3. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL ELECTRICAL CODE.
4. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL PLUMBING AND MECHANICAL CODE.
5. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL FIRE ALARMS AND SIGNALING CODE.
6. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL CANADIAN BUILT UP JOINTS CODE.
7. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL CANADIAN WOOD PRESERVATION CODE.
8. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL CANADIAN CONCRETE AND MASONRY CODE.
9. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL CANADIAN STEEL DECKING CODE.
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15. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL CANADIAN STEEL FABRICATION CODE.
16. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL CANADIAN STEEL ERECTION CODE.
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18. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL CANADIAN STEEL PAINTING CODE.
19. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL CANADIAN STEEL WELDING CODE.
20. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL CANADIAN STEEL WELDING QUALIFICATION CODE.

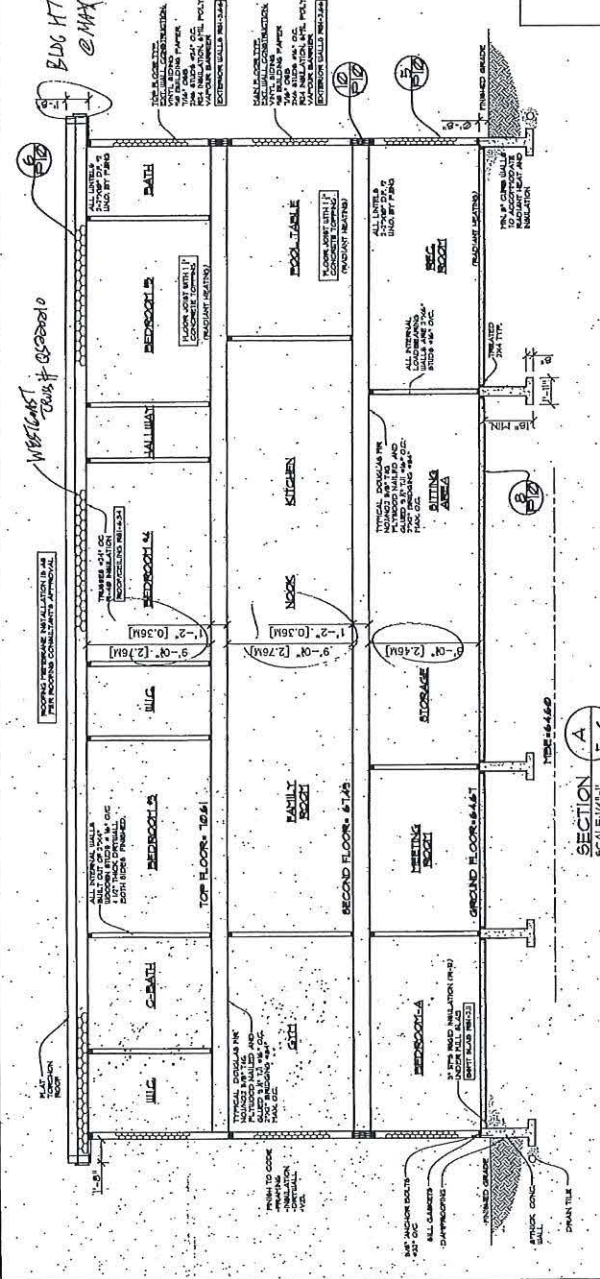
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20. ALL WORK SHALL CONFORM TO THE 2015 NATIONAL CANADIAN STEEL WELDING QUALIFICATION CODE.



BUILDING CHARACTERISTICS SUMMARY

Detail (Assembly/System) Type / Part Type / Ref.	Average Characteristic
Roof Ceiling Open Joist 2x10 @ 16" OC with 3/4" Insulation	R-19.0
Above Grade Walls 2x6 @ 16" OC with 3/4" Insulation	R-13.0
Basement Floor Header and Lintel 2x10 @ 16" OC with 3/4" Insulation	R-13.0
Basement Ceiling 2x10 @ 16" OC with 3/4" Insulation	R-13.0
Walls Below Grade 2x6 @ 16" OC with 3/4" Insulation	R-13.0
Floors 2x10 @ 16" OC with 3/4" Insulation	R-13.0
Slabs 8" - 12" BWS (Reinforced) (112) Under Slab and (18x23)	R-2.1
Windows and Glass Doors Double Glazed 60% Glazing (U=0.28) (SHGC=0.40)	U=0.28 SHGC=0.40
Doors Solid Core 2x4 @ 16" OC with 3/4" Insulation	R-5.0
AP/Berlin Systems Ceiling Acoustic Ceiling 1" Acoustic Ceiling	0.90
Space Heating/Cooling Radiant Heating Radiant Heating	0.90
Domestic Hot Water Water Heating Water Heating	0.90
Ventilation Mechanical Mechanical	0.90
Other Mechanical Mechanical	0.90
Fossil Fuels Mechanical Mechanical	0.90



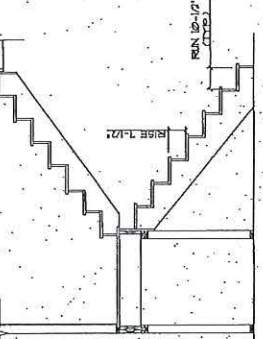
AREA:
TOTAL LOT AREA = 11800 SQFT.
TOTAL FLOOR AREA = 11800 SQFT.
ACTUAL FLOOR AREA = 11800 SQFT.

SITE COVERAGE:
TOTAL LOT AREA = 11800 SQFT.
ALLOUABLE SITE COVERAGE = 23% = 2714 SQFT.
ACTUAL SITE COVERAGE = 23% = 2714 SQFT.

DECK AREA:
MAIN FLOOR DECK AREA = 44 SQFT.
TOP FLOOR DECK AREA = 100 SQFT.
TOTAL DECK AREA = 144 SQFT.

ZONING: LUC

THESE PLANS HAVE BEEN PREPARED FOR SUBSTANTIAL COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF THE NATIONAL BUILDING CODE, NATIONAL ELECTRICAL CODE, NATIONAL PLUMBING AND MECHANICAL CODE, NATIONAL FIRE ALARMS AND SIGNALING CODE, NATIONAL CANADIAN BUILT UP JOINTS CODE, NATIONAL CANADIAN WOOD PRESERVATION CODE, NATIONAL CANADIAN CONCRETE AND MASONRY CODE, NATIONAL CANADIAN STEEL DECKING CODE, NATIONAL CANADIAN STEEL STRUCTURAL CODE, NATIONAL CANADIAN STEEL JOINTS CODE, NATIONAL CANADIAN STEEL BRACING CODE, NATIONAL CANADIAN STEEL CONNECTIONS CODE, NATIONAL CANADIAN STEEL DESIGN CODE, NATIONAL CANADIAN STEEL FABRICATION CODE, NATIONAL CANADIAN STEEL ERECTION CODE, NATIONAL CANADIAN STEEL INSULATION CODE, NATIONAL CANADIAN STEEL PAINTING CODE, NATIONAL CANADIAN STEEL WELDING CODE, NATIONAL CANADIAN STEEL WELDING QUALIFICATION CODE.



STAIR DETAIL
SCALE: 1/2" = 1'-0"

RECEIVED
JUL 11 2023
DRAWING NO.
GD22-4212

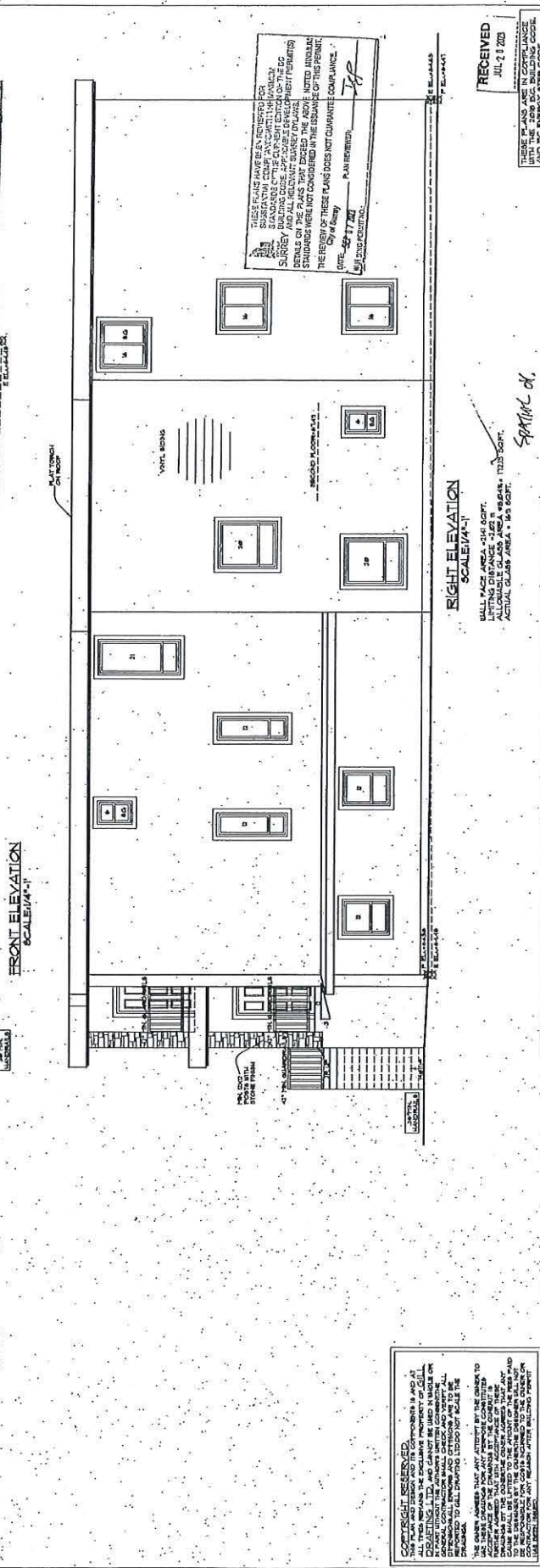
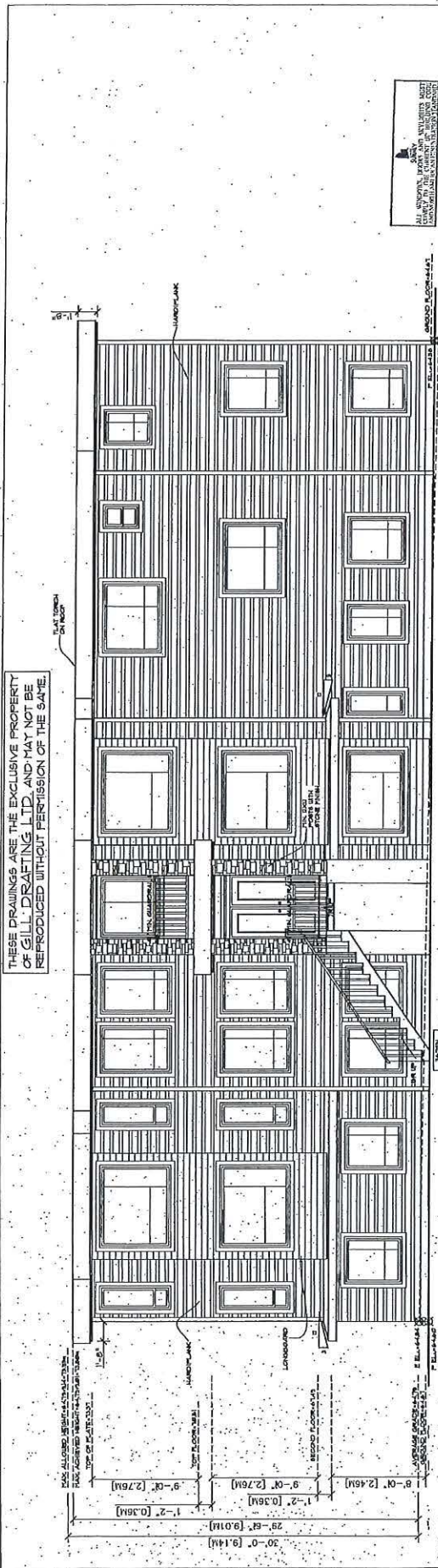
NO.	REVISION	DATE	BY	CHKD.
1	AS NOTED	2023		
2	DATE	2023		
3	DATE	2023		
4	DATE	2023		

PROJECT NAME
PROPOSED RESIDENCE FOR
GURPREET SINGH JHEER
LOT # 1, # 2040 - 5KITE PL.
SURREY, B.C.

DESIGNER ADDRESS:
GILL DRAFTING LTD.
SUITE 100, 10000 164TH AVE.
SURREY, B.C. V4N 1S6
TEL: (604) 593-4800
FAX: (604) 593-4800
WWW.GILLDRAFTING.COM



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THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE BC BUILDING ACT AND THE BC BUILDING CODE. THE REVIEWER'S SIGNATURE AND SEAL ARE NOT VALID UNLESS THEY ARE ACCOMPANIED BY THE SIGNATURE AND SEAL OF THE REGISTERED PROFESSIONAL ENGINEER. THE REVIEWER'S SIGNATURE AND SEAL ARE NOT VALID UNLESS THEY ARE ACCOMPANIED BY THE SIGNATURE AND SEAL OF THE REGISTERED PROFESSIONAL ENGINEER.

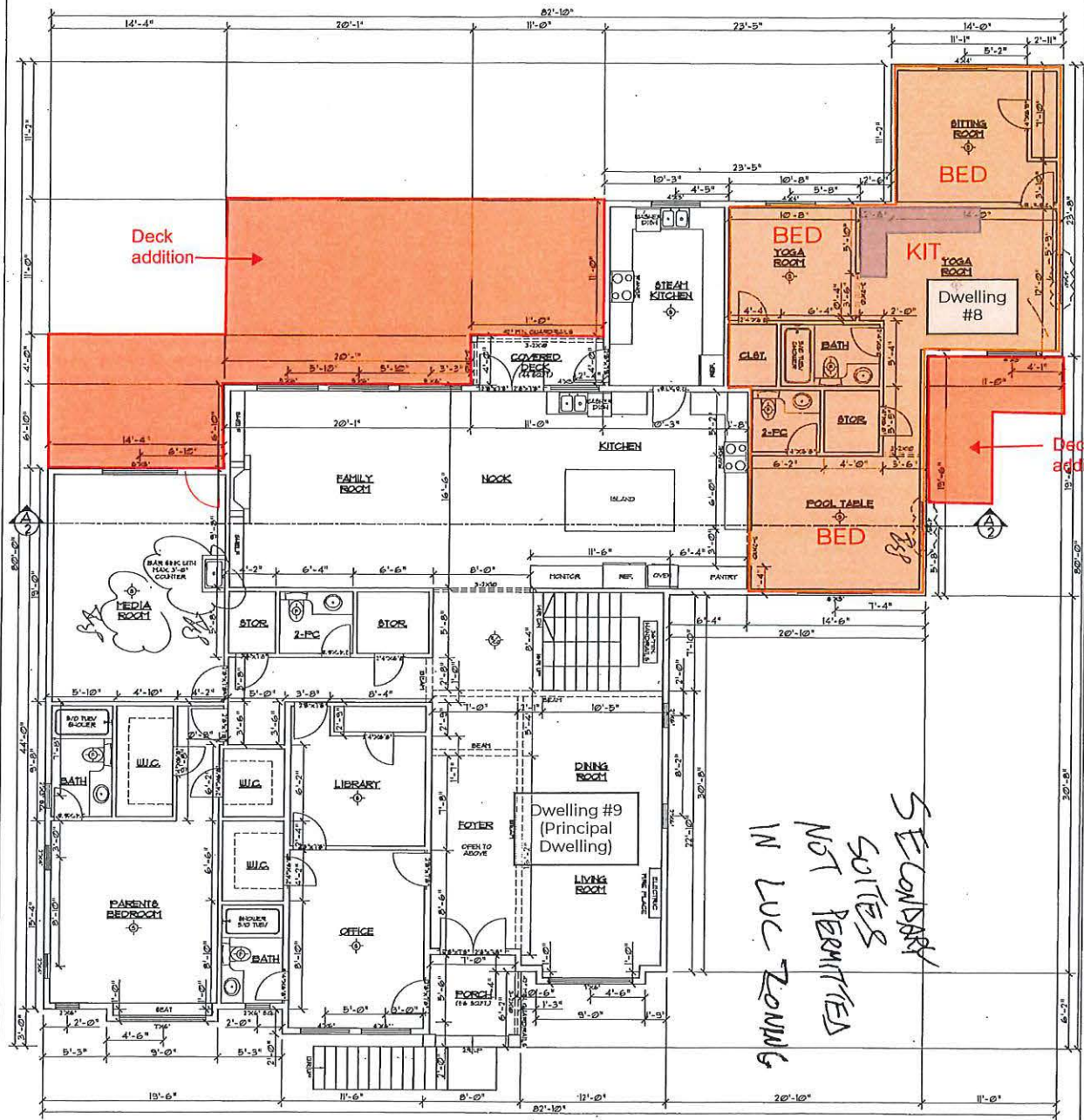
DATE: 25-11-2021
REGISTERED PROFESSIONAL ENGINEER: JFF

RECEIVED
JUL 21 2022
THERE ARE NO COSTS ASSOCIATED WITH THIS PERMIT AND NO ENERGY STAR CODE.

PROJECT NAME	PROPOSED RESIDENCE FOR GURPREET SINGH BEER LOT#41, 8040 - 65TH PL. SURREY, B.C.																																
REVISION	BY LEGAL DESCRIPTION																																
APR. 2023 JPS																																	
REV.	DATE	BY	DESCRIPTION																														
1	24 MAY 2022	JPS	AS NOTED																														
2																																	
3																																	
<table border="1"> <tr> <td>PROJ. NO.</td> <td>KARSA</td> <td>SHEET NO.</td> <td>3 OF 11</td> <td>DRAWING NO.</td> <td>GD22-4212</td> </tr> <tr> <td>SCALE</td> <td>AS NOTED</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>DATE</td> <td>24 MAY 2022</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>DESIGNER</td> <td>JPS</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>PHONE</td> <td>778-925-9511</td> <td></td> <td></td> <td></td> <td></td> </tr> </table>				PROJ. NO.	KARSA	SHEET NO.	3 OF 11	DRAWING NO.	GD22-4212	SCALE	AS NOTED					DATE	24 MAY 2022					DESIGNER	JPS					PHONE	778-925-9511				
PROJ. NO.	KARSA	SHEET NO.	3 OF 11	DRAWING NO.	GD22-4212																												
SCALE	AS NOTED																																
DATE	24 MAY 2022																																
DESIGNER	JPS																																
PHONE	778-925-9511																																
		DESIGNER ADDRESS: GILL DRAFTING LTD. 10100 151ST AVE. SURREY, BC V3V 3E9 TEL: (604) 545-6888 FAX: (604) 545-6889 WEBSITE: WWW.GILLDRAFTING.COM																															

Gill Drafting Ltd.

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SEE CONDARY
SUITES
NOT PERMITTED
IN LUC ZONING

MAIN FLOOR
SCALE 1/4"=1'

MAIN FLOOR AREA = 3491 SQFT.

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LEGEND

- SMOKE ALARM 1
- GASHELD HANDRAIL (CO) ALARM 1
- SMOKE ALARM 1
- FLOOR DRAIN
- FAN

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

DATE	KABRA
SCALE	1/4"=1'-0"
DATE	04 MAY 2022
CHECK	JPS
PHONE	718-995-2511

PROPOSED RESIDENCE FOR
GURPREET SINGH HEER
LOT#41 @ 9040 - SKYE PL.
SURREY, BC

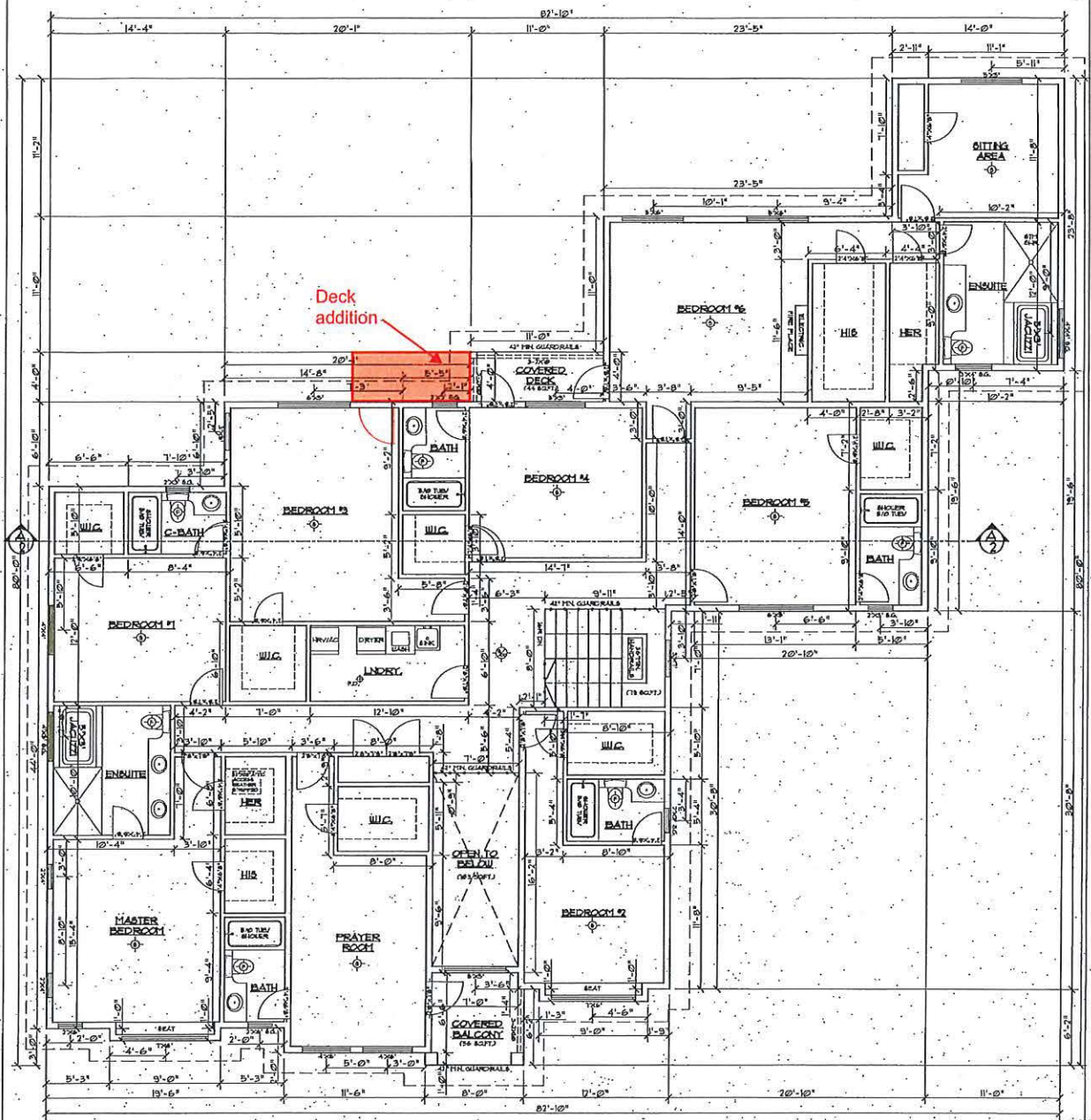
DESIGNER ADDRESS:
GILL DRAFTING LTD.
SURVEY DESIGN CENTRE
UNIT 01, 8815-16 AVE.
SURREY, B.C. V3W 1Z6
TEL: (604) 339-8188
FAX: (604) 339-8331
WEBSITE: GILLDRAFTING.COM



REVISIONS	BY
APR 2023	JPS

DRAWING NO.	GD22-4212
SHEET NO.	5 OF 11

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Deck addition

TOP FLOOR
SCALE: 1/4" = 1'-0"

TOP FLOOR AREA = 342 SQ. FT.
OPEN AREA = 129/115/188 SQ. FT.
NET TOP FL. AREA = 3383 SQ. FT.

- LEGEND**
- SMOKE ALARM 1
 - CARBON MONOXIDE (CO) ALARM
 - SMOKE ALARM
 - FLOOR DRAIN
 - FAN

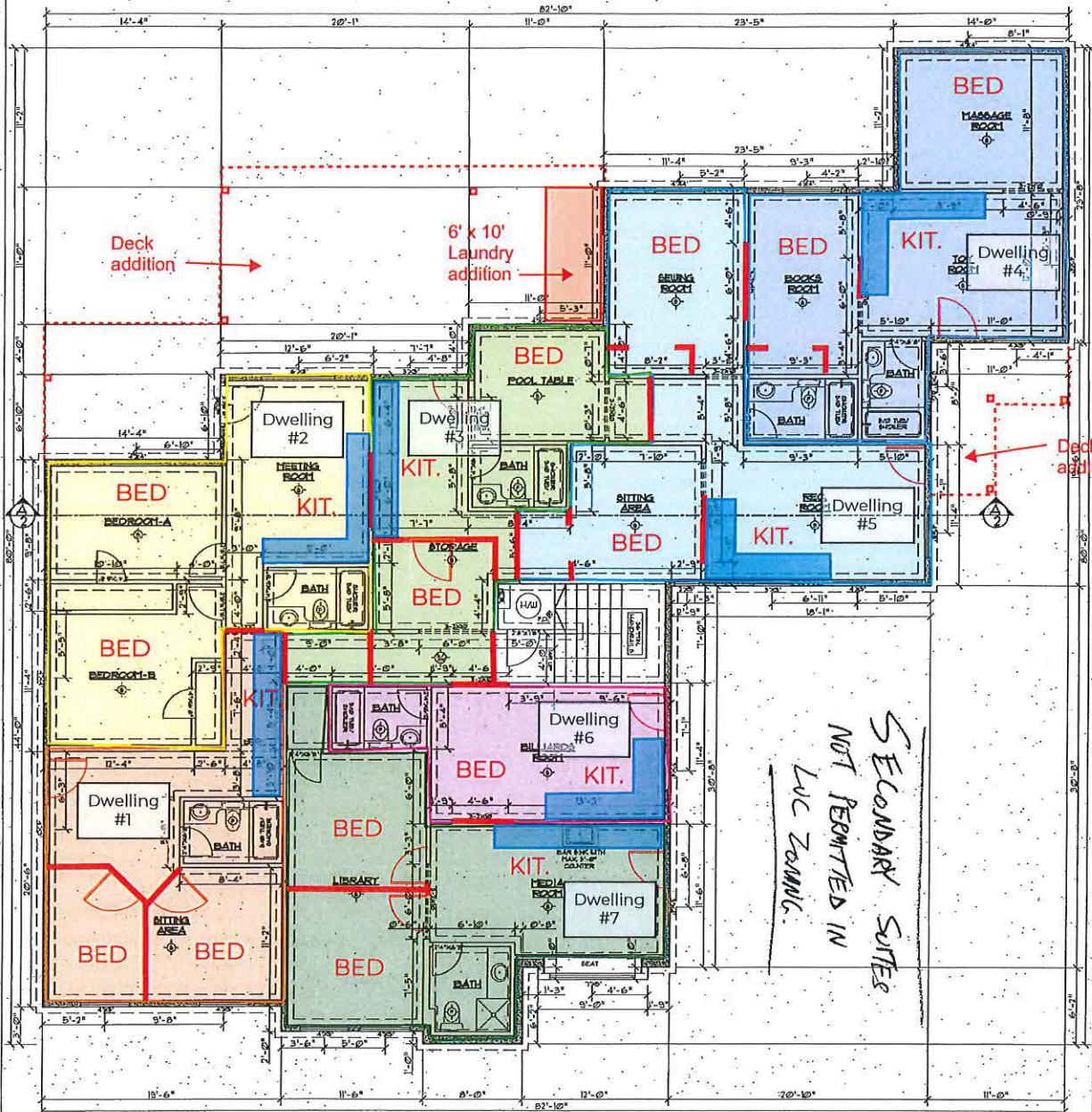
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THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND BC ENERGY STEP CODE.

CDR: KASRA SCALE: 1/4" = 1'-0" DATE: 04 MAY 2022 CHKD: JPS PHONE: 718-993-2571	PROJECT NAME: PROPOSED RESIDENCE FOR GURPREET SINGH HEER LOT #41 @ 9040 - SKYE PL. SURREY, BC	DESIGNER ADDRESS: GILL DRAFTING LTD. SUITE 2030 CENTRE UNIT 20, 8211-26 AVE. SURREY, B.C. V3W 2E8 TEL: (604) 593-8266 FAX: (604) 593-8263 EMAIL: INFO@GILLDRAFTING.COM		REVISIONS: APR 2023 JPS	BY: JPS	DRAWING NO. GD22-4212 SHEET NO. 6 OF 11
--	---	---	--	----------------------------	------------	--

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BASEMENT & FDN FLOOR
SCALE: 1/4" = 1'-0"

BASEMENT FLOOR AREA = 3991 SQ.FT.

LEGEND

- ⊕ SMOKE ALARM & CARBON MONOXIDE (CO) ALARM
- ⊕ SMOKE ALARM
- FD FLOOR DRAIN
- ⊕ FAN

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THESE PLANS ARE IN COMPLIANCE WITH THE 2018 B.C. BUILDING CODE AND B.C. ENERGY STEP CODE.

DWG: KASRA SCALE: 1/4" = 1'-0" DATE: 04 MAY 2022 DRW: JPS PHONE: 718-858-2911	PROJECT NAME: PROPOSED RESIDENCE FOR: GURPREET SINGH HEER 01M41 @ 3040 - SKYE PL. SURREY, BC	DESIGNER ADDRESS: GILL DRAFTING LTD. SURREY DESIGN CENTRE 1057 125 5911-16 AVE. SURREY, B.C. V2R 8K4 TEL: (604) 595-6588 FAX: (604) 595-6833 WEBSITE: 185545LEDDRAFTING.COM		REVISIONS AFR 2023 JPS	BY JPS	DRAWING NO. GD22-4212 SHEET NO. 1 OF 11
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PHILIP C.M. HUYNH, City Solicitor
 MAUREEN ST. CYR, Assistant City Solicitor
 KELLY RAYTER, Assistant City Solicitor
 BENJIE LEE, Assistant City Solicitor
 HUGH CAMPBELL, Assistant City Solicitor
 ALLAN WU, Assistant City Solicitor
 GUILLERMO FLORES, Assistant City Solicitor
 WASSAN AUJLA, Assistant City Solicitor
 KOMAL GILL, Assistant City Solicitor
 ALISHA O'NEILL, Assistant City Solicitor

Our File: 2435-20-007
 Direct Line: (604) 591-4159

December 20, 2024

DELIVERED BY HAND

Gurpreet Singh Heer
 9040 Skye Place
 Surrey BC V3V 6T6

Navneet Kaur Heer
 9040 Skye Place
 Surrey BC V3V 6T6

Dear Sir/Madam

Re: Unpermitted Construction at 9040 Skye Place, Surrey, BC (the "Property")

I am a lawyer with the City of Surrey (the "City") and am writing on behalf of the City concerning bylaw violations at the Property noted above.

As you have been advised by City staff, the additions and deck at the rear of the Property and the multiple exterior entrances that you have constructed on the Property (the "Works") are not permitted as they have been constructed without a valid building permit. Additionally, the Works are currently being occupied without an occupancy permit. Both the unpermitted construction and the unpermitted occupancy violate the Surrey Building Bylaw, 2012, No. 17850 (the "Building Bylaw").

Furthermore, the house on the Property contains more secondary suites than permitted by the Surrey Zoning By-law, 1993, No. 12000 (the "Zoning Bylaw"). The Property is zoned R3-Urban Residential Zone. This zoning only permits one secondary suite.

Please be advised that staff will be scheduling a hearing at a future Council Meeting, in which staff will recommend that Council make a resolution to file a notice in the land title office regarding the Works, pursuant to Section 57 of the *Community Charter* to notify third parties of the unpermitted works. The notice would be accessible by the public, including lenders and potential purchasers of the Property. You will be invited to the hearing to make submissions.

If you wish to avoid the hearing before Council, you are required to take the following steps:

1. Submit a permit application to the City's Building Division for the demolition of the Works, along with all required documents, information, fees, and deposits, as required by the Building Bylaw, by no later than **January 10, 2025**;
2. Immediately cease all unauthorized occupation of the Works; and
3. Immediately cease the use and occupation of all unpermitted secondary suites.

If you have any questions regarding the above steps, you may contact the City's Building Division at:

Trevor Welsh, Director, Building Division
Tel. 604.591.4541
Email: trevor.welsh@surrey.ca

Once the above steps have been taken, you will also be expected to demolish the Works in a timely manner in accordance with any permits issued by the City. If the City is satisfied that you are making substantial and good faith efforts towards compliance with the City's bylaws, including demolition of the Works, the City may defer the above noted Council hearing to allow you time to voluntarily comply.

We strongly urge you to obtain independent legal representation regarding this matter. We do not protect your interests and do not in any way act on your behalf or in your interests.

Yours truly,



Komal Gill
Assistant City Solicitor
/ldd



CITY OF SURREY
PLANNING & DEVELOPMENT DEPARTMENT
BUILDING DIVISION
 13450 – 104 Avenue, Surrey, BC V3T 1V8

BUILDING PERMIT APPLICATION NO.: B _____ - _____

Check all that are applicable. Other includes Fire Damage Repair, Storage Tank, Parking Lot, Antenna and Special Structure.

- New Building Addition Exterior Renovation Tenant Improvement
 Landlord Improvement Demolition Change of Use Other _____

Project Address:

9040 SKYE PL.

Description of Proposed Work:

A precise description will speed processing and minimize the possibility of a delay in the plan review.

Demolition of Deck at rear of property.
 Close Exterior entrances.

Trees: Yes No

Signature:

Registered User No.:

Construction Value: \$ 0.00

Is this, or was this building developed through the Certified Professional Program? Yes No

Proposed Use (i.e., Single Family Dwelling, Townhouse, Restaurant, Retail store, Warehouse, Office):

Any other buildings on same lot? Yes No If yes, used for:

Is building strata titled? Yes No In process of being strata titled.

Applicant:

GURPREET HEER

Tel: () -

Address:

9040 SKYE PL. SURREY

Cell: (778) 999-2577

Postal Code:

V3V 6T6

Email:

gurpreet332@hotmail.com

Fax: () -

Property Owner:

GURPREET HEER

Tel: () -

Address:

9040 SKYE PL.

Cell: (778) 999-2577

Postal Code:

V3V 6T6

Email:

gurpreet332@hotmail.com

Fax: () -

Tenant/Business Name:

Tel: () -

Address:

Cell: () -

Postal Code:

Email:

Fax: () -

Designer/Architect:

Tel: () -

Address:

Cell: () -

Postal Code:

Email:

Fax: () -

Builder/General Contractor:

Tel: () -

Address:

Cell: () -

Postal Code:

Email:

Fax: () -

As Owner or as Agent on behalf of the Owner I have instructions to and I do certify that I have read and understand the release of liability, waiver of claims and indemnity provisions that are contained on the reverse side of the application and by signing this application I agree to all terms contained therein. I am aware that by signing this application I am waiving certain legal rights which I, or a party on whose behalf I act, may otherwise have against the City of Surrey. I have checked the title of this property and verify that there are no encumbrances or restrictions against the property that would prevent the requested building permit being issued. I am aware that this building permit application shall become void after six months from application date unless an extension has been requested in writing and granted in writing by the Manager, Building Division or designate.

Applicant Signature:

Print Name:

GURPREET HEER

Personal information is collected for the purposes of processing your building permit application. The City of Surrey is collecting this information under s.26(c) of the *Freedom of Information and Protection of Privacy Act*. For questions regarding the collection of personal information, please contact the Customer Services Supervisor at planningdevelopment@surrey.ca or 604-591-4366.

OFFICE USE ONLY:

Is there any current application with the Planning Division that could prevent this building permit application from being accepted at this time? Yes No

Project Address:

Map No.:

Legal:

Zone:

DP No.:

App'd: Yes No

DVP No.:

App'd: Yes No

Sub. Div. No.:

App'd: Yes No

Rezone No.:

App'd: Yes No

LUC No.:

Comments:

Completed by:

P.O.S. No.:

Date:

Received by:

From: [Wonfor, Jessica](#)
To: [REDACTED]
Subject: RE: 9040 Skye Place
Date: January 17, 2025 10:26:00 AM
Attachments: [image001.png](#)

Good morning,

Further to my email below, I wanted to clarify that we have identified eight secondary suites constructed within the house, not nine. Please ensure the removal of eight secondary suites is reflected in the building permit application.

Regards,

JESSICA WONFOR, BTech, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

CITY OF SURREY

Planning & Development, Building Division
 13450 104th Ave, Surrey, BC, Canada V3T 1V8
 T 604.591.4218 | www.surrey.ca

From: Wonfor, Jessica
Sent: January 13, 2025 11:40 AM
To: [REDACTED]
Subject: 9040 Skye Place
Importance: High

Dear Mr. Heer,

I am writing regarding the building permit application for demolition that you have submitted for the property located at 9040 Skye Place (the "Property").

Upon reviewing the unpermitted construction at the Property, it has been identified that nine unpermitted secondary suites have also been constructed within the house. These suites must also be removed, and the house restored to a state that complies with the British Columbia Building Code, the City's Bylaws and all and any other applicable codes and enactments. To address this, you must also apply to restore the Property.

Please resubmit a building permit application that requests the following:

- the removal of the nine unpermitted secondary suites, the demolition of the unpermitted rear decks, and the removal of the unpermitted exterior entrances; and
- restoring the house to a state that complies with the British Columbia Building Code, the City's Bylaws and all and any other applicable codes and enactments.

If the house is to be restored to match the plans on file when the house was constructed, no

additional floor plans are required. If any modifications or layout changes are proposed, plans must be submitted showing the changes. A scope of work is required to outline in detail the steps required to bring the property into compliance. Additional documents and plans may be required once a detailed review has been completed.

Please provide us with the application form by **4:00 pm on January 23, 2025**. Once we receive and review the revised application form, we will inform you of the fees owing and any additional information required. Failure to do so will result in further enforcement action, including scheduling a hearing before Council pursuant to Section 57 of the *Community Charter*.

Regards,

JESSICA WONFOR, BTEch, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS



CITY OF SURREY

Planning & Development, Building Division
13450 104th Ave, Surrey, BC, Canada V3T 1V8
T 604.591.4218 | www.surrey.ca

Please consider the environment before printing this email.

From: [gurpreet singh](#)
To: [Wonfor, Jessica](#)
Subject: Re: 9040 Skye Place
Date: January 19, 2025 1:49:34 PM

Good Morning ,

I have talked with my Designer who did the plans for the house. He is going to do new plans with some changes to basement floor plans. Also I am going to close the extra doors that I have made. He needs some more time to do the updated plans. Please allow us to submit updated plans till 15 March 2025. I am also sending his phone number.

Gill Drafting Ltd
12877 76 Ave #211,
Surrey, BC V3W 1E6
Ph: 604-599-6886.

I want to work with the city to solve this issue.

Thank You for your consideration.

Regards,

Gurpreet Heer
[REDACTED]

From: Wonfor, Jessica <Jessica.Wonfor@surrey.ca>

Sent: Friday, January 17, 2025 10:26:53 AM

To: [REDACTED]

Subject: RE: 9040 Skye Place

Good morning,

Further to my email below, I wanted to clarify that we have identified eight secondary suites constructed within the house, not nine. Please ensure the removal of eight secondary suites is reflected in the building permit application.

Regards,

JESSICA WONFOR, BTECH, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

CITY OF SURREY

Planning & Development, Building Division
13450 104th Ave,

From: [Wonfor, Jessica](#)
To: [gurpreet singh](#)
Subject: RE: 9040 Skye Place
Date: January 22, 2025 5:48:00 PM

Hello Mr. Heer,

The City is agreeable to providing you an extension until 4:00 PM on **January 29, 2025**, to resubmit the building permit application, together with any accompanying plans. Failure to do so will result in further enforcement action, including scheduling a hearing before Council pursuant to Section 57 of the *Community Charter*.

Regards,

JESSICA WONFOR, BTech, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

CITY OF SURREY

Planning & Development, Building Division
13450 104th Ave, Surrey, BC, Canada V3T 1V8
T 604.591.4218 | www.surrey.ca

From: [REDACTED]
Sent: January 19, 2025 1:50 PM
To: Wonfor, Jessica <Jessica.Wonfor@surrey.ca>
Subject: Re: 9040 Skye Place

Good Morning ,

I have talked with my Designer who did the plans for the house. He is going to do new plans with some changes to basement floor plans. Also I am going to close the extra doors that I have made. He needs some more time to do the updated plans. Please allow us to submit updated plans till 15 March 2025. I am also sending his phone number.

Gill Drafting Ltd
12877 76 Ave #211,
Surrey, BC V3W 1E6
Ph: 604-599-6886.

I want to work with the city to solve this issue.
Thank You for your consideration.

Regards,
Gurpreet Heer

From: Wonfor, Jessica <Jessica.Wonfor@surrey.ca>

Sent: Friday, January 17, 2025 10:26:53 AM

To: [REDACTED]

Subject: RE: 9040 Skye Place

Good morning,

Further to my email below, I wanted to clarify that we have identified eight secondary suites constructed within the house, not nine. Please ensure the removal of eight secondary suites is reflected in the building permit application.

Regards,

JESSICA WONFOR, BTech, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

CITY OF SURREY

Planning & Development, Building Division
13450 104th Ave,

Re: Counsel for the Building Inspector's Response to Mr. Heer's Email dated March 26, 2025

Counsel for the Building Inspector, Komal Gill, would like to clarify a few points that have been raised by Mr. Heer in his email dated March 26, 2025, to Council:

- On January 22, 2025, Ms. Wonfor provided Mr. Heer with an extension until January 29, 2025, to resubmit the building permit application, together with any accompanying plans. She informed Mr. Heer that the failure to do so would result in enforcement action. On January 29, 2025, Mr. Heer's designer, Jatinder Pal Singh Gill, requested an extension until February 17, 2025, to submit revised plans. The following day, Ms. Wonfor informed both Mr. Heer and Mr. Gill that an additional extension would not be granted, and that enforcement action would proceed. However, she did not prevent Mr. Heer from submitting plans to bring the Property into compliance—rather, she informed Mr. Heer that enforcement would move forward if the plans were not provided by the deadline.
- On March 6, 2025, Mr. Heer emailed the Clerk's office requesting to submit plans and not proceed with the hearing on March 31, 2025. That same day, Building Division staff responded, asking Mr. Heer to provide a digital submission for review. However, no plans were provided by Mr. Heer or by anyone on behalf of Mr. Heer.
- During a telephone call between Ms. Gill and Mr. Heer on March 19, 2025, Mr. Heer inquired whether the March 31, 2025, hearing would still proceed if Mr. Heer submitted plans. Ms. Gill informed Mr. Heer that, as of now, the hearing is still scheduled to proceed. Ms. Gill also noted that staff had reached out to Mr. Heer on March 6, 2025, requesting the plans but had not received a response. Ms. Gill explained that once Mr. Heer submits the plans, staff will review them. Additionally, Ms. Gill informed Mr. Heer that he can continue to bring the Property into compliance after the hearing, which includes submitting any plans, following which the notice can be removed.

To be clear, at no point was Mr. Heer denied the opportunity to submit plans to bring the Property into compliance. What was denied was the request to cancel the hearing upon submission of plans.

Attached as Appendix "I" and Appendix "II" are the correspondences referenced above.

Appendix "I" Email exchange from January 17, 2025, to January 30, 2025.

Appendix "II" Email exchange from March 6, 2025.



From: [Wonfor, Jessica](#)
To: [Info Gill Drafting](#) [REDACTED]
Cc: [Design Gill Drafting](#)
Subject: RE: 9040 Skye Place
Date: January 30, 2025 10:58:00 AM

Hello Mr. Gill and Mr. Heer,

The City is not agreeable to granting another extension and will proceed with further enforcement action, including scheduling a hearing before Council pursuant to Section 57 of the *Community Charter*.

Regards,

JESSICA WONFOR, BTech, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

CITY OF SURREY

Planning & Development, Building Division
13450 104th Ave, Surrey, BC, Canada V3T 1V8
T 604.591.4218 | www.surrey.ca

From: Info Gill Drafting <info@gilldrafting.com>
Sent: January 29, 2025 12:33 PM
To: Wonfor, Jessica <Jessica.Wonfor@surrey.ca>; gurpreet singh [REDACTED]
Cc: Design Gill Drafting <design@gilldrafting.com>
Subject: RE: 9040 Skye Place

Helo Jessica

We are working on the revision plans and will be able to submit the revised plans next week. We had to visit the site to take all the notes and its time consuming. . I will appreciate if we can be allowed to submit before Feb. 17th 2025.

Regards,

Jatinderpal Singh Gill
B.Eng., President
Gill Drafting Ltd.
#211- 12877, 76 Ave
Surrey, BC. V3W 6H9
Tel: 604-599-6886
Fax: 604-599-6831
www.gilldrafting.com

Please think about the environment before printing

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From: gurpreet singh [REDACTED]
Sent: Thursday, January 23, 2025 5:23 PM
To: Info Gill Drafting <info@gilldrafting.com>
Subject: Fw: 9040 Skye Place

I had requested extension till 15 March to submit the plans. City says I have till 29 Jan. Please email Jessica and let her know that we need more time. Thank you.

Regards,
Gurpreet heer

From: Wonfor, Jessica <Jessica.Wonfor@surrey.ca>
Sent: Wednesday, January 22, 2025 5:48:11 p.m.
To: gurpreet singh [REDACTED]
Subject: RE: 9040 Skye Place

Hello Mr. Heer,

The City is agreeable to providing you an extension until 4:00 PM on **January 29, 2025**, to resubmit the building permit application, together with any accompanying plans. Failure to do so will result in further enforcement action, including scheduling a hearing before Council pursuant to Section 57 of the *Community Charter*.

Regards,

JESSICA WONFOR, BTECH, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

CITY OF SURREY

Planning & Development, Building Division
13450 104th Ave, Surrey, BC, Canada V3T 1V8
T 604.591.4218 | www.surrey.ca

From: gurpreet singh [REDACTED]
Sent: January 19, 2025 1:50 PM
To: Wonfor, Jessica <Jessica.Wonfor@surrey.ca>
Subject: Re: 9040 Skye Place

Good Morning ,

I have talked with my Designer who did the plans for the house. He is going to do new plans with some changes to basement floor plans. Also I am going to close the extra doors that I have made. He needs some more time to do the updated plans. Please allow

us to submit updated plans till 15 March 2025. I am also sending his phone number.

Gill Drafting Ltd
12877 76 Ave #211,
Surrey, BC V3W 1E6
Ph: 604-599-6886.

I want to work with the city to solve this issue.

Thank You for your consideration.

Regards,
Gurpreet Heer

[REDACTED]

From: Wonfor, Jessica <Jessica.Wonfor@surrey.ca>

Sent: Friday, January 17, 2025 10:26:53 AM

To [REDACTED]

Subject: RE: 9040 Skye Place

Good morning,

Further to my email below, I wanted to clarify that we have identified eight secondary suites constructed within the house, not nine. Please ensure the removal of eight secondary suites is reflected in the building permit application.

Regards,

JESSICA WONFOR, BTECH, RBO | MANAGER, RESIDENTIAL BUILDING PERMIT APPROVALS

CITY OF SURREY

Planning & Development, Building Division
13450 104th Ave,

From: [Welkhu, Jazzy](#)
To: [REDACTED]
Cc: [Wonfor, Jessica](#)
Subject: RE: File: 0110-40 (9040 Skye pl)
Date: March 6, 2025 3:27:34 PM
Attachments: [image001.png](#)
[image008.png](#)
[image009.png](#)
[image010.png](#)
[image011.png](#)
[image012.png](#)
[image013.png](#)

Good Afternoon Gurpreet,

As Jessica is currently away, please email a digital submission for the restoration work being done on the property for review.

Regards,
JAZZY WELKHU, RBO | SUPERVISOR, RESIDENTIAL BUILDING PERMIT APPROVALS

See the following drop off processes.

Process for Digital Permits:

- Revised PDFs to be emailed back to plan reviewer
- **Make sure to label the email, EG: Revision Application, BP# : 20-#####**
- Permit revisions after issuance will be emailed to Permitapplication@surrey.ca



CITY OF SURREY

Planning and Development, Building Division
13450 104th Ave, Surrey, BC, Canada V3T 1V8
T 604.591.4696 www.surrey.ca



Connect, Share and Engage with your City

From: gurpreet singh [REDACTED]
Sent: March 6, 2025 12:31 PM
To: Clerks Department Webmail <clerks@surrey.ca>
Subject: Re: File: 0110-40 (9040 Skye pl)

Good morning,

As the council meeting has been delayed to March 31, I had talked to my House Designer and he has updated the house plans to have one secondary suit and remove the extra outside doors and suits. So that we can apply for getting the demolition permit for getting the property to comply with Surrey building bylaw and Surrey zoning regulations So please can we submit these and not go ahead with the council meeting on 31 March 2025.

I have always stated that I want to work with the city to resolve the issue. I did apply for demolition permit but was asked to also submit drawings. I hired my designer and paid him to do the drawings but this took some time. Thank you.

Regards,

Gurpreet heer



9040 Skye pl

Surrey.

CITY OF SURREY

PRESENTATION BY
THE OWNER



From: [cs.22\(1\) singh](#)
To: [Clerks Department Webmail](#)
Subject: File: 0110-40 (9040 Skye pl)
Date: March 25, 2025 12:15:56 PM

Good morning,

I wanted to submit this email to the Council Meeting on 31 march, 2025. I have made some points regarding my House.

1) Have been told by Building department and Legal services department that even if I submit revised plans, they are not going to delay the council meeting. I also talked to Komal Gill, city Solicitor and she told me that council meeting will not be delayed and a notice will be filed in the land title office. I was told I can submit drawings later. But I want to submit them before and work with city so that notice is not put on title as this will put undue hardship on me and my family .

2) My designer has finalized my revised drawings and only structure drawings have to be updated but did not get the extension from Jessica Wonfor(Building department)to get them made.

3) When Building inspector came to my house to do inspection and take pictures, I had 3 basements rented (which are registered with the city) and other rooms in basement I am using for myself for storage of garden tools, extra books, hobby materials, kids games etc. as I do not have a garage. No other said suites have stove, hood fan, fridge or any renters or any even guests staying. They are in the same state today as when the pictures were taken in November 2024. And from pictures you can clearly see that they are not being used as suites. Also, I have no issues with city any time doing another inspection to check if they are being used as suites as I have told this to bylaw officer Erica Bates many times.

As I have told city officials a number of times that I want to work with the city to resolve this issue and just need some time (one month) to get everything like architecture, structure etc. drawings to give to city. As I am dependent on others to get drawings done. But till now Building department and legal department and bylaw department has refused to give any extra time. Also, bylaw told me not to demolish anything till I get a demolition permit.

So, I request the Council that they give me the extra time to give the revised plans to remove the walls in the basement. And not to allow Legal department to put a notice on title as I am willing to do the changes.

Thank you,

Regards,

[cs.22\(1\)](#) heer.

CITY OF SURREY

QUESTIONS

CITY OF SURREY

CLOSING SUBMISSIONS
BY COUNSEL FOR THE
BUILDING INSPECTOR



CITY OF SURREY

**CLOSING SUBMISSIONS BY
THE OWNER**

CITY OF SURREY

DECISION BY COUNCIL



CITY OF SURREY

FILING OF A
NOTICE ON TITLE TO
THE PROPERTY AT
6718 - 140A STREET
PURSUANT TO
SECTION 57 OF THE
*COMMUNITY
CHARTER*



CITY OF SURREY

OPENING
REMARKS BY
COUNSEL



CITY OF SURREY

PRESENTATION BY
COUNSEL FOR THE
BUILDING INSPECTOR





CORPORATE REPORT

NO: R054

COUNCIL DATE: March 31, 2025

REGULAR COUNCIL

TO: Mayor & Council

DATE: January 31, 2025

FROM: Trevor Welsh, Director, Building Division
Kyle May, Building Inspector

FILE: 2021 041283

SUBJECT: Filing a Notice on Title, 6718 140A Street, Surrey, BC

RECOMMENDATION

The Building Inspector recommends that Council:

1. Receive this report for information; and
2. Direct the City Clerk to pay any prescribed fee and file in the Land Title Office, pursuant to Section 57 of the *Community Charter*, a notice on title to the property located at 6718 140A Street, Surrey, BC, and legally described as:

PID: 001-752-049

Lot 129 Section 16 Township 2 New Westminster District Plan 53614

(the "Property"),

which notice shall in substance indicate that:

- a. a resolution has been made under Section 57 of the *Community Charter*; and
- b. further information may be inspected at Surrey City Hall.

INTENT

The purpose of this report is to provide information to Council regarding unpermitted construction on the Property and to recommend that Council direct the City Clerk to register a notice in the Land Title Office pursuant to Section 57 of the *Community Charter* on the basis that works were constructed on the Property without the required permits.

BACKGROUND

Section 57 of the *Community Charter*

Under Section 57 of the *Community Charter*, Council may make a resolution directing staff to file a notice in the Land Title Office relating to a property where the building inspector:

- a) observes that land, a building, or a structure contravenes a municipal bylaw, Provincial building regulation, or any other enactment that relates to the construction or safety of buildings or other structures, and the building or structure is unsafe as a result [Section 57(1)(a)];
- b) discovers that something was done with respect to a building or other structure that required a permit under a municipal bylaw, Provincial building regulation or other enactment, and the permit was not obtained [Section 57(1)(b)(i)]; or
- c) discovers that something was done with respect to a building or other structure that required an inspection under a municipal bylaw, Provincial building regulation or other enactment, and the inspection was not satisfactorily completed [Section 57(1)(b)(ii)].

Section 57 requires that the registered owner(s) of the property be given written notice of the building inspector's recommendation to Council.

After the owners and the building inspector have been given an opportunity to be heard by Council, Council may endorse or reject the recommendations of the building inspector.

A Section 57 notice alerts anyone searching a title to a property, such as prospective purchasers, that a property may contravene bylaws or regulations relating to building safety. The notice does not disclose details about any contraventions but indicates that further information may be obtained from City Hall.

A Section 57 notice may be cancelled under the following circumstances as set out in Section 58 of the *Community Charter*:

1. The building inspector may submit a report to the City Clerk advising that the condition that gave rise to the notice has been rectified. The City Clerk must then file a cancellation notice; or
2. The owner may ask Council to pass a resolution directing the City Clerk to cancel the notice. If the resolution is passed, then the City Clerk must file a cancellation notice in the Land Title Office. If Council does not pass a resolution cancelling the notice, then the owner may apply to the Supreme Court of British Columbia and the court may determine whether the notice should be cancelled.

Surrey Building By-law, 2012, No. 17850 (the “Building Bylaw”)

The Building Bylaw regulates the construction, alteration, repair, or demolition of buildings and structures for the health, safety, and protection of persons and property, and to provide for the administration of the BC Building Code in the City.

Sections 8 and 21 of the Building Bylaw require that an owner must apply for and obtain a permit before performing construction work:

1. Section 8 of the Building Bylaw provides that no person shall commence or continue any construction unless the Building Official has issued a valid and enduring permit for the work.
2. Section 21(a) of the Building Bylaw further provides that every owner shall apply for and obtain a permit before carrying out any construction work.

The term “construction” under the Building Bylaw is defined as the process or activity by which any building or structure is erected, repaired, altered, renovated, added to, installed, demolished, removed or moved, or for which preparation is made by way of shoring or excavation.

The Property

In or around September 2012, Manjit Kaur Thind and Rupinderjit Judge (the “Owners”) purchased the Property. They remain the registered owners of the Property as tenants in common.

Unpermitted construction came to the City’s attention in July 2021, when Building Inspector, Kyle May observed construction had occurred at the Property without permits. Since then, the City has made numerous attendances at the Property which have confirmed that the Property contains a large two-storey addition that has been illegally constructed at the rear of the Property (the “Unpermitted Works”).

A detailed chronology of the Property and the City’s enforcement efforts is attached as Appendix “I”.

The City has not issued a building permit for the Unpermitted Works at any time.

The City issued the Owners six (6) bylaw contravention notices for a total of \$2,850.00. The City also issued five (5) site visit fees for a total of \$1,070.00. The site visit fees, and bylaw contravention notices have been paid in full.

DISCUSSION

The Property meets the criteria under Section 57 of the *Community Charter* that permits Council to direct the City Clerk to file a notice in the Land Title Office. Section 57(1)(b) permits the filing

of a notice in the Land Title Office if a building inspector “discovers that something was done with respect to a building or other structure, or the construction of a building or other structure, that required a permit...under a bylaw” and “the permit was not obtained...”

Sections 8 and 21(a) of the Building Bylaw require that owners apply for and obtain a building permit before carrying out construction work in the nature of the Unpermitted Works.

At this time, there is no realistic path for the Owners to obtain a building permit to the retain the Unpermitted Works in accordance with the Building Bylaw. The construction has progressed to a point where many essential elements are now obscured, preventing the necessary inspections by the City to confirm safety and compliance with the Building Bylaw and British Columbia Building Code.

Section 57 of the *Community Charter* provides municipalities with an important tool for protecting the public by alerting the public and prospective purchasers about unpermitted construction. Prospective purchasers may not be aware that portions of the Property are unpermitted and lack the required inspections and approvals. The Building Inspector recommends that Council authorize the filing of a notice on title to the Property for the purposes of protecting the public. A notice on title to the Property will inform prospective purchasers about the Unpermitted Works and allow them to make an informed decision regarding a potential purchase of the Property.

Council has authority under Section 57 of the *Community Charter* to accept or reject the Building Inspector’s recommendation to file a notice on title to the Property with the Land Title Office.

Legal Services Review

Legal Services has reviewed this report.

CONCLUSION

This report seeks to obtain Council’s approval to direct the City Clerk to file a notice in the Land Title Office stating that a resolution has been made under Section 57 of the *Community Charter* relating to the Property and that further information may be inspected at Surrey City Hall.



Trevor Welsh
Director, Building Division



Kyle May
Building Inspector

Appendix “I”: Chronology of Property and Unpermitted Works

c.c. City Manager
General Manager, Planning & Development
City Clerk
City Solicitor

APPENDIX "I"

CHRONOLOGY OF PROPERTY AND UNPERMITTED WORKS

The following is a detailed summary of facts relating to the Unpermitted Works at 6718 140A Street, Surrey, BC (the "Property").

Attached as Schedule "A" is a COSMOS image dated May 23, 2020, depicting the Property.

Attached as Schedule "B" is a COSMOS image dated April 20, 2022, depicting the Property.

The Property is Zoned R4. Attached as Schedule "C" is a copy of the Zoning Map.

On December 21, 1977, the City of Surrey (the "City") issued a building permit for the construction of a single-family dwelling at the Property. Attached as Schedule "D" is a copy of the building permit issued for the Property on December 21, 1977.

On September 6, 1978, the Property received final building approval from the City. Attached as Schedule "E" is a copy of the Final Occupancy Certificate for the Property dated September 6, 1978.

In or around September 2012, Manjit Kaur Thind and Rupinderjit Judge (the "Owners") purchased the Property. Attached as Schedule "F" is a copy of the State of Title Certificate and title search for the Property.

On July 13, 2021, Building Inspector, Kyle May ("Mr. May") attended the Property for an inspection in the course of his duties in response to a complaint about unpermitted construction. Upon attending the Property Mr. May observed a large two-storey addition (the "Addition") that was being constructed in the rear of the Property without a building permit. Mr. May posted a stop work order on the front of the Property.

Mr. May took photographs of his observations on July 13, 2021, which are attached as Schedule "G". The photographs have been numbered for ease of reference and depict the following:

- Photograph 1 depicts the stop work order posted by Mr. May;
- Photograph 2 depicts the stop work order posted beside the front door of the Property;
- Photograph 3 depicts a portion of the Addition under construction at the Property; and
- Photograph 4 depicts a portion of the Addition under construction at the Property.

On or about June 1, 2022, Mr. May sent a compliance order to the Owners by regular and registered mail (the "Compliance Order"). Attached as Schedule "H" is a copy of the Compliance Order.

Attached as Schedule "I" is a copy of the delivery progress report from Canada Post for the Compliance Order, which shows it was delivered on June 19, 2022.

There was no response to the Compliance Order.

On or about June 6, 2022, Building Inspector, Devon Bolton ("Mr. Bolton") attended the Property for an inspection with Bylaw Enforcement Officer, Tricia Coleman ("Officer Coleman"). Upon attending the Property, Mr. Bolton observed there was no stop work order posted on the Property. Mr. Bolton posted a stop work order on the front door of the Property. Officer Coleman and Mr. Bolton spoke to an individual who identified himself as Rupinderjit Judge's spouse; Officer Coleman provided the individual with a copy of the Compliance Order.

Mr. Bolton took photographs of his observations on June 6, 2022, which are attached as Schedule "J". The photographs have been numbered for ease of reference and depict the following:

- Photograph 1 depicts a portion of the Addition that is undergoing construction;
- Photograph 2 depicts the stop work posted to the front door of the Property on June 6, 2022;
- Photograph 3 depicts a portion of the Addition undergoing construction; and
- Photograph 4 depicts a pipe at the front of the Property.

On July 8, 2022, Officer Coleman attended the Property for a follow up inspection. Officer Coleman knocked on the front door of the Property, but there was no answer at the door. Officer Coleman did not observe any stop work order posted on the Property. Officer Coleman took photographs of her observations, which are attached as Schedule "K". The photographs have been numbered for ease of reference and depict the following:

- Photograph 1 depicts the front of the Property;
- Photographs 2 and 3 depict portions of the Property;
- Photograph 4 depicts the rear of the Property;
- Photograph 5 depicts the backyard area of the Property including an accessory building under construction; and
- Photograph 6 depicts a portion of the rear of the Property.

On July 19, 2022, Mr. Bolton attended the Property and observed there was no stop work order posted on the Property; Mr. Bolton then posted a stop work order on one of the front windows of the Property. Mr. Bolton took a photograph of the stop work order he posted, which is attached as Schedule "L".

On November 4, 2022, Officer Coleman attended the Property for a follow-up inspection. Officer Coleman did not observe any stop work order posted on the Property. Officer Coleman also observed a pipe at the front of the property that was venting steam; the pipe was not present during Officer Coleman's previous inspection. Officer Coleman took photographs of her observations, which are attached as Schedule "M". The photographs have been numbered for ease of reference and depict the following:

- Photograph 1 depicts the front of the Property;
- Photograph 2 depicts a pipe that Officer Coleman observed venting steam;
- Photograph 3 depicts boxes of tiles and hardwood flooring at the front of the Property;
- Photograph 4 depicts a portion of the front of the Property; and
- Photographs 5 and 6 depict portions of the rear yard of the Property.

On November 8, 2022, Bylaw Enforcement Officer, Andrew Nolan ("Officer Nolan"), received a call from an individual who advised he was assisting the Property owners. Officer Nolan informed the individual of the compliance and enforcement procedures for unpermitted construction; the individual confirmed that someone would be available to show the Property on November 18, 2022 for an inspection.

On November 18, 2022, Mr. Bolton and Officer Coleman attended the Property for a follow-up inspection. Mr. Bolton did not observe a stop work order posted on the Property; Mr. Bolton subsequently posted a stop work order on the Property. Mr. Bolton and Officer Coleman were met by an individual who identified himself as the spouse of Rupinderjit Judge and the brother of Manjit Thind; another individual was also present.

Mr. Bolton's observations are as follows:

- there were changes to the venting pipe at the front of the Property from his previous inspection;
- the addition at the rear of the Property measured 44' x 4' and the upper rear addition measured 44' x 15-20';
- the main entrance of the home led to a small utility room and laundry room, and there was also a bedroom on the ground floor that was separated from the rear of the house. The spouse of Rupinderjit Judge informed Mr. Bolton that his sister's family lives in a dwelling unit in the Property and claimed that the suite had already been installed prior to their purchase of the Property. The individual was unable to provide access to the suite and he stated he did not have a key to the unit; and
- In the upper floor of the home the main living area and kitchen area had been expanded into the rear yard.

Mr. Bolton took photographs of his observations on November 18, 2022, which are attached as Schedule "N". The photographs at Schedule "N" have been numbered for ease of reference and depict the following:

- Photograph 1 depicts the kitchen in the main dwelling;
- Photograph 2 depicts the stop work order posted by Mr. Bolton on November 18, 2022; and
- Photograph 3 depicts a portion of the Addition.

Officer Coleman took photographs of her observations on November 18, 2022, which are attached as Schedule "O"; the photographs have been numbered for ease of reference and depict the following:

- Photograph 1 depicts the front door area of the Property;
- Photograph 2 depicts the hallway upon entry of the front door;
- Photograph 3 depicts a hot water tank in the utility room on the main floor of the home;
- Photograph 4 depicts a laundry room on the main floor of the home;
- Photograph 5 depicts a bedroom in the upper level of the home;
- Photograph 6 depicts an ensuite bathroom in the upper level of the home;
- Photograph 7 depicts a living room and kitchen area in the upper level of the home;
- Photograph 8 depicts a portion of the upper floor of the home;
- Photograph 9 depicts a portion of the rear of the Addition;
- Photograph 10 depicts a portion of the rear Addition with two doors visible; and
- Photograph 11 depicts the rear of the property and a portion of the Addition.

On October 16, 2024, Bylaw Enforcement Officer, Erica Bates ("Officer Bates") and Building Inspector, Lee MacLeod ("Mr. MacLeod") attended the Property for an inspection. Officer Bates and Mr. MacLeod were met by the spouse of Rupinderjit Judge who provided access to the Property.

During the inspection on October 16, 2024, Officer Bates and Mr. MacLeod observed the following:

- upon entry of the front door a there was a hall with a door immediately to the left that led into a bedroom containing a bed and personal effects;

- there was a storage/boiler area on the right-hand side that extended under the stairs;
- the stairs from the ground level led to upper level of the home, which included the existing home as well as a portion of the Addition. The Addition in the upper level of the home contained a bedroom, a bathroom, a living room area, and a kitchen. The existing upper-level portion of the home contained two bedrooms and a bathroom and some portions of the living area;
- there was a door in the northeast corner of the kitchen that led to a sheer drop from the upper level into the garden;
- in the southeast corner of the home an external door led into a self-contained dwelling unit with a bedroom, a kitchen, a living room area, and a bathroom (“Dwelling Unit #1); and
- in the northeast corner of the home in the Addition an external door led into a dwelling unit (“Dwelling Unit #2”), which contained a bedroom, a bathroom without a shower, a living room area, and a kitchen with sink, fridge, cabinets, sink, but no stove.

Officer Bates took photographs of her observations on October 16, 2024, which are attached as Schedule “P”. The photographs at Schedule “P” have been numbered for ease of reference and depict the following:

- Photograph 1 depicts the front of the Property;
- Photograph 2 depicts the hall upon entering the front door of the Property;
- Photograph 3 depicts a bedroom in the main dwelling unit on the ground floor;
- Photograph 4 depicts the front door with the stairs leading to the second floor;
- Photographs 5 depicts the interior of the Property upon reaching the top of the stairs;
- Photographs 6 and 7 depict the living room and kitchen located within the upper level of the Addition;
- Photograph 8 depicts the kitchen in the upper level of the Addition;
- Photograph 9 depicts the door of the upper-level kitchen in the Addition opened leading to a sheer drop in the garden below;
- Photograph 10 depicts a partial view of the door leading into a bedroom located in the upper level of the Addition;
- Photograph 11 depicts a bedroom in the upper level of the Addition;

- Photograph 12 depicts an ensuite bathroom in the upper level of the Addition;
- Photographs 13, 14, and 15 depict bedrooms in the upper floor of the main dwelling;
- Photographs 16 and 17 depict the bathrooms in the main dwelling;
- Photographs 18, 19, 20, and 21 depict the main dwelling;
- Photograph 22 depicts a portion of the south side of the Property with a door visible leading into Dwelling Unit #1;
- Photograph 23 depicts the living room area and kitchen of Dwelling Unit #1;
- Photograph 24 depicts the bathroom in Dwelling Unit #1;
- Photograph 25 depicts the bedroom of Dwelling Unit #1;
- Photograph 26 depicts the rear of the Property;
- Photograph 27 depicts the backyard area of the Property and a shed under construction;
- Photograph 28 depicts a portion of the rear of the Property with two doors visible;
- Photograph 29 depicts the inside of Dwelling Unit #2;
- Photograph 30 depicts the kitchen area of Dwelling Unit #2;
- Photograph 31 depicts the living room area of Dwelling Unit #2;
- Photograph 32 depicts the bedroom area of Dwelling Unit #2; and
- Photographs 33 and 34 depicts the bathroom area of Dwelling Unit #2.

Attached as Schedule “Q” are images of the Property that have been marked up to show the approximate extent of the Addition and location of the dwelling units.

The City issued the Owners six bylaw contravention notices for a total of \$2,850.00. The City also issued five site visit fees for a total of \$1,070.00. The site visit fees and bylaw contravention notices have been paid in full.

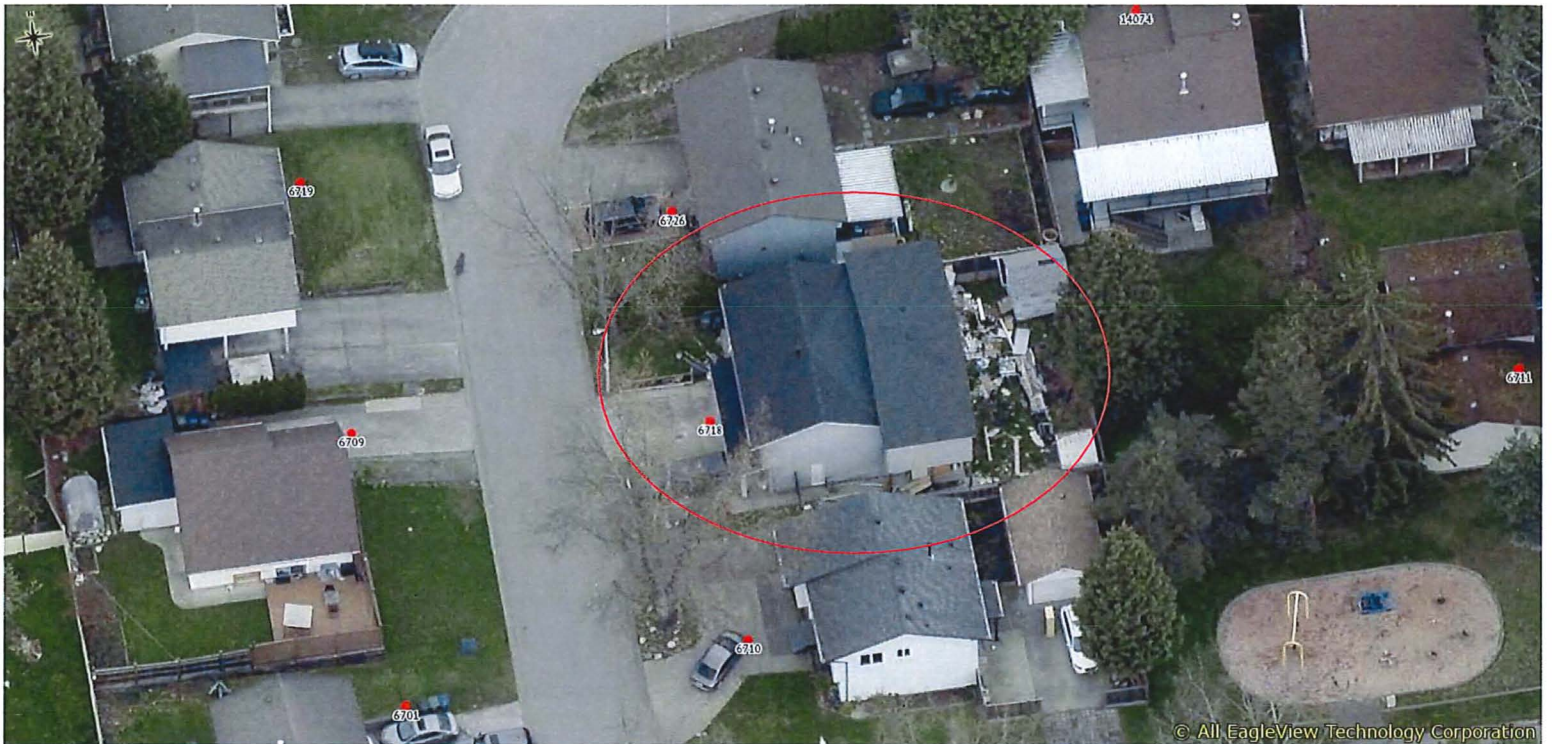
At this time, Staff do not see a realistic path for the Respondents to obtain a building permit for the unpermitted works in accordance with the Building Bylaw. The construction has progressed to a point where many essential elements are now obscured, preventing the necessary inspection by the City to confirm safety and compliance with the Building Bylaw and British Columbia Building Code.

Schedule A

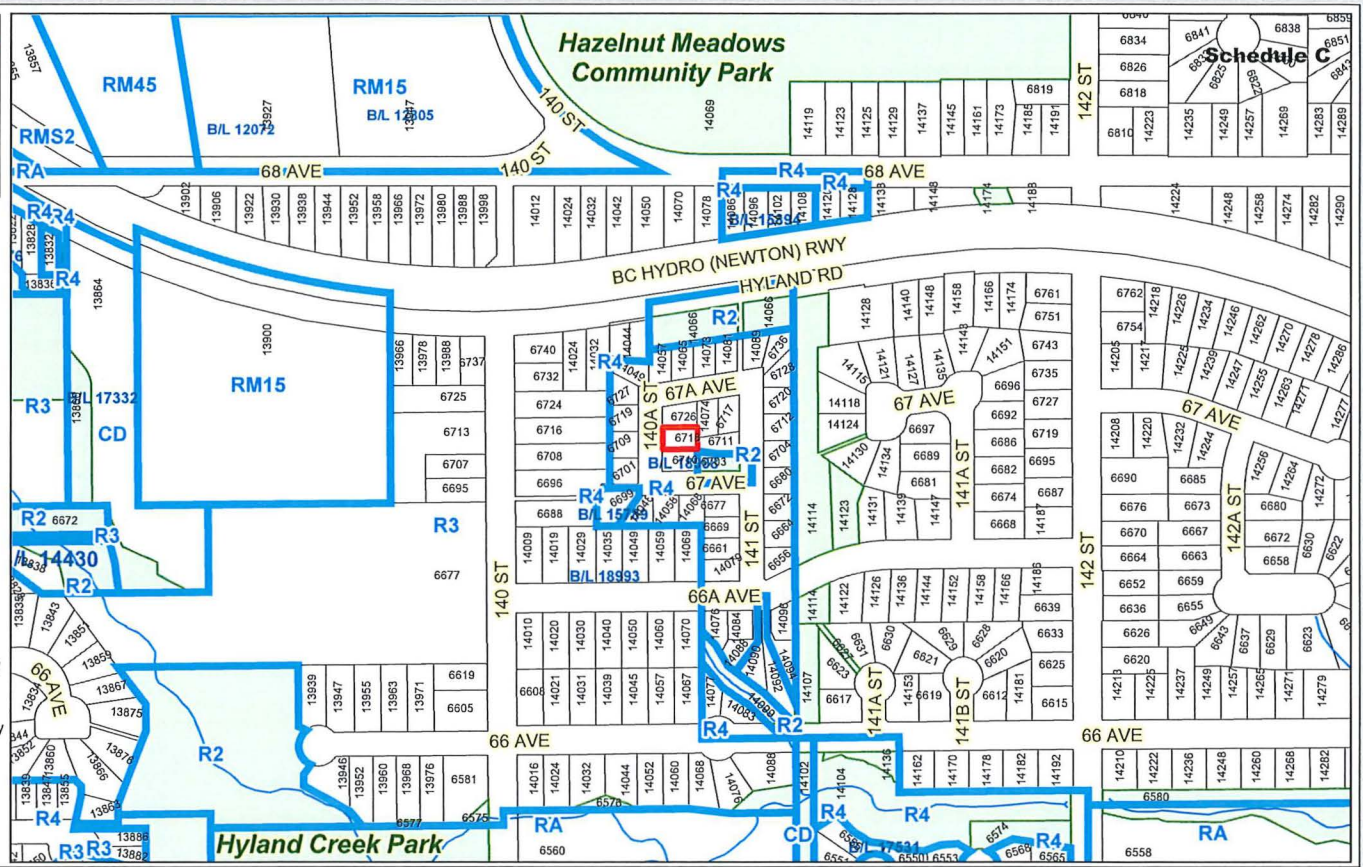


05/23/2020

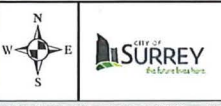
Schedule B



04/20/2022

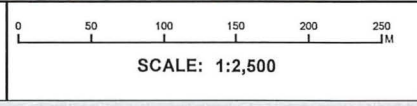


- Legend**
- Subject Property
 - LUC Boundary
 - Zoning Boundary
 - Parks
 - Parcels
 - Creek
 - River



BY-LAW &
LICENSING
SERVICES

6718 140A STREET ZONING



Map Page
062

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and covers purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. For attribute and location information of BC Gas, Telus and BC Hydro's infrastructure, please contact the utility directly. Author: (srvc_Prd_GISFME) Date: (2024-12-18) © City of Surrey



PLEASE PRINT CLEARLY - APPLICATION / PERMIT

14/7/77 DF
7617

APPLICATION DATE: 14/7/77 PERMIT NO.: 7617

1) TO BE FILLED OUT BY PLANNING DEPARTMENT
PROJECT ADDRESS: 6713-190A St ZONE: LUC 323
LEGAL DESCRIPTION: Lot #129, S.E. Quarter, Section 16, Township 2, N.W.D. Plan #53614
(LEGAL DESCRIPTION IS BASED ON INFORMATION SUPPLIED BY THE APPLICANT)

2) TO BE FILLED IN BY ENGINEERING DEPARTMENT		OFFICE USE	
YES	NO		
		STORM SEWER (9-5970) <u>N/A</u>	BUILDING <u>105.00</u>
		WATER FATES (8-9631) <u>4330</u>	SEWER/SEPTIC <u>17.00</u>
		LEGAL ACCESS <input checked="" type="checkbox"/>	
		SEWER CONNECTION (5-7328) <u>N/A</u>	
		EASEMENTS <input checked="" type="checkbox"/>	
		SEWER RATES (8-4630) <u>23.33</u>	TOTAL <u>\$ 217.79</u>
		BUILDING VALUE <u>\$ 25,464.00</u>	RECEIPT # <u>50725</u>
		GARBAGE RATES (6-1524) <u>29.16</u>	

3) TO BE FILLED OUT BY THE APPLICANT
TRI POWER INDUSTRIES
 OWNER: TRI POWER INDUSTRIES HOME PHONE: 298 4284
 ADDRESS: 13068 - 56th Avenue, Surrey, B. C. BUS. PHONE: 596 9054
 BUILDER: TRI POWER INDUSTRIES PHONE: 596 1049
 DESIGNER: TRI POWER INDUSTRIES PHONE: _____
 INTENDED USE(S) OF BUILDINGS: Single Family Double Family Garage Other
 IF OTHER, PLEASE DESCRIBE _____ HAS/S BUILDING BEEN/BEING STRATA-TITLED? yes / no
 OTHER EXISTING BUILDINGS ON SAME LOT: Yes/No No NUMBER _____ BEING USED FOR _____

PERSON TO WHOM PERMIT IS TO BE ISSUED: TRI POWER INDUSTRIES

IN CONSIDERATION OF THE GRANTING OF THE PERMISSION APPLIED FOR, I HEREBY AGREE TO INDEMNIFY AND KEEP HARMLESS THE DISTRICT OF SURREY, AGAINST ALL CLAIMS, LIABILITIES, JUDGMENTS, COSTS AND EXPENSES OF WHATEVER KIND, WHICH MAY IN ANY WAY ACCRUE AGAINST THE SAID DISTRICT IN CONSEQUENCE OF, AND INCIDENTAL TO, THE GRANTING OF THIS PERMIT, AND I AGREE TO PAY THE COST OF REPAIRING ANY DAMAGE TO THE SIDEWALK AND/OR CURB BY REASON OF THE BUILDING OPERATIONS IN RESPECT OF WHICH THIS PERMIT IS APPLIED FOR, AND I FURTHER AGREE TO CONFORM TO ALL REQUIREMENTS OF THE BUILDING BY-LAW AND ALL OTHER STATUTES AND BY-LAWS IN FORCE IN THE DISTRICT OF SURREY, AND I FURTHER ACKNOWLEDGE THAT THE MUNICIPALITY ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

Capacity of Applicant: Construction Manager Signature of Applicant: _____

4) OFFICE USE ONLY APPLICATION TAKEN BY: HV DATE: 6.12.77
 PERMIT TO AMEND CONSTRUCT ALTER REPAIR DEMOLISH MOVE STRATA

ONE TWO FAMILY DWELLING 24 FT. 0 IN. X 36 FT. 0 IN. =
TWO STOREY SLAB ON GRADE, LOWER LEVEL UNFINISHED
ENTRANCE & 1 BATHROOM. (3 BEDRMS)

SITING OF PROPOSED BUILDING(S): YARDS: FRONT 15' W SIDE 7' N, 7' S REAR 42' E

LOT DIMENSIONS 50' x 80' LOT AREA 4000 SF SPECIAL SETBACKS _____

PERMIT APPROVED BY: _____ DATE: 21.12.77

REMARKS & SPECIAL NOTATIONS _____

Front elevation, materials, & parking per plan.

SINGLE FAMILY DWELLING ONLY

MAP NO. 62

MASTER CARD

XAROS R.O. 278 WMC

BUILDING

FIELD CHECK _____
FORMS Feb 24/78 WMC
DRAIN TILE Mar 31/78 WMC
STORM OUTFALL Mar 31/78 WMC
FRAMING July 7/78 WMC
INSULATION July 10/78 WMC
CHIMNEY _____
FIREPLACE _____
HEATING _____
REMARKS: _____

PERMIT NO. P. 13199 PLUMBING DATE ISSUED May 22/78
CONTRACTOR Rite Plbg

	BSMT.	1ST FLR	2ND FLR	3RD FLR
H.W. TANK	1			
W.C.	1	1		
BASINS	1	1		
BATHS		1		
SHOWERS		1		
SINKS		1		
L. TUBS	1			
AUTO W	1			
SW POOLS				
DRAINS	1 F.D.			
URINALS				
SUMPS				
OTHER				

TOTAL FIXTURES 10
ROUGH PLBG APPROVED O.K. May 30/78 R.W.
WATER CONNECTED O.K. May 30/78 R.W.
REMARKS: _____

OCCUPANCY APPROVAL TEMP July 28/78
FINAL APPROVAL 9809 OS WMC

ELECTRICAL

TEMP. POLE PERMIT NO. E _____ DATE _____
APP. NO. _____ DATE _____
PERMIT NO. E 30231 DATE Apr 12/78
SERVICE APP. NO. 24493A DATE July 7/78
FINAL OK INSPECTOR FD DATE July 26/78

PERMIT NO. E _____ DATE _____
SERVICE APP. NO. _____ DATE _____
FINAL _____ INSPECTOR _____ DATE _____

PERMIT NO. E _____ DATE _____
SERVICE APP. NO. _____ DATE _____
FINAL _____ INSPECTOR _____ DATE _____

FINAL APPROVAL O.K. July 25/78 MH
SEWER/SEPTIC _____ DATE ISSUED Dec 27/77
SEWER PERMIT NO. S 19596 SEWER DIAM. 4 INS.
SEPTIC PERMIT NO. S _____ TANK CAP. _____ GALS.
TANK: CONC. CEDAR FIBREGLASS

REMARKS: _____

FINAL APPROVAL O.K. May 2/78 R.W.

HEATING _____ DATE ISSUED _____
OIL/PROPANE PERMIT NO. H _____
INSTALLED BY _____ NO. OF APPLIANCES _____
TYPE _____
TANK CAP. _____ TANK LOCATION _____

OCCUPANCY APPROVAL _____
FINAL APPROVAL OK FD July 26/78

REMARKS _____
APPROVED _____

The DISTRICT
of SURREY

Municipal Hall 14245 - 56th Avenue, Surrey, B.C. Telephone 291-5222
V3W 1J2

PERMITS & LICENSE DEPARTMENT

September 6, 1978

FILE: 6718 - 140 A Street



Tri Power Industries,
13068 - 56 Avenue,
Surrey, B.C.

Dear Sir:

FINAL OCCUPANCY CERTIFICATE

PURSUANT TO THE PROVISIONS OF SECTION 1.8., SURREY BUILDING BY-LAW,
1973, No. 4128, THE BUILDING LOCATED AT:

ADDRESS: 6718 - 140 A Street PERMIT NUMBER: 7617

LEGAL DESCRIPTION: Lot 129, SE $\frac{1}{4}$, Sec 16, TP2, Plan 53614

IS APPROVED FOR OCCUPANCY

DATE: September 5, 1978 INSPECTOR: William McLean

LAND TITLE OFFICE
STATE OF TITLE CERTIFICATE

Certificate Number: STSR4137132

File Reference: Thind 6718 140

CITY OF SURREY
 13450 - 104 AVENUE
 SURREY BC V3T 1V8

A copy of this State of Title Certificate held by the land title office can be viewed for a period of one year at <https://apps.ltsa.ca/cert> (access code 974017).

I certify this to be an accurate reproduction of title number **BB3056529** at 12:45 this 8th day of January, 2025.



 REGISTRAR OF LAND TITLES



Land Title District Land Title Office	NEW WESTMINSTER NEW WESTMINSTER
Title Number From Title Number	BB3056529 CA2791546
Application Received	2019-03-08
Application Entered	2019-03-13
Registered Owner in Fee Simple Registered Owner/Mailing Address:	MANJIT KAUR THIND, MACHINE HELPER 6718 - 140A STREET SURREY, BC V3W 6W9 AS TO AN UNDIVIDED 99/100 INTEREST
Registered Owner/Mailing Address:	RUPINDERJIT JUDGE, PRODUCTION WORKER 6718 - 140A STREET SURREY, BC V3W 6W9 AS TO AN UNDIVIDED 1/100 INTEREST

LAND TITLE OFFICE
STATE OF TITLE CERTIFICATE

Certificate Number: STSR4137132

Taxation Authority

Surrey, City of

Description of Land

Parcel Identifier: 001-752-049

Legal Description:

LOT 129 SECTION 16 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 53614

Legal Notations

NONE

Charges, Liens and Interests

Nature:

MORTGAGE

Registration Number:

CA2791547

Registration Date and Time:

2012-09-27 11:01

Registered Owner:

COMMUNITY SAVINGS CREDIT UNION

Duplicate Infeasible Title

NONE OUTSTANDING

Transfers

NONE

Pending Applications

NONE

This certificate is to be read subject to the provisions of section 23(2) of the Land Title Act(R.S.B.C. 1996 Chapter 250) and may be affected by sections 50 and 55-58 of the Land Act (R.S.B.C. 1996 Chapter 245).

TITLE SEARCH PRINT

File Reference: 6718 140A Thind
Declared Value \$415000

2025-01-10, 10:34:15
Requestor: Laureen Dubois

****CURRENT AND CANCELLED INFORMATION SHOWN****

Land Title District NEW WESTMINSTER
Land Title Office NEW WESTMINSTER

Title Number CA2791546
From Title Number BN251921

Application Received 2012-09-27

Application Entered 2012-10-05

Title Cancelled **2019-03-13**

Registered Owner in Fee Simple
Registered Owner/Mailing Address:

MANJIT KAUR THIND, MACHINE HELPER
6718 - 140A STREET
SURREY, BC
V3W 6W9
AS TO AN UNDIVIDED 99/100 INTEREST

Registered Owner/Mailing Address:

RUPINDERJIT KAUR, PRODUCTION WORKER
6718 - 140A STREET
SURREY, BC
V3W 6W9
AS TO AN UNDIVIDED 1/100 INTEREST

Taxation Authority Surrey, City of

Description of Land

Parcel Identifier: 001-752-049

Legal Description:

LOT 129 SECTION 16 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 53614

Legal Notations NONE

TITLE SEARCH PRINT

File Reference: 6718 140A Thind
Declared Value \$415000

2025-01-10, 10:34:15
Requestor: Laureen Dubois

Charges, Liens and Interests

Nature: LAND USE CONTRACT
Registration Number: N114175
Registration Date and Time: 1977-11-01 10:30
Registered Owner: DISTRICT OF SURREY
Remarks: INTER ALIA
MUNICIPAL ACT SECTION 702A
TERMINATES JANUARY 16, 2018, SEE CA5793702

Cancelled By: CA6575382
Cancelled Date: 2018-01-18

Nature: MORTGAGE
Registration Number: BN251922
Registration Date and Time: 1999-09-17 13:18
Registered Owner: CANADA TRUSTCO MORTGAGE COMPANY
INCORPORATION NO. A24065

Cancelled By: CA2885415
Cancelled Date: 2012-11-26

Nature: MORTGAGE
Registration Number: CA2791547
Registration Date and Time: 2012-09-27 11:01
Registered Owner: COMMUNITY SAVINGS CREDIT UNION

Duplicate Indefeasible Title NONE OUTSTANDING

Transfers
Registration Date: 2019-03-13
Description: ALL BB3056529

Corrections NONE



CITY of SURREY
PLANNING & DEVELOPMENT DEPARTMENT
BUILDING DIVISION

Address

6718 140 A ST.

Date

JULY 13

2021 @

12:40 PM.

STOP WORK ORDER

ALL CONSTRUCTION ACTIVITIES SHALL CEASE IMMEDIATELY

WORK WITH PERMIT - LARGE
ADDITION @ REAR

Bylaw No. 17850 | No. 6569 BUILDING/PLUMBING OFFICIAL

K.M.

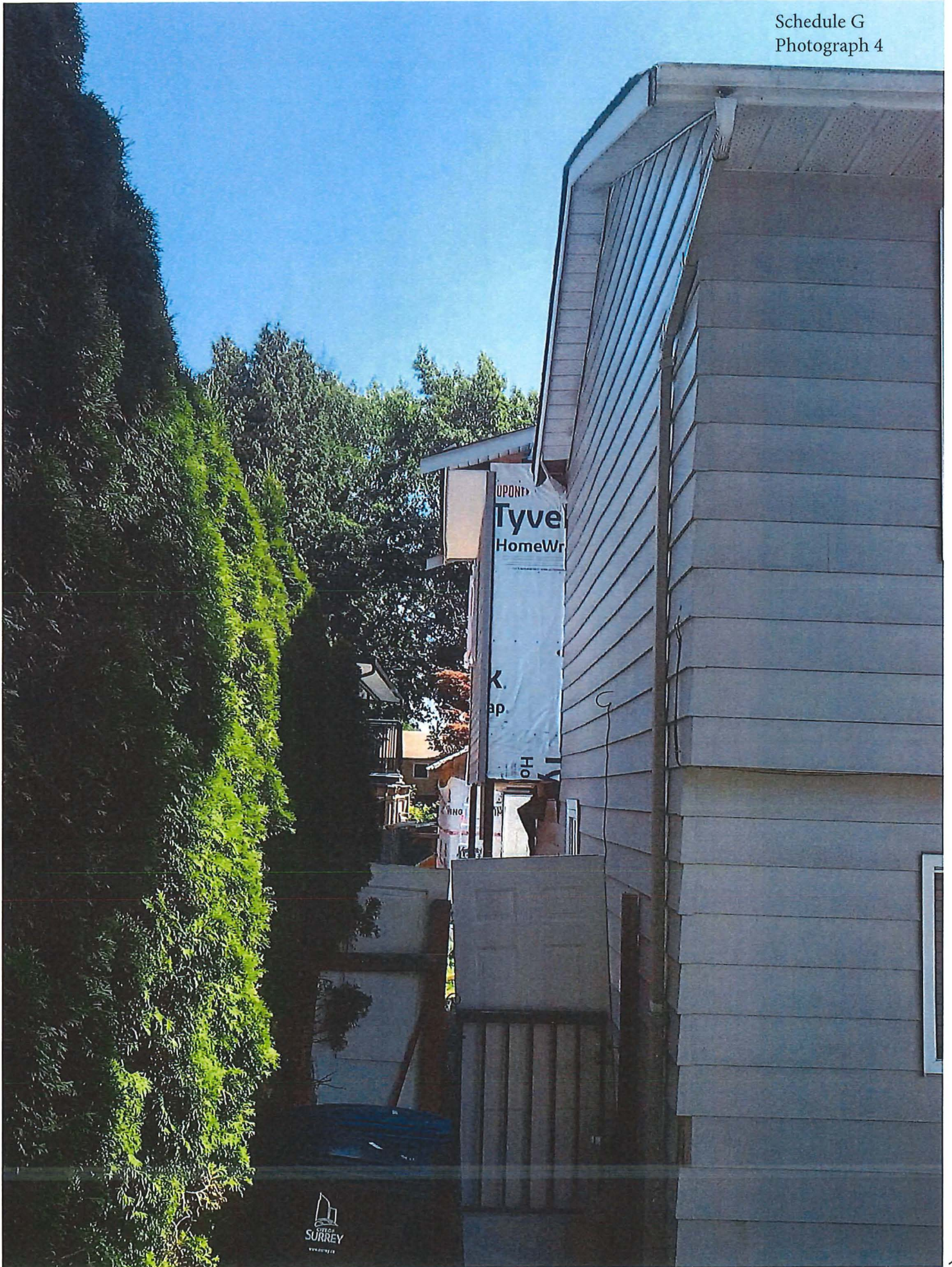
PENALTY FOR FAILURE TO COMPLY IS PROVIDED FOR IN
THE SURREY BUILDING BYLAW AND THE SURREY PLUMBING BYLAW

THIS CARD TO BE REMOVED ONLY BY A BUILDING OFFICIAL
OR A PLUMBING OFFICIAL OR A DULY AUTHORIZED REPRESENTATIVE



Schedule G
Photograph 3





Schedule H

VIA REGISTERED MAIL (RN 523 839 613 CA)

1 June 2022

File: 06718-14050

MANJIT KAUR THIND
RUPINDERJIT JUDGE
6718 140A STREET
SURREY BC V3W 6W9

Dear Manjit Kaur Thind and Rupinderjit Judge:

Re: 6718 140A Street – COMPLIANCE ORDER

We write about the property located at 6718 140A Street in Surrey, British Columbia (the "Property").

A site review conducted by the City of Surrey's Building Division on 13 July 2021 indicated that a large two storey addition has been constructed to the rear of the dwelling on the Property (the "Works") without a valid Building Permit and is being occupied without a valid Occupancy Permit in contravention of *Surrey Building Bylaw, 2012, No. 17850* (the "Bylaw").

Pursuant to Section 19 of the Bylaw, you are hereby ordered to submit to the City of Surrey's Building Division, **on or before 7 July 2022**, a Building Permit application for the Works, along with all required documents and information, as required by the Bylaw.

If you do not wish to keep the Works, then you are hereby ordered to do the following **on or before 7 July 2022**:

1. Submit to the City of Surrey's Building Division a permit application for the demolition of the Works, along with all required documents and information, as required by the Bylaw; and
2. After issuance of a valid Demolition Permit, perform the demolition of the Works.

Kindly be advised that under Section 73 of the Bylaw, the Works must not be used or occupied until you have applied for and obtained a valid Occupancy Permit for the Works.

Staff will review the City's file after the above deadline to ascertain whether you have complied with this order. **Failure to comply with this order is a breach of Section 96 of the Bylaw and will result in further action, including legal proceedings, being taken by the City to enforce compliance with the Bylaw.**

Should you require further information, kindly contact Kyle May at KMay@surrey.ca.

Yours truly,



for

Kyle May
Building Official
/arb

**Tracking number**

RN523839613CA

Delivered

Shipping service: Registered Mail

Delivery progress

Date	Time	Location	Progress	Post office
June 19	9:18 am	SURREY, BC	Delivered	
June 19	9:18 am		Signature available	
June 19	9:18 am	SURREY, BC	Delivered	
June 13	10:16 am	SURREY, BC	Final Notice; Item will be returned to sender if not collected within 10 days	SOUTH NEWTON PO
June 6	4:57 pm	SURREY, BC	Item available for pickup at Post Office	SOUTH NEWTON PO
June 6	11:46 am	SURREY, BC	Item in transit to Post Office	
June 6	11:06 am	SURREY, BC	Notice card left indicating where and when to pick up item	
June 6	10:09 am	SURREY, BC	Item out for delivery	
June 6	2:45 am	SURREY, BC	Item processed	
June 3	6:59 pm	RICHMOND, BC	Item processed	
June 3	2:45 pm	SURREY, BC	Item accepted at the Post Office	

Features and options

Signature Required

Schedule J
Photograph 1





PLANNING & DEVELOPMENT DEPARTMENT
BUILDING DIVISION

ADDRESS 6718 140ASt
DATE June 6 2022 @ 1:20

STOP WORK ORDER

ALL CONSTRUCTION ACTIVITIES SHALL CEASE IMMEDIATELY

Permits Required

D

Bylaw No. 17850 | No. 6569 BUILDING PLUMBING OFFICIAL

PENALTY FOR FAILURE TO COMPLY IS PROVIDED FOR IN THE SURREY BUILDING BYLAW AND THE SURREY PLUMBING BYLAW

THIS CARD TO BE REMOVED ONLY BY A BUILDING OFFICIAL OR A PLUMBING OFFICIAL OR A DULY AUTHORIZED REPRESENTATIVE

IT IS AN OFFENCE TO REMOVE/ALTER/DEFACE ANY NOTICE PERTAINING TO THIS BYLAW

Photograph 3



Photograph 4





Photograph 2





Photograph 4





Photograph 6





PLANNING & DEVELOPMENT DEPARTMENT

678 1401 4

July 19 22 12:44

STOP WORK ORDER

Permits Required

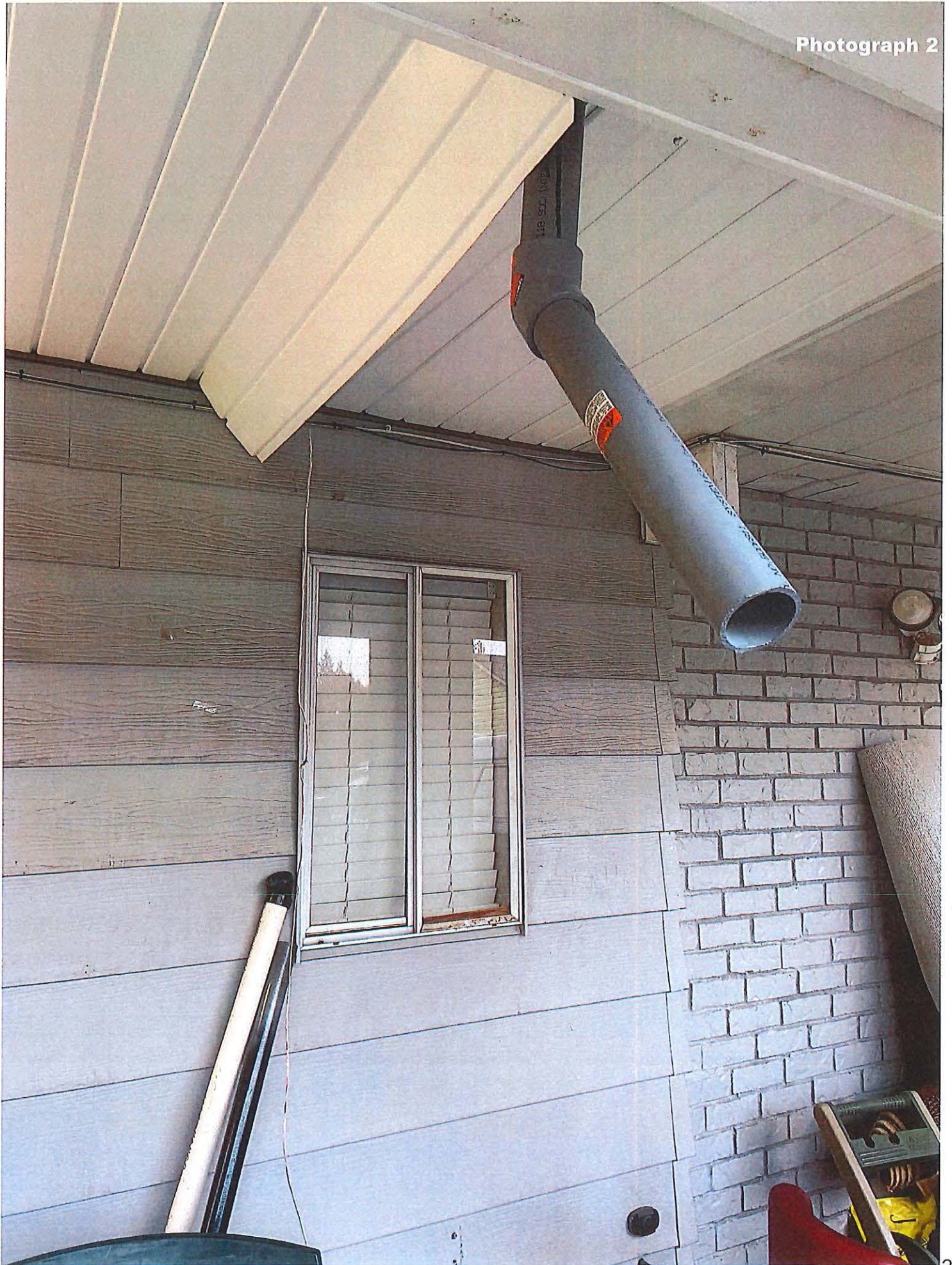
604-273-5971 No. 6588

D

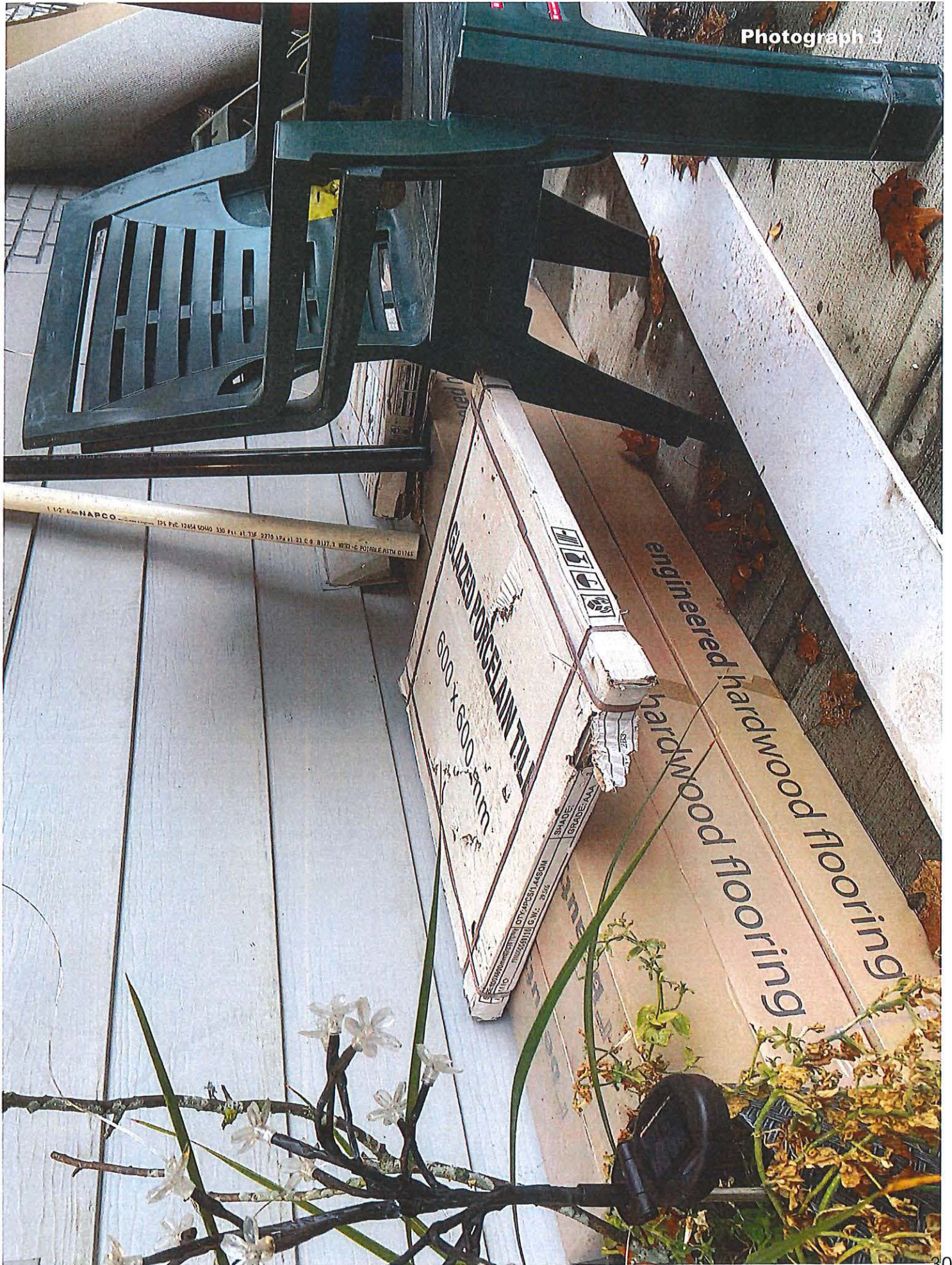
Schedule M
Photograph 1



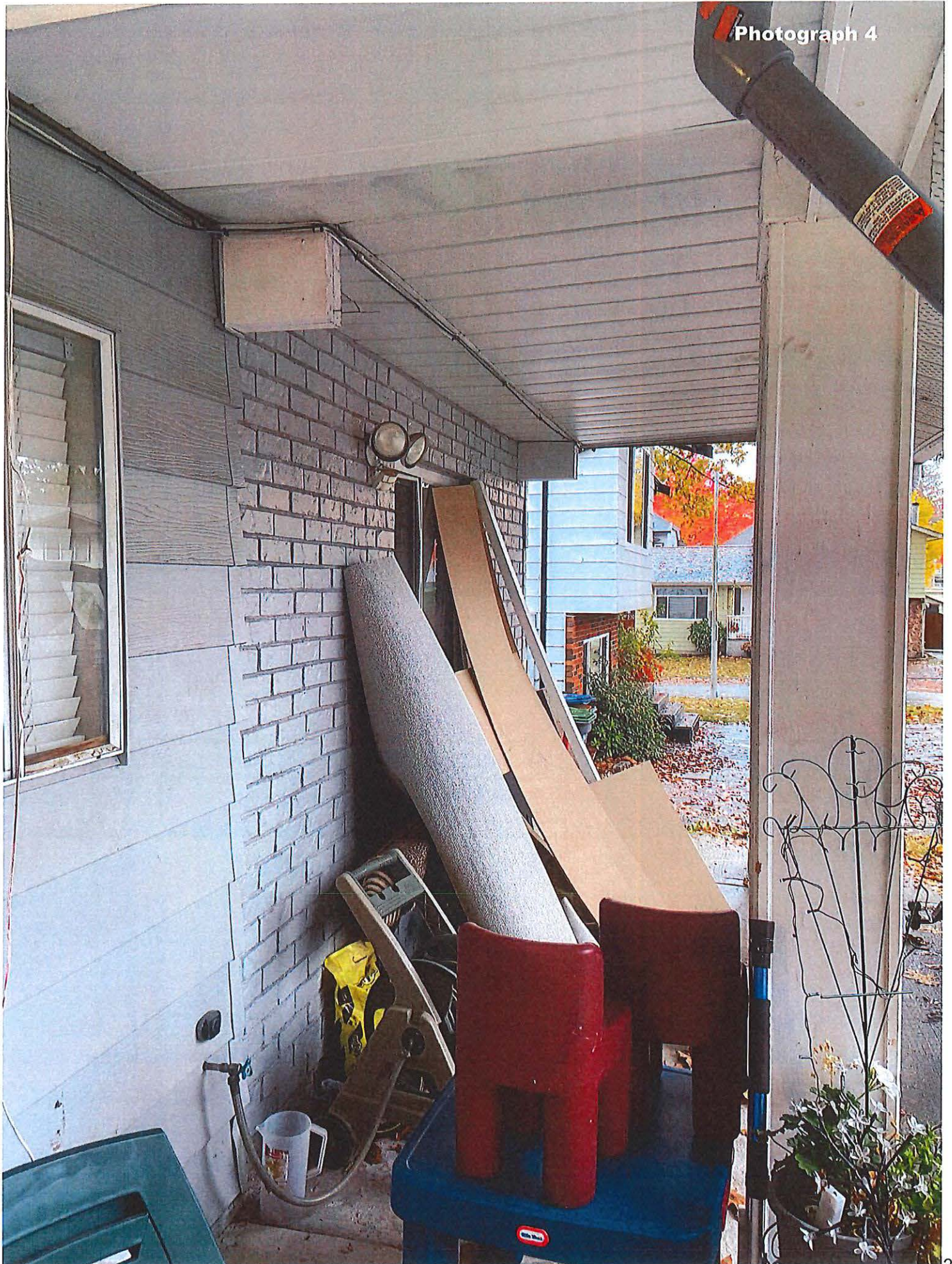
Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Schedule N
Photograph 1



Photograph 2





Photograph 3

Schedule O
Photograph 1



Photograph 2



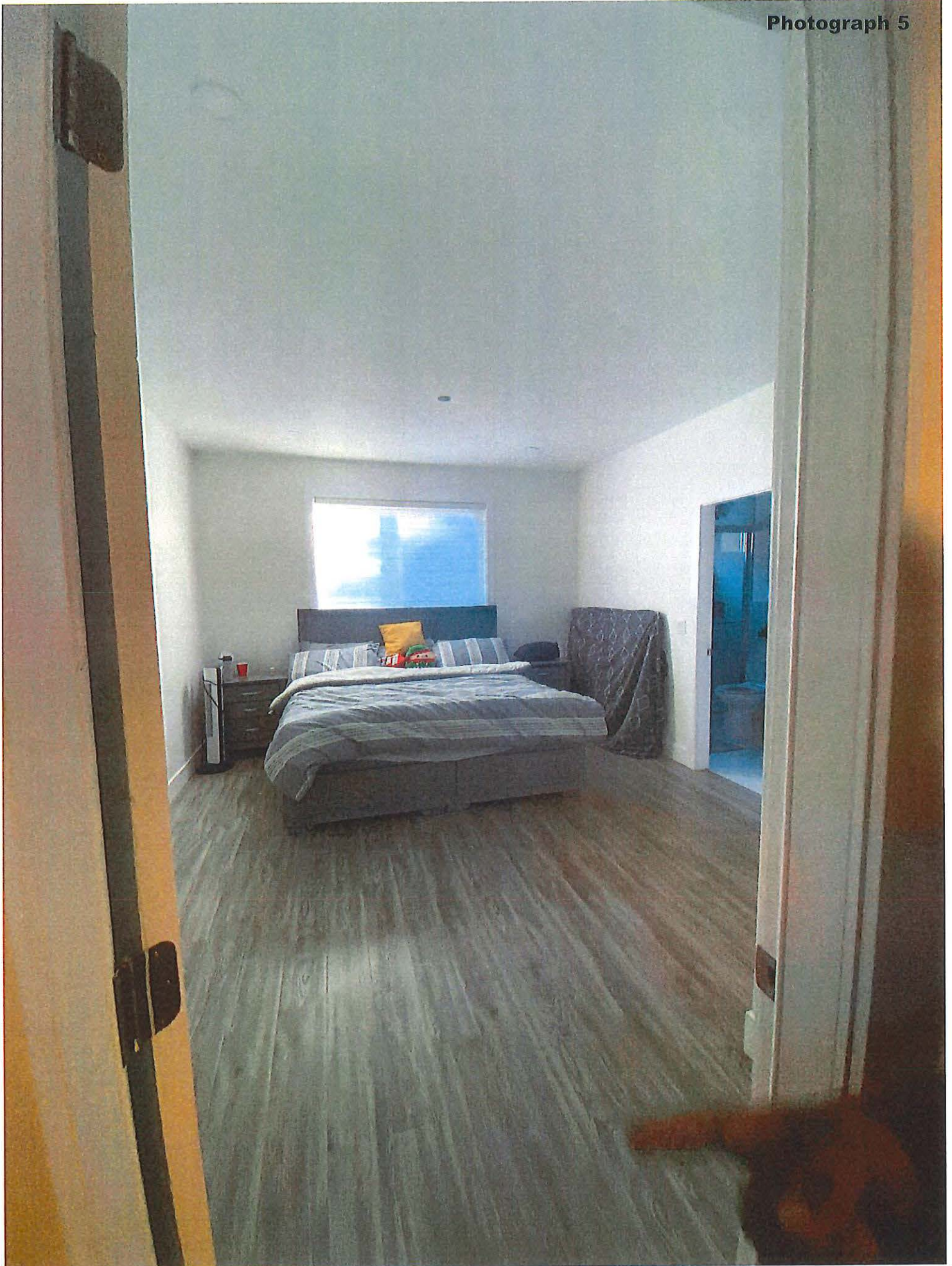
Photograph 3



Photograph 4



Photograph 5



Photograph 6



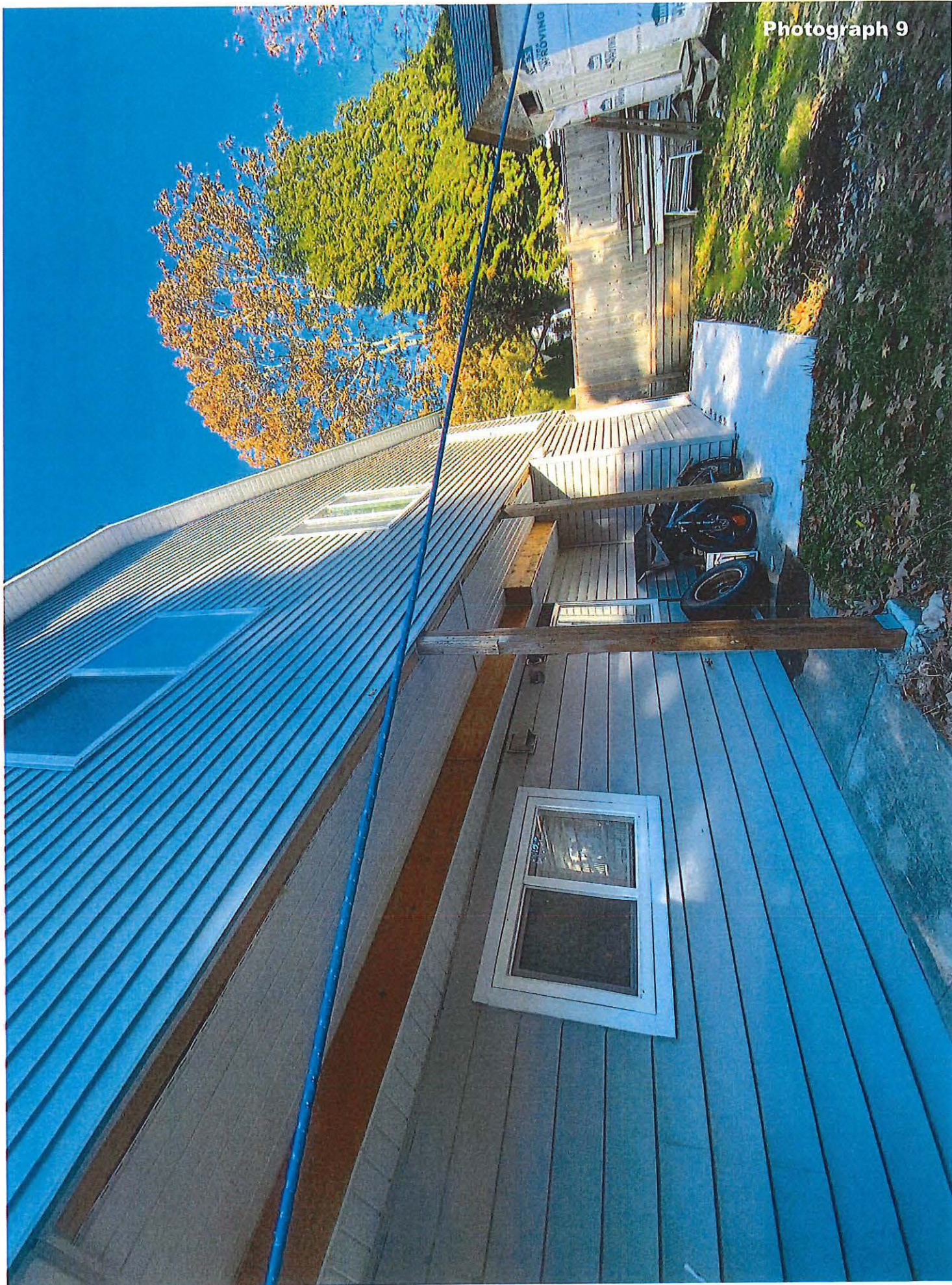
Photograph 7



Photograph 8

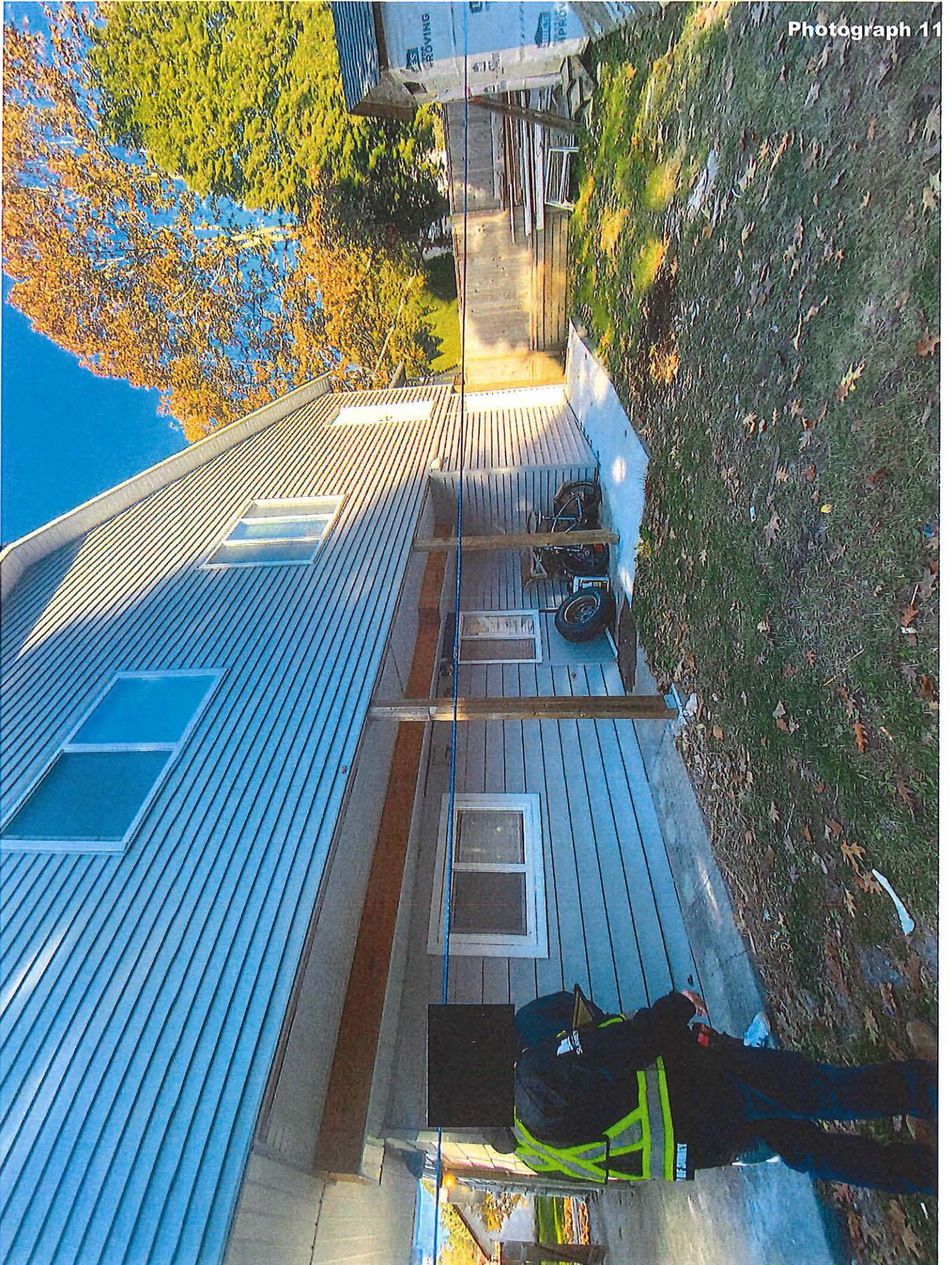


Photograph 9



Photograph 10







Photograph 2



Photograph 3



Photograph 4





Photograph 6



Photograph 7



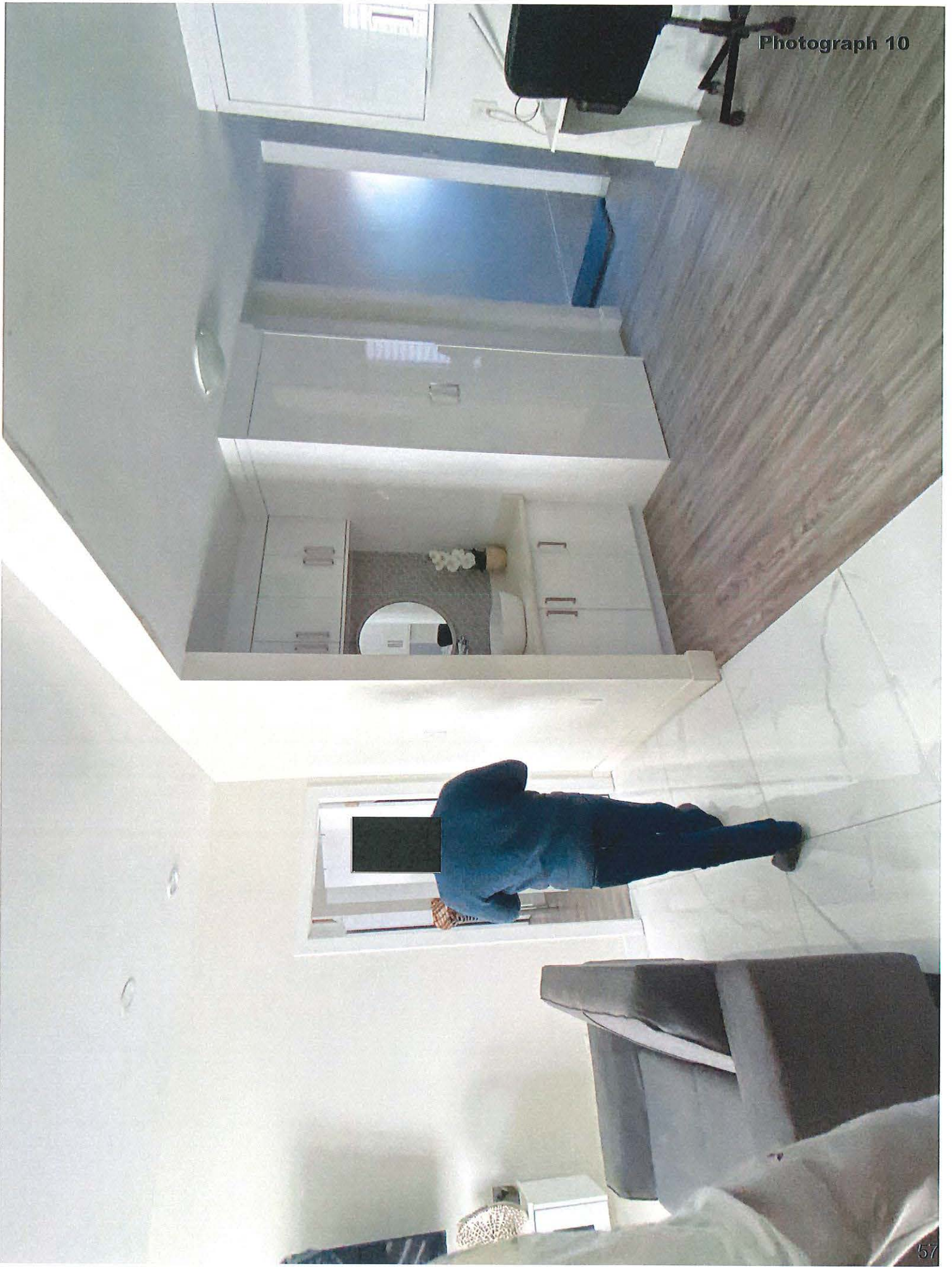
Photograph 8



Photograph 9



Photograph 10



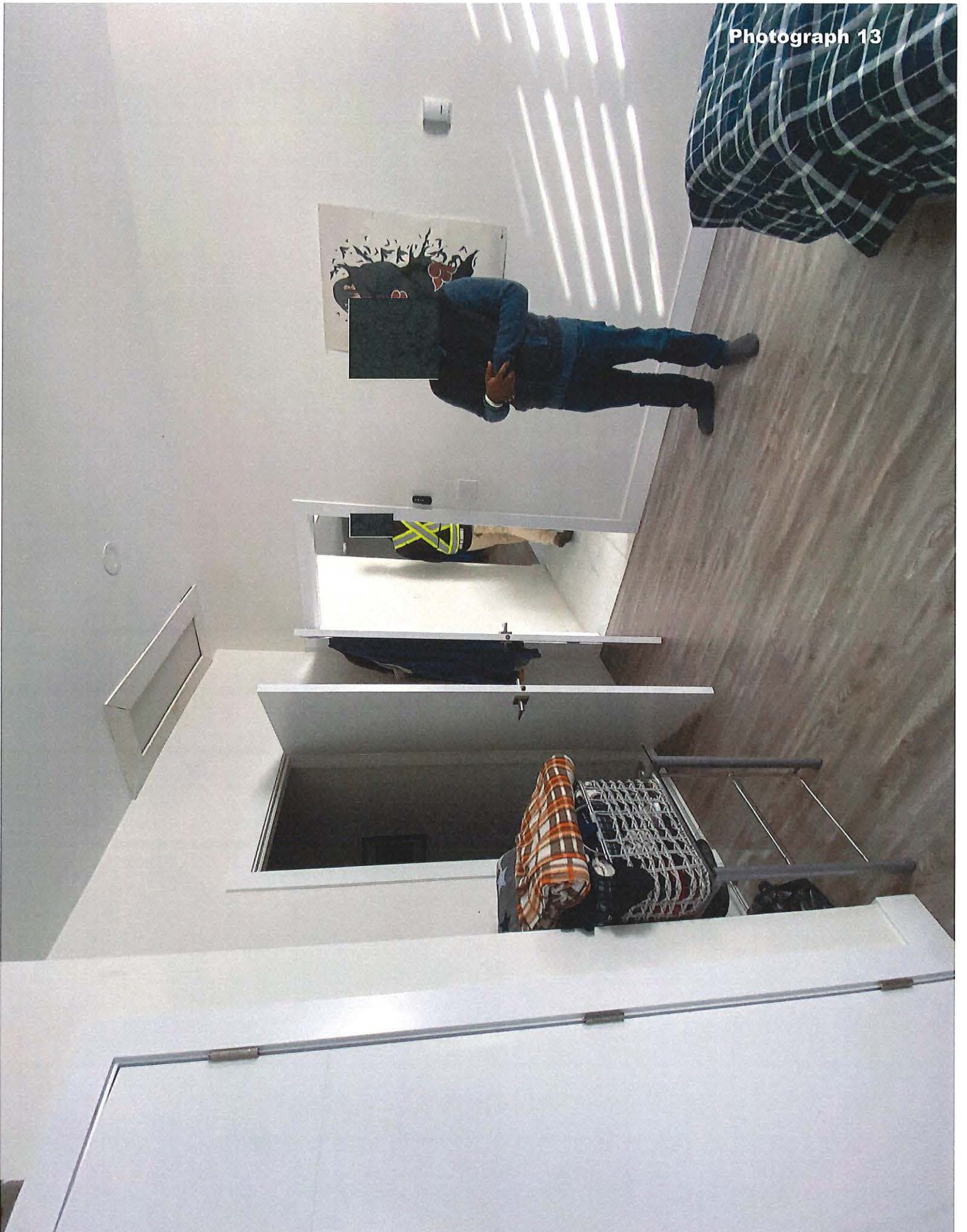
Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



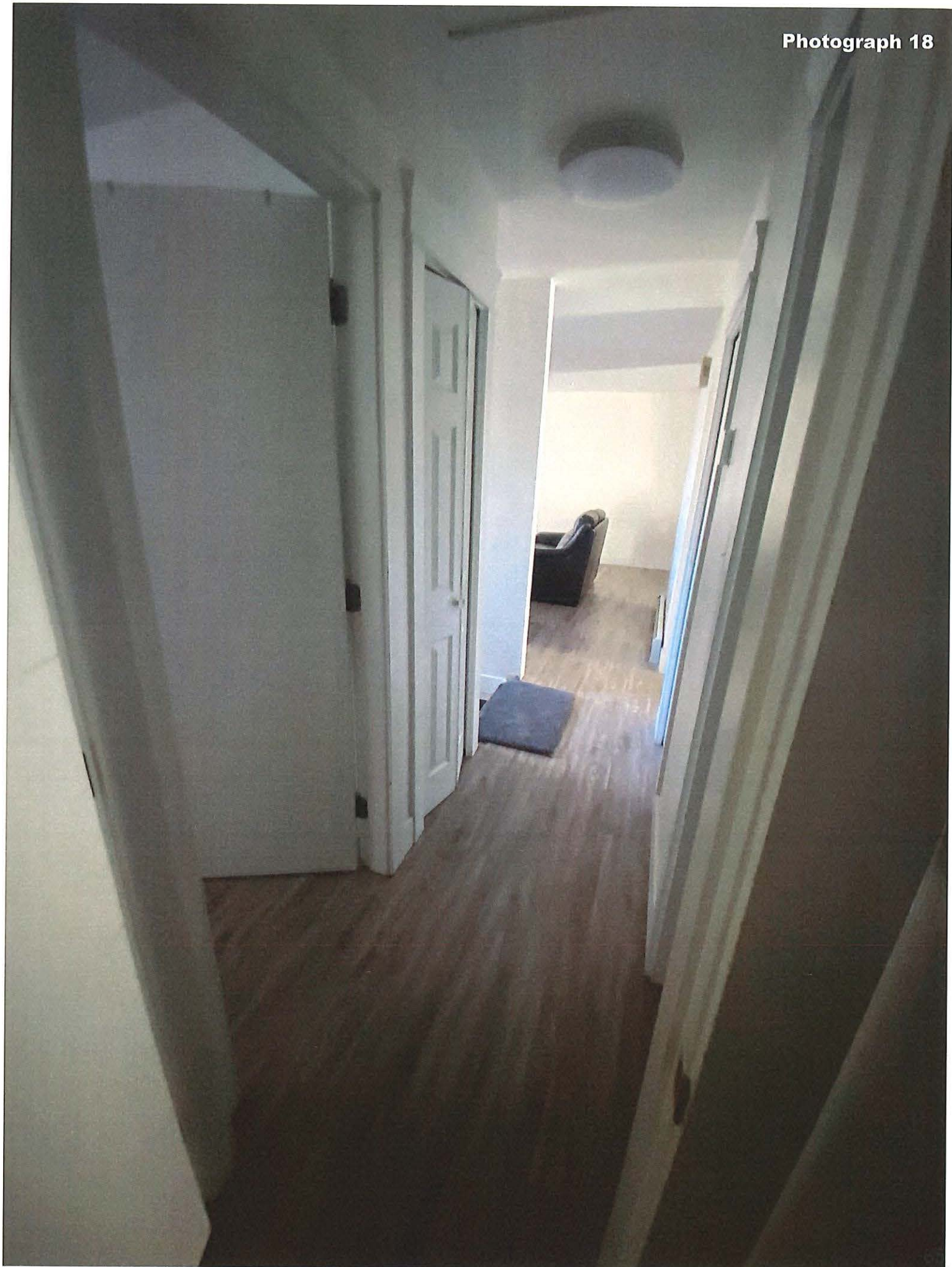
Photograph 16



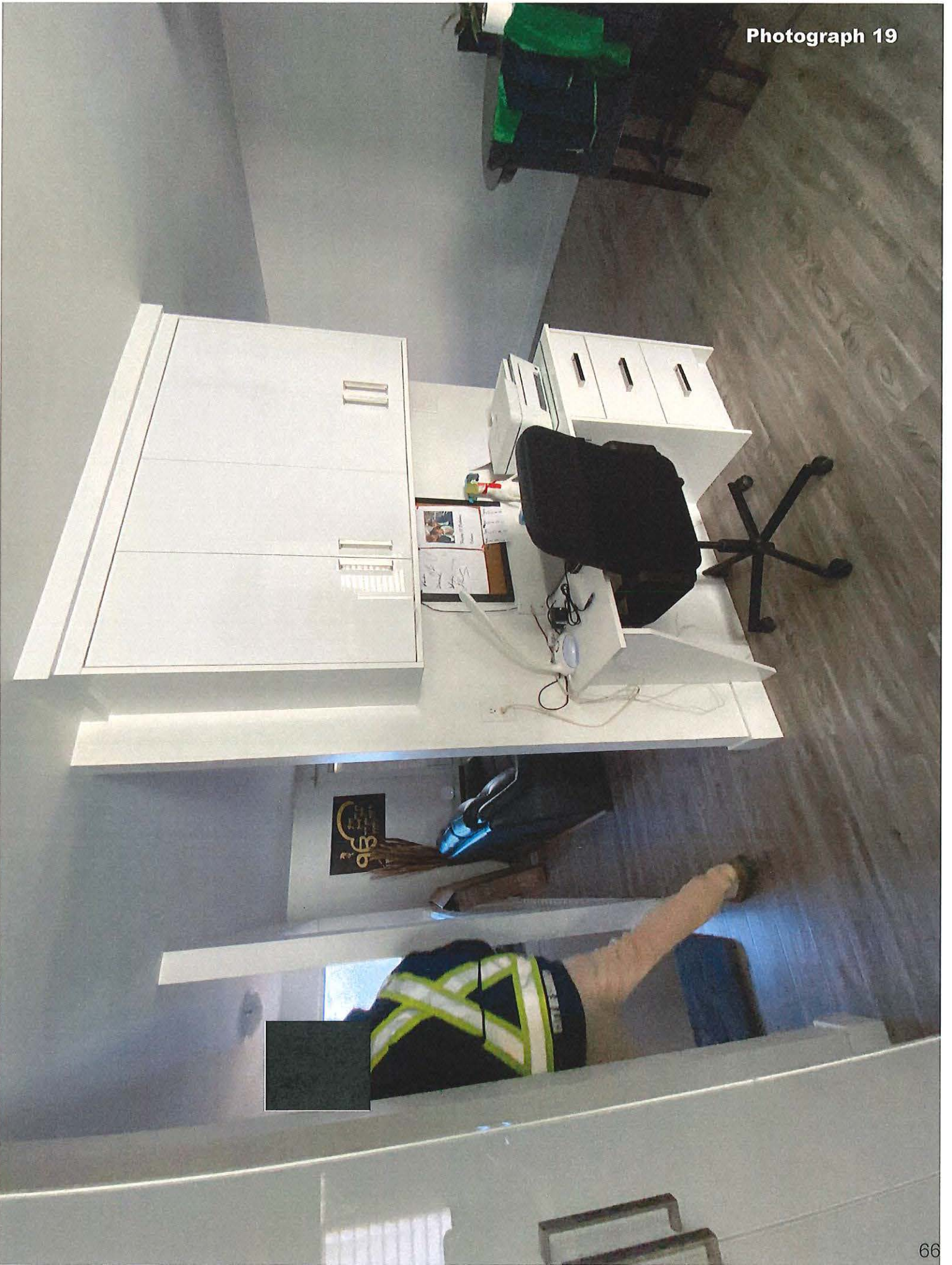
Photograph 17



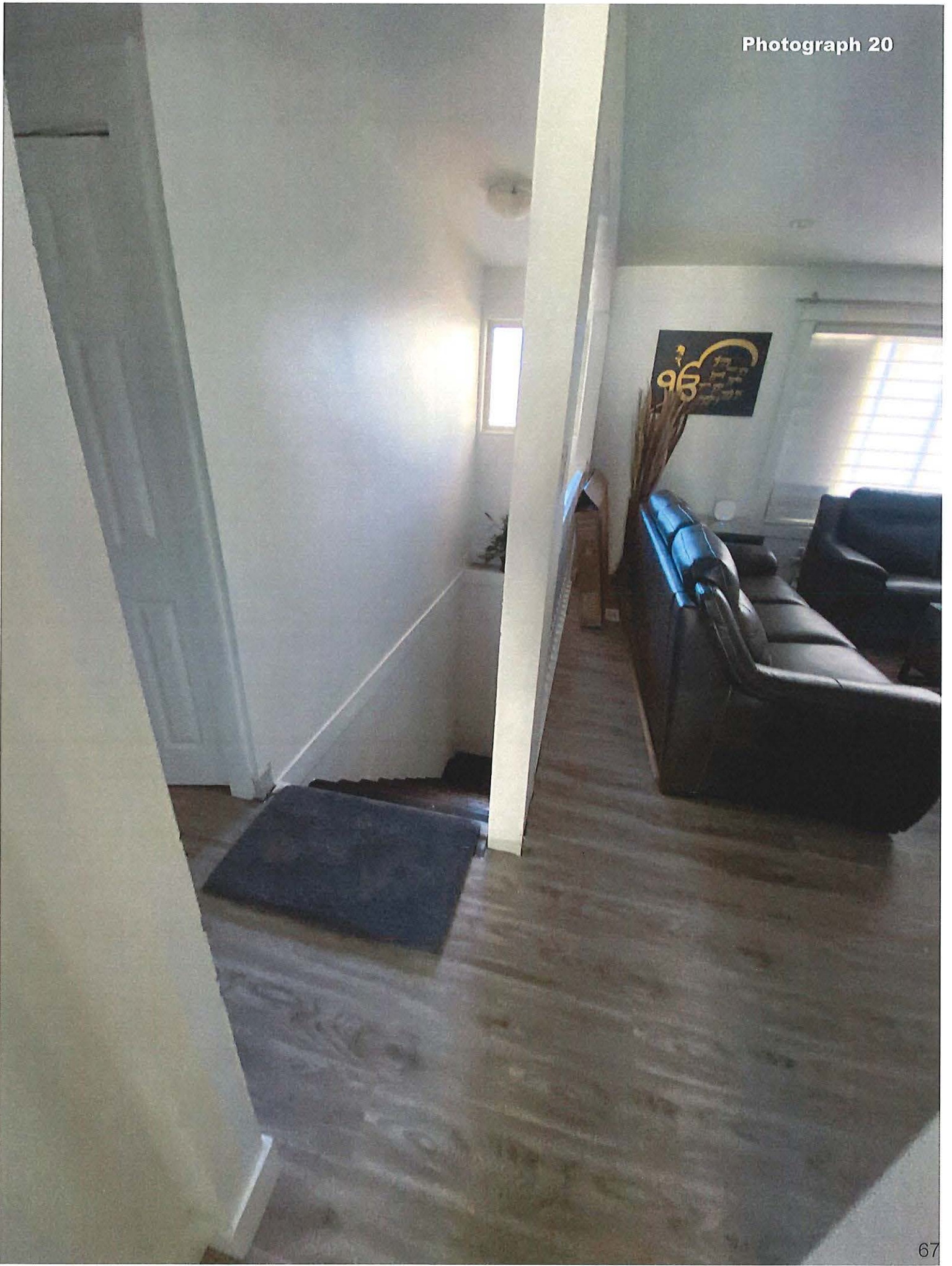
Photograph 18



Photograph 19



Photograph 20

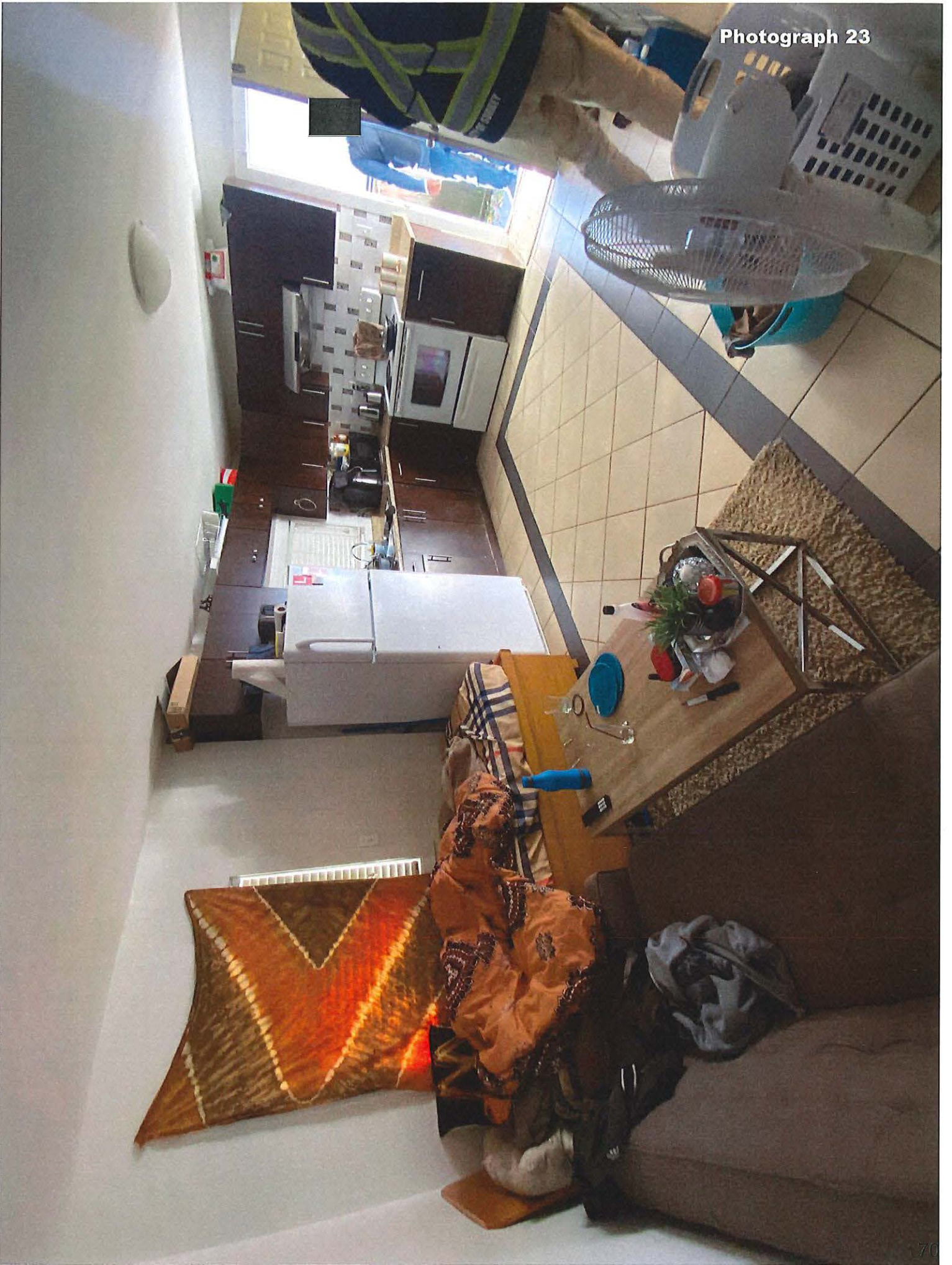




Photograph 22



Photograph 23



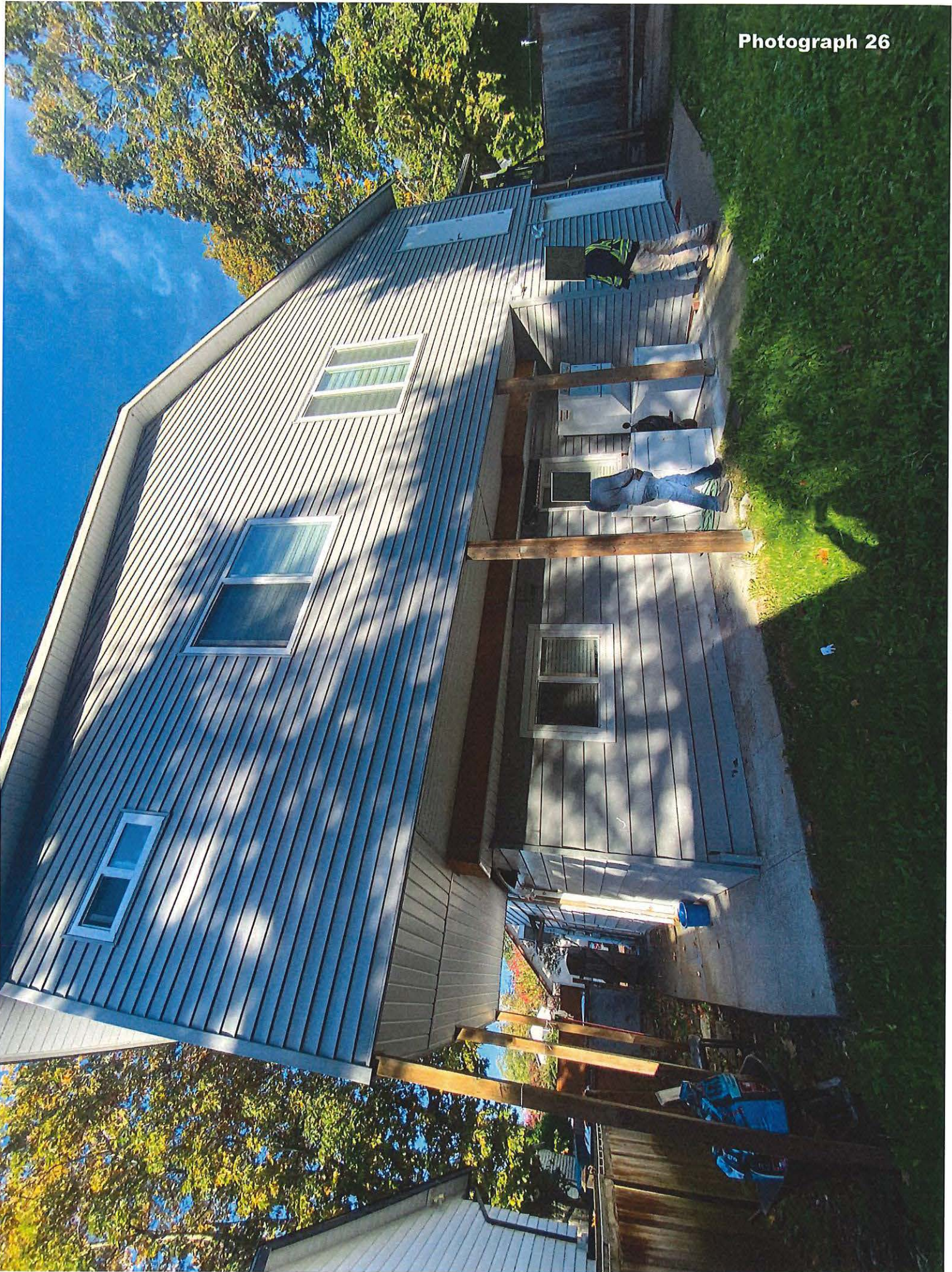
Photograph 24



Photograph 25



Photograph 26



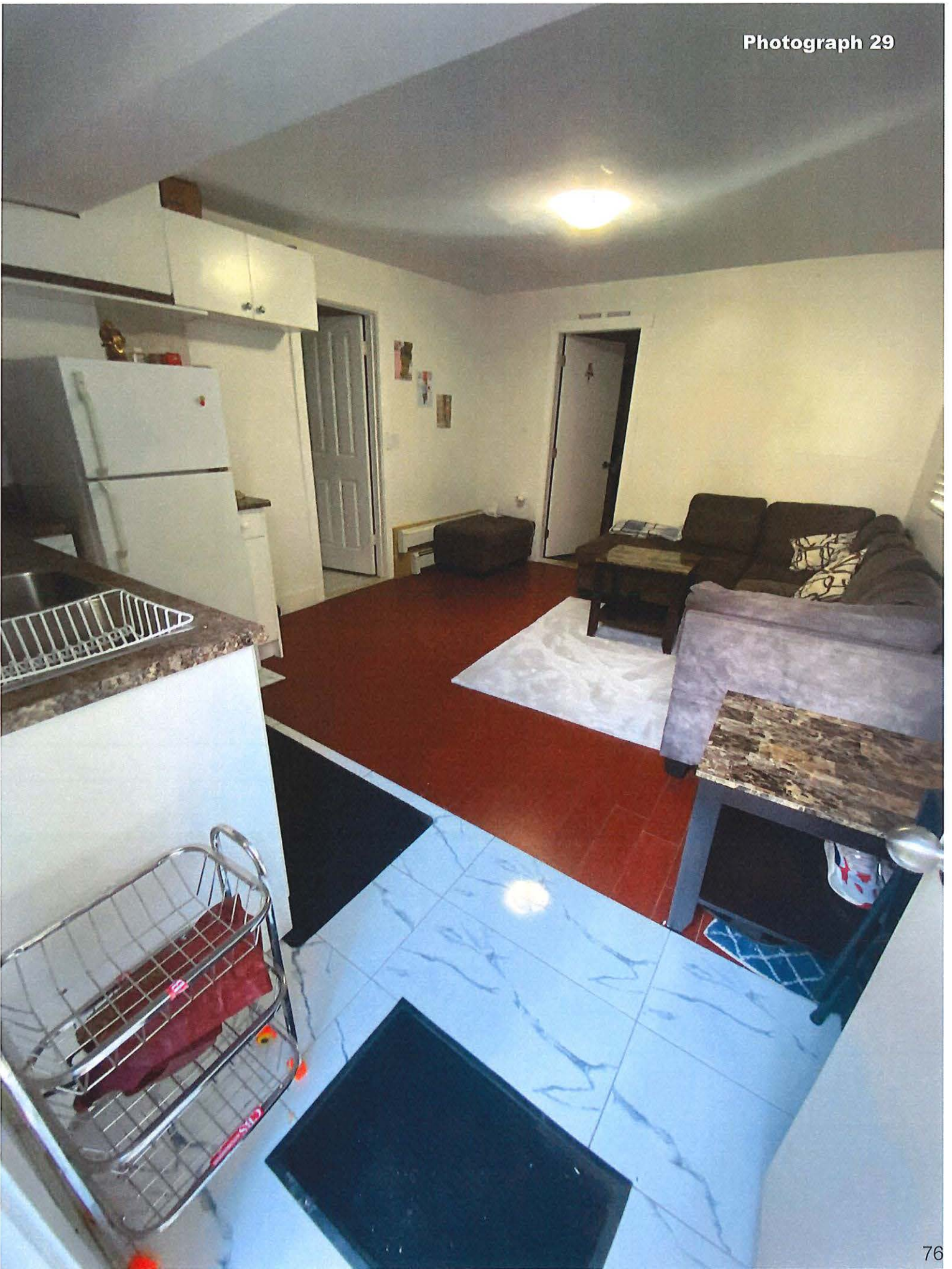
Photograph 27



Photograph 28



Photograph 29



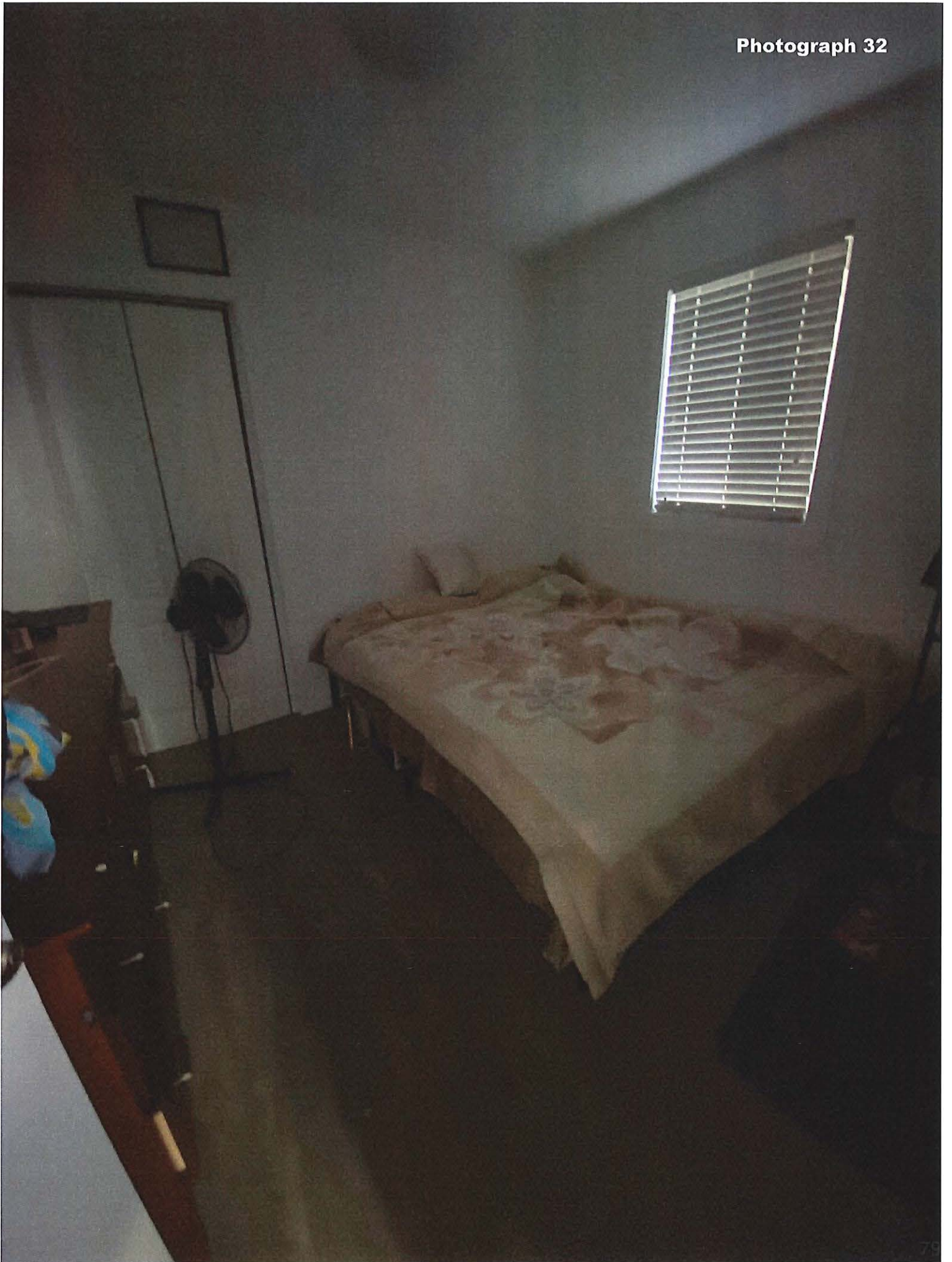
Photograph 30



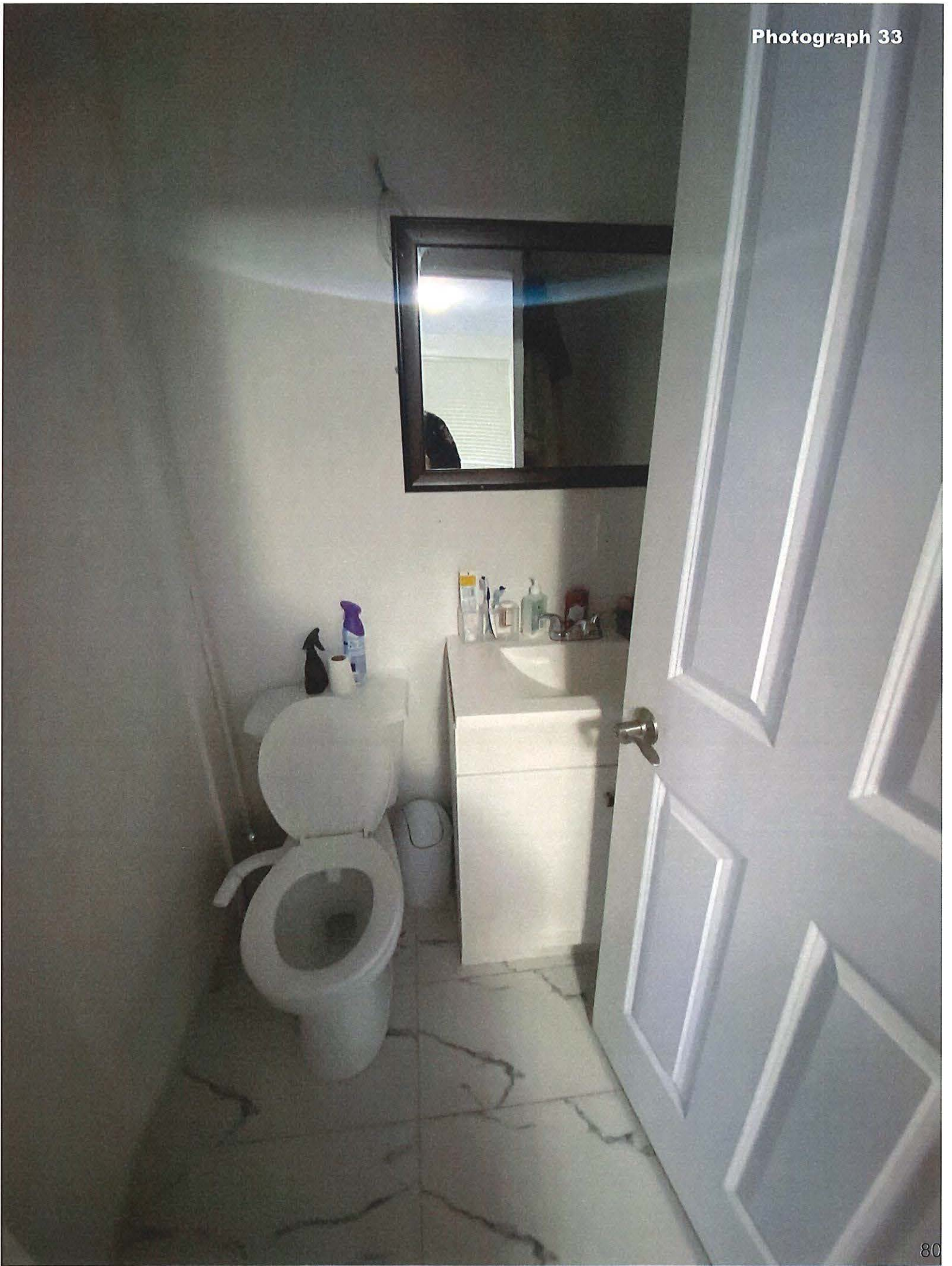
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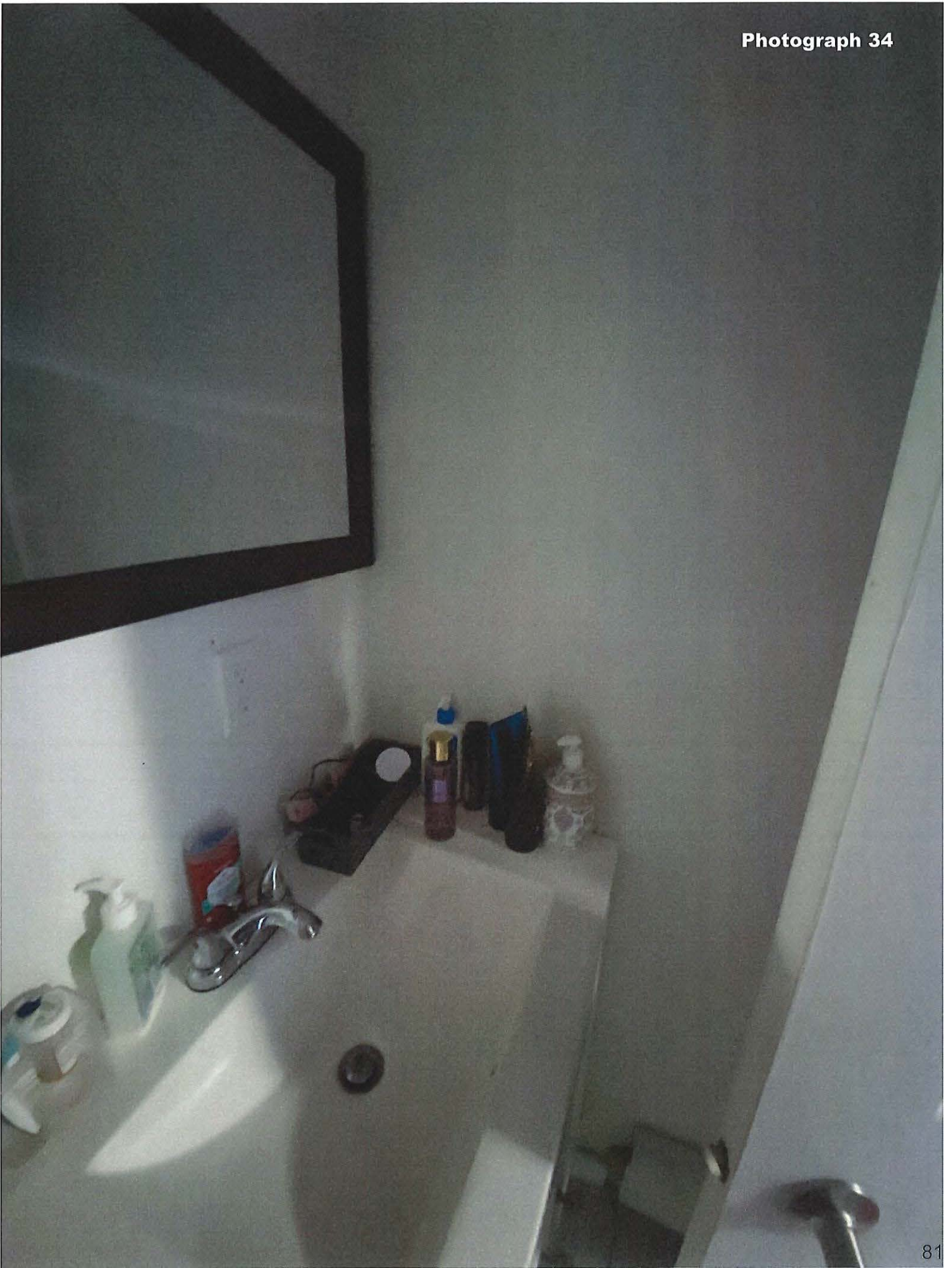
Photograph 32



Photograph 33



Photograph 34



**Schedule Q
Photograph 1**



Photograph 2



Photograph 3



Photograph 4



CITY OF SURREY

PRESENTATION BY
THE OWNER



CITY OF SURREY

QUESTIONS

CITY OF SURREY

CLOSING SUBMISSIONS
BY COUNSEL FOR THE
BUILDING INSPECTOR



CITY OF SURREY

CLOSING SUBMISSIONS BY
THE OWNER

CITY OF SURREY

DECISION BY COUNCIL



CITY OF SURREY

ADJOURNMENT

