

# Anniedale Tynehead Plan

## I Stage 1 Summary

Updated - June 2024

The updated Stage 1 Anniedale-Tynehead Neighbourhood Concept Plan (NCP) is the culmination of work undertaken over the past last two years. It presents a renewed vision and framework for growth, aligned with current market conditions, regulatory requirements, community feedback, and the latest City policies.

The plan outlines a clear path for responsible growth, addressing the urgent need for new jobs and housing while striving to create a compact, vibrant, and complete community.

### Community Vision

“Anniedale-Tynehead is envisioned as a vibrant, diverse, and sustainable community that embraces its natural environment. With compact, interconnected neighborhoods, diverse housing, ample job opportunities, and high-quality community spaces, it offers a high quality of life for all residents, addressing their daily needs with ease.”

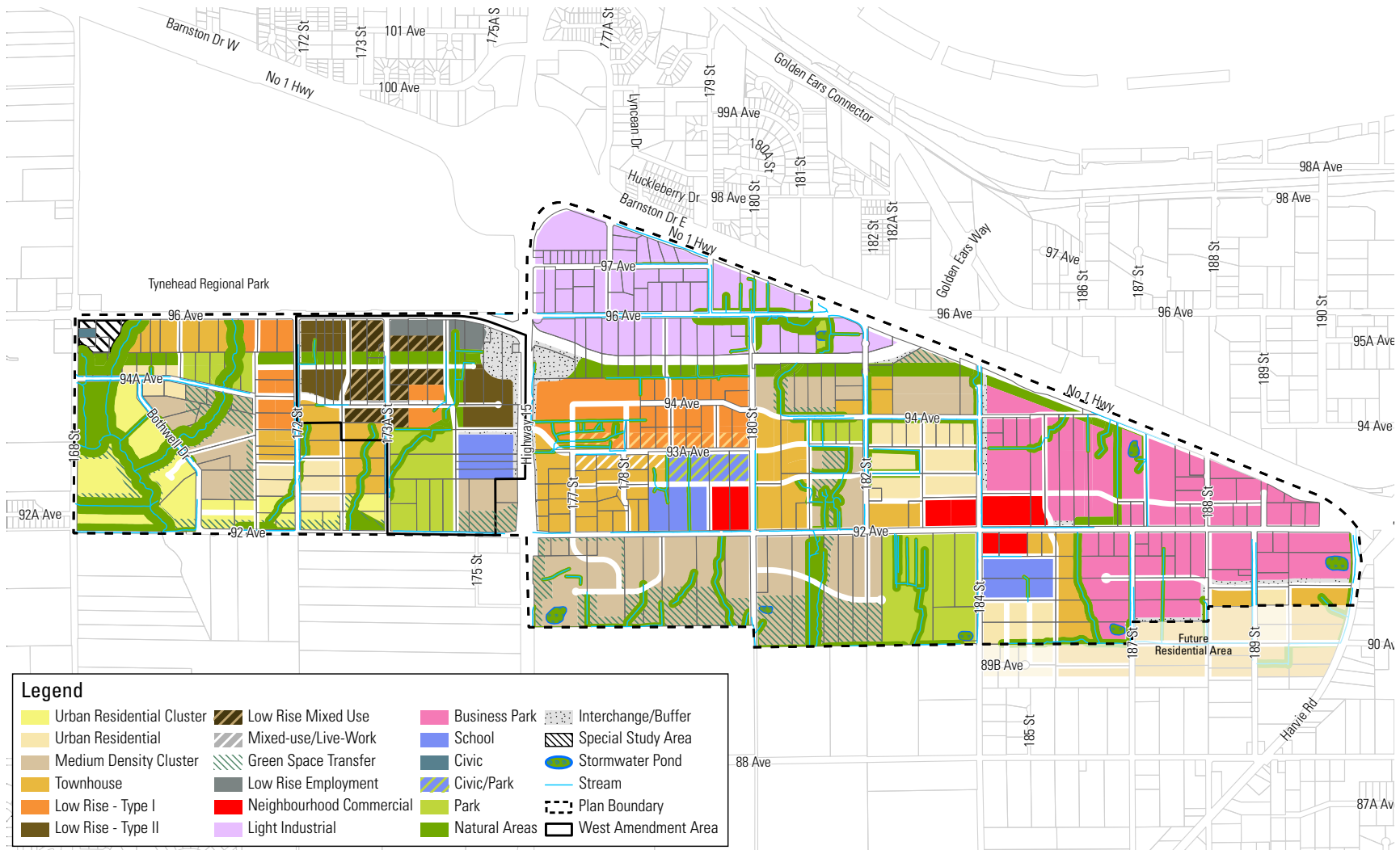
### Guiding Principles

- **LOCAL ECONOMY** - Support a thriving local community where food, shops, and necessities are locally available.
- **LOW-CARBON RESILIENCE** - Transition to a net zero carbon community that can adapt to the challenges of climate change.
- **INCLUSIVE COMMUNITY** - Foster a welcoming and inclusive atmosphere, providing amenities that promote active lifestyles, well-being, and social connections for all.
- **ECONOMIC OPPORTUNITIES** - Expand local job opportunities and economic diversity to support the growth of a complete community.
- **BIODIVERSITY CONSERVATION** - Preserve and enhance biodiversity by protecting and restoring healthy ecosystems and natural spaces.
- **ACCESSIBLE MOBILITY** - Prioritize sustainable mobility options to ensure easy access to amenities, jobs, and services for all residents.



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## Land Use Concept

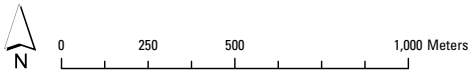


## Natural Area Concept



**Legend**

GIN Corridor/Hub	Class A Stream	GIN Corridor No.
Park	Class B Stream	Plan Boundary
Civic/Park	Streamside Area	
Wetland	Green Density Transfer	



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## Land Use Designations

### Urban Residential



Urban detached housing, laneway, semi-detached, row housing and lower density townhouse.

**Building Height**

9.0 - 9.5 meters (~30 feet)

**Density**

37 UPH

### Urban Residential Cluster



Detached residential, duplex, multiplex and row-housing clustered to preserve environmentally significant areas, steep slopes, unstable soils, and the ALR edge.

**Building Height**

9.0 - 9.5 meters (~30 feet)

**Density**

- 22 UPGH (with Green Space Transfer)  
- 10 UPGH (without Green Space Transfer)

### Townhouse



Ground-oriented townhouse buildings and related amenity spaces with a comprehensive design.

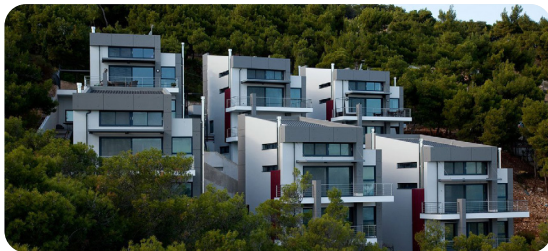
**Building Height**

3 storeys

**Density**

74 UPH

### Medium Density Cluster



Ground oriented Townhouses and low-rise apartments clustered to preserve environmentally significant areas, steep slopes, unstable soils, and the ALR edge.

**Building Height**

3 storeys

**Density**

- 44 UPGH (with Green Space Transfer)  
- 22 UPGH (without Green Space Transfer)

### Low Rise Type 1



Multi-family housing with ground oriented units at base. Typically apartments or stacked townhouse development.

**Building Height**

Up to 4 storeys

**Density**

1.30 FAR

### Low Rise Type 2



Typically apartments, with some ground floor commercial permitted.

**Building Height**

4 - 6 storeys

**Density**

2.0 FAR

Note:

'UPH' = Units Per Hectare | 'UPGH' = Units Per Gross Hectare | 'FAR' = Floor Area Ratio

## Land Use Designations

### Low Rise Mixed Use



Low rise apartments and ground-oriented commercial uses below with a focus on shops and services that cater to residents living in the area.

**Building Height**

4 - 6 storeys

**Density**

2.2 FAR inclusive of ground-oriented commercial.

### Low Rise Employment



Neighbourhood scale employment with, office, recreation, assembly and associated uses.

**Building Height**

Minimum 2 storey commercial / office and up to 5 storeys.

**Density**

1.5 FAR of employment use

### Light Industrial



Light industrial uses, including manufacturing, warehouse, wholesale trade, equipment storage and repair.

### Business Park



Comprehensively designed business park consisting of light impact industrial, offices, and service uses.

### Neighbourhood Commercial



Retail, services, and commercial facilities, offices, recreation, and associated uses.

**Building Height**

1 - 2 storeys

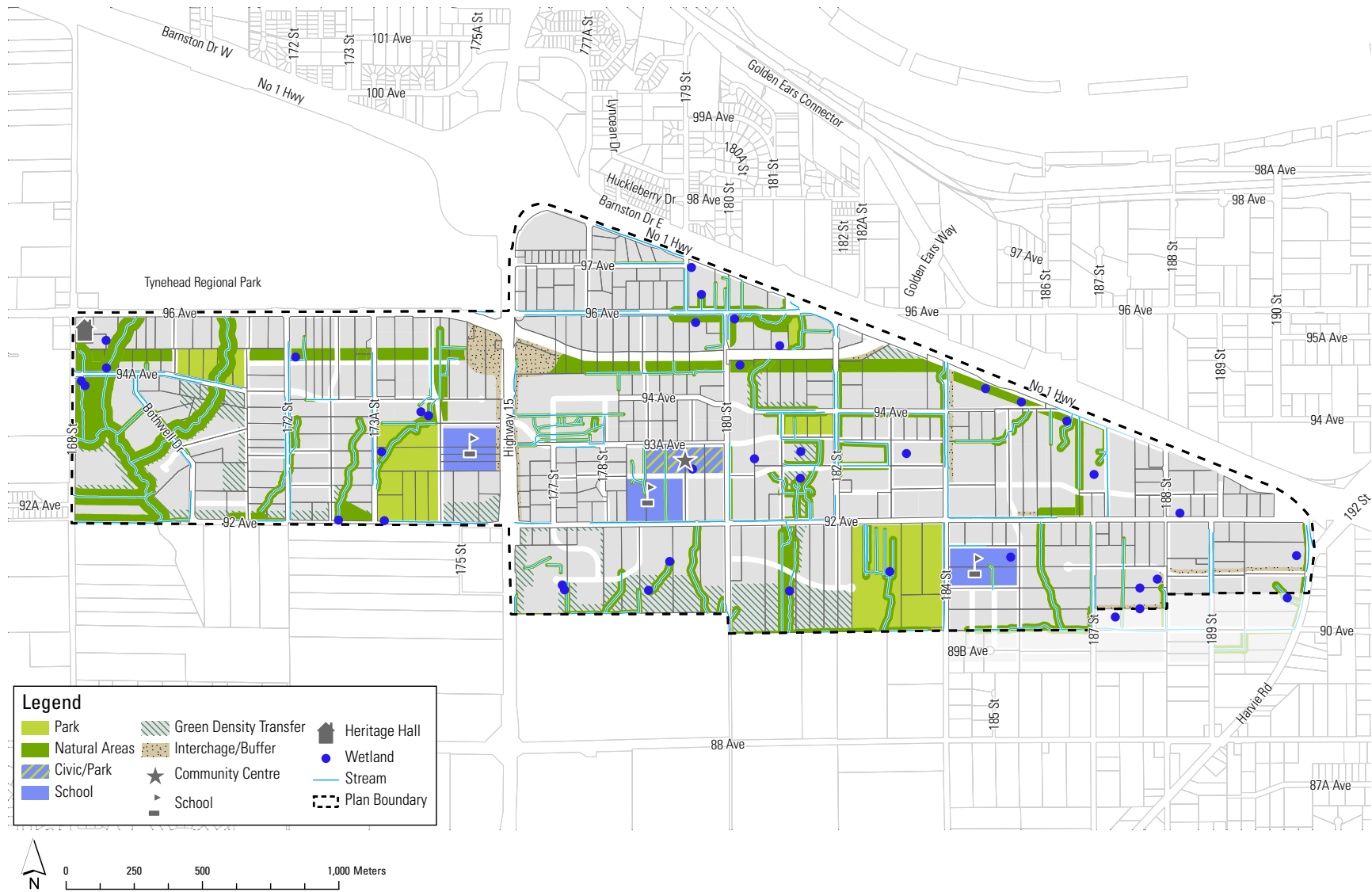
**Density**

0.5 FAR

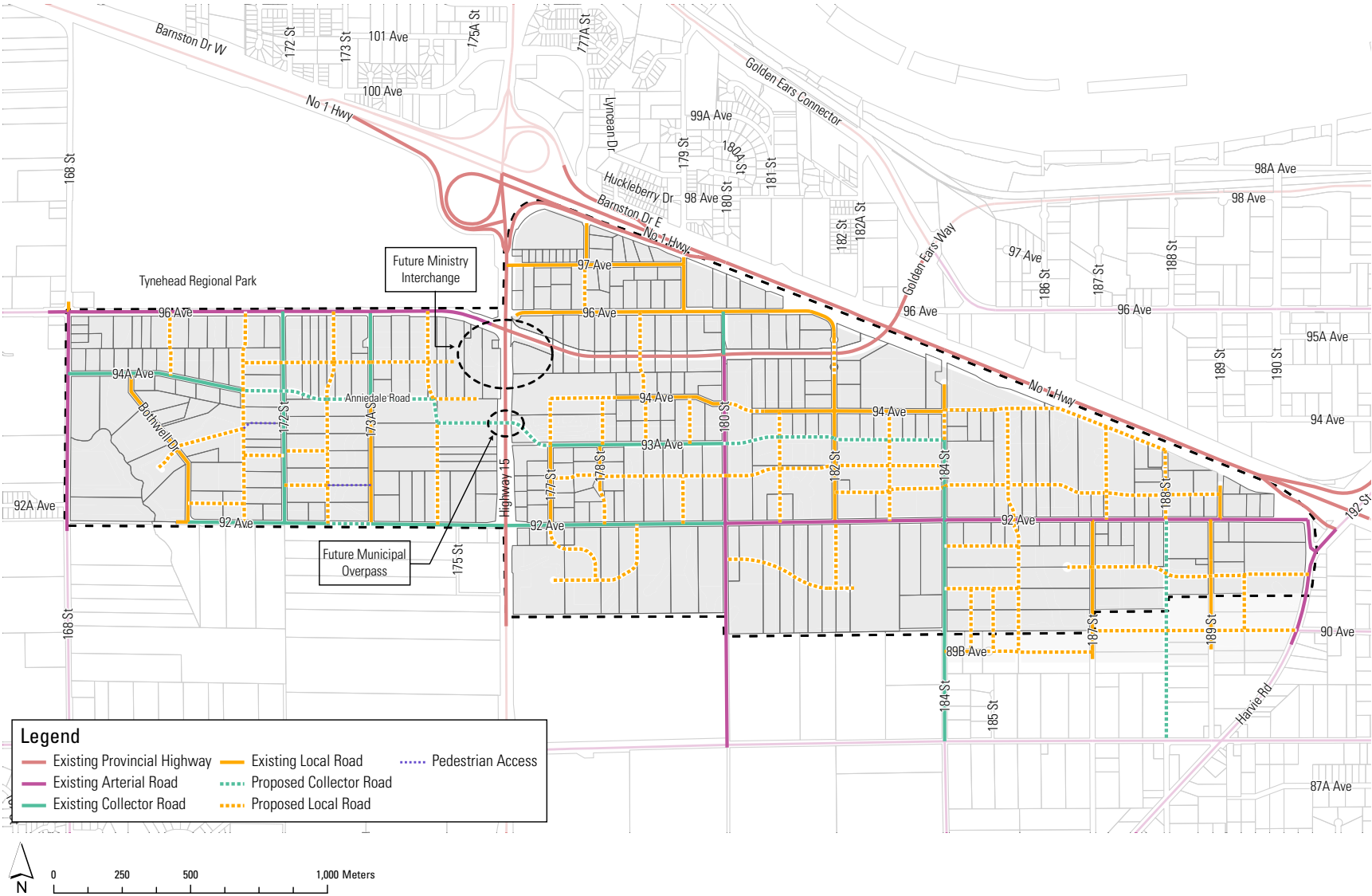
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## Park and Community Amenity Concept



## Transportation Concept



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## Cycling and Pedestrian Concept

