

January, 2013
BUILDING DIVISION

A GUIDE TO APPLYING FOR A BUILDING PERMIT FOR A DETACHED GARAGE OR ACCESSORY BUILDING

This bulletin is for general guidance only. It does not replace by-laws or other legal documents.

Building Permit Application Requirements for a Detached Garage or Accessory Building:

The purpose of this brochure is to explain to owners and contractors the minimum building permit application requirements for new residential garages or accessory buildings.

This bulletin is a guide only. It should be used in conjunction with, and not as a substitute for the Surrey Building Bylaw, Surrey Zoning Bylaw, Surrey Tree Protection Bylaw, current editions of the B.C. Building Code, Canadian Electrical Code (with B.C. amendments) and B.C. Plumbing Code.

The drawings in this bulletin shall not be reproduced for inclusion with your Building Permit Application.

With your cooperation in submitting complete applications, we will be able to provide better and faster service. If the requirements set out in this brochure are not met, the application may be rejected. Please note that additional information such as a survey plan and floor plans of existing house, etc., may be required to confirm compliance with the Surrey Zoning Bylaw and the B.C. Building Code.

An accessory building of less than 10 square metres (108 sq.ft.) in building area used for storage purposes only may be placed or constructed without a building permit provided it does not create a hazard and further provided that such building complies with the requirements as set out in the Surrey Zoning by-laws and any other applicable provision of a Development permit or restrictive covenant.

Application Requirements:

1. Completed building permit application forms; with approximate construction values indicated.
2. Letter of authorization from the owner of the lot, if anyone other than the owner will be signing the application forms. A title search of the property may be required.
3. Engineered truss layout (if applicable).
4. Topographical survey plan is usually required. Topographical survey plan to show grade elevations and all trees on and in close proximity to the lot. Locations, size and species to be marked out for all existing trees on the lot and any nearby trees on boulevards or neighbour's lot.
5. Building permit application fee.
6. Submit one set of drawings to the following minimum scales:

<u>Drawing Type</u>	<u>Preferred Scale</u>
Site Plan	1/8" = 1'-0" (or 1/16" = 1'-0" for larger sites)
Foundation, floor and roof plans	1/4" = 1'-0"
Cross Sections	1/4" = 1'-0"
Elevations	1/4" = 1'-0"
Construction Details	1/2" = 1'-0"

All plans and information submitted must be legible and suitable quality for scanning. Minimum size 11" x 17" sheets are required (24"x36" preferred). Blueprint paper, vellum or graph paper will not be accepted. Drawings in colour ink or in pencil will not be accepted. Drawings should not be laminated. Reversed plans are not acceptable.

Drawings, except the site plan, will be accepted in imperial measures until such time as local industry standards for residential construction are converted to metric standard. Grade elevations to be in metric and to the Geodetic Survey of Canada.

Drawings to be sealed and signed by registered professional engineer (if applicable).

Drawings to be signed and approved by the design consultant (if applicable).

SPECIFIC DRAWING REQUIREMENTS:

Site Plan (see Page 5):

- North arrow, street names and lane(s);
- Civic address and legal description;

- Show all existing buildings on the lot and highlight the proposed detached garage or accessory building area;
- Overall building dimensions of the proposed detached garage or accessory building and the existing building;
- Distance of all building setbacks measured perpendicular to the property lines (front, rear, and side yard setbacks);
- Indicate existing and proposed lot coverage and floor area ratios;
- Existing driveway location and all adjoining street names;
- Distance between the new accessory building/garage and any other existing buildings (building separation);
- Existing and proposed grades at all corners of the garage and grades of driveway at property line and provide driveway slope in %, grades at lane and/or pavement;
- Property line (lot) dimensions as per Posting Survey;
- Driveway(s) and crossing(s) including width and distance from property line(s);
- Easements, right-of-ways, watercourses, and areas restricted by covenant;
- Show storm water solution; Location of sump and connection to city storm/ditch (if applicable);
- Retaining wall dimensions/locations and heights (if applicable);
- Slab elevation of proposed garage slab; and
- Locations, size and species of all existing trees on the lot and also location of any nearby trees on boulevards or neighbour's lot. An arborist report and/or tree barriers may be required, please check with Trees and Landscaping section at front counter or Tel: (604) 591-4675.

Foundation, Floor and Roof Plans (see Page 6):

- Overall building dimensions of the garage or accessory building. Refer Surrey zoning by-law Part 5 (B.1) to check for permitted minimum garage sizes;
- Complete dimensions for all proposed construction;
- Label the use of all rooms;
- Windows and doors including door swings and sizes; and
- Direction and sizes of all roof structural components, including beams and hangers (signed and sealed by a registered professional engineer if engineered beams are used).

Cross Section and Details (see Page 7):

- Floor to ceiling height;
- Building height which is measured between average existing grade to midpoint of roof;
- Floor, ceiling, roof and wall assembly details;
- Footing and foundation wall details; and
- Drain tile specifications.

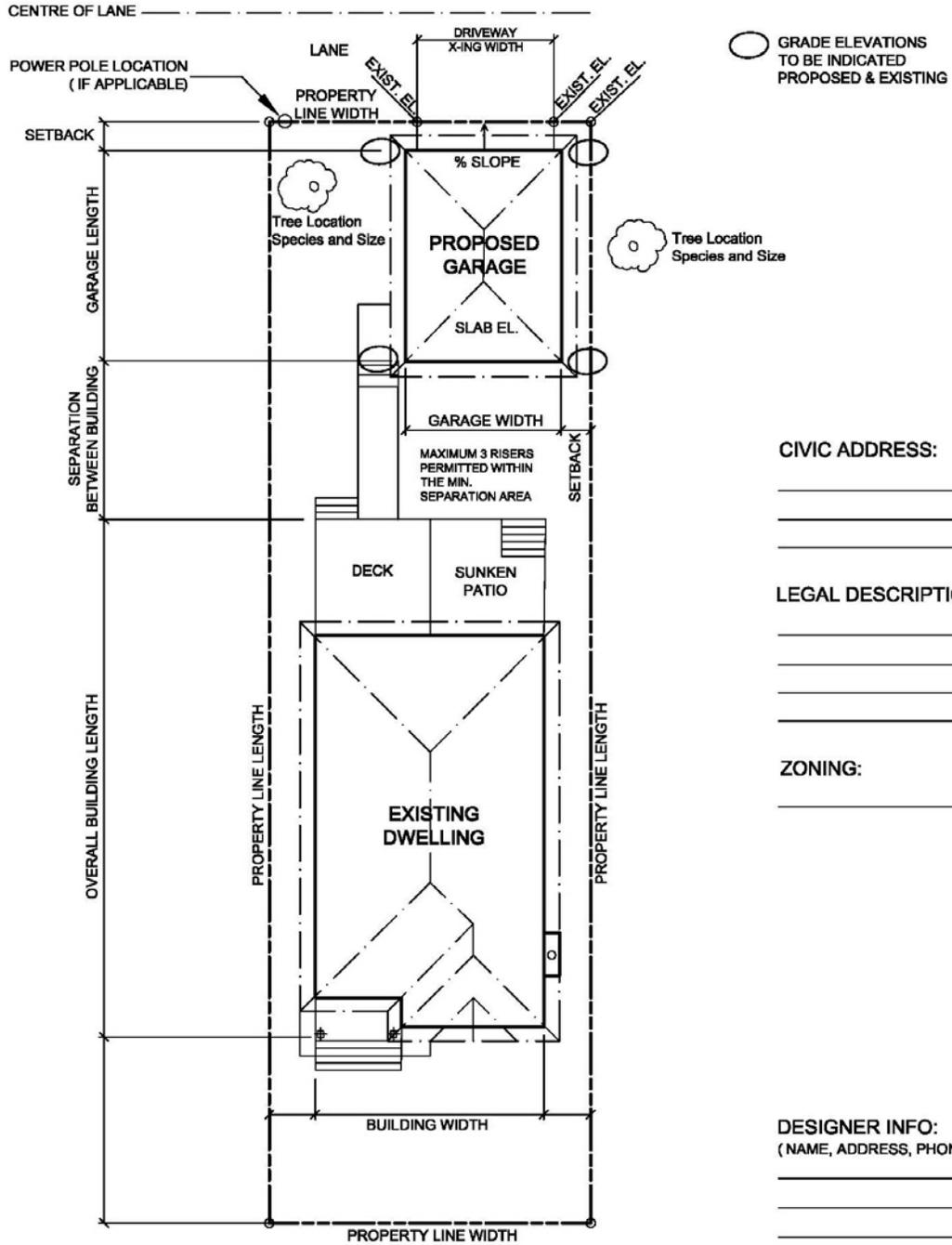
Elevations (see Page 8):

- Exterior finishes;
- Window and door sizes;

- Existing and finished grades at building corners;
- Elevations (indicating building height) at finished floor, uppermost ceiling, and midpoint of roof;
- Show building height (dimension between average finished (existing) grade elevation and midpoint of roof) and also indicate if/when roof slope and construction materials are same as that of principal house; and
- Roof slope(s).

If you cannot prepare acceptable drawings yourself, please retain the services of a qualified designer.

If you have any questions or concerns please contact the City of Surrey Building Information Line at (604) 591- 4366.



CIVIC ADDRESS:

LEGAL DESCRIPTION:

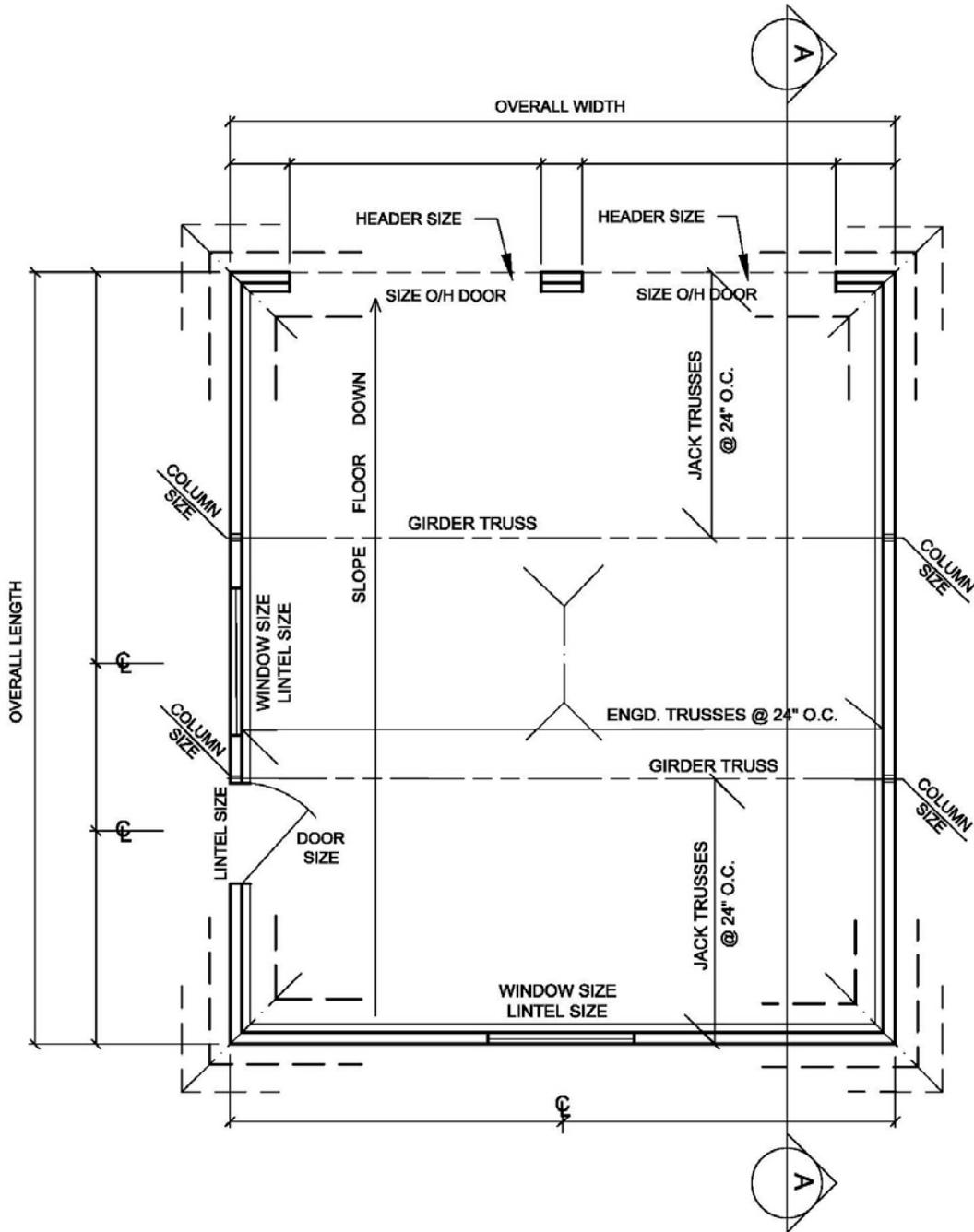
ZONING:

DESIGNER INFO:
(NAME, ADDRESS, PHONE)

ADDRESS
AVENUE / STREET

SITE PLAN
PREFERRED SCALE: 1/8"=1'



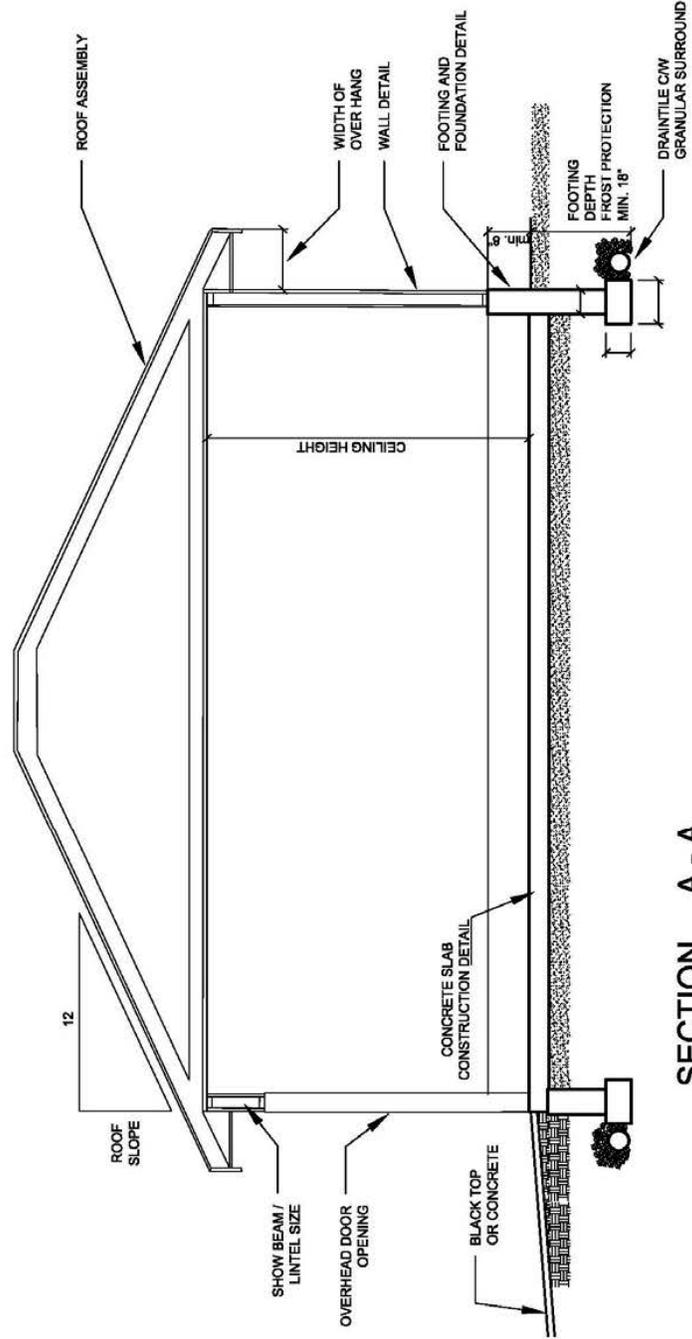


FLOOR PLAN

AREA ϕ

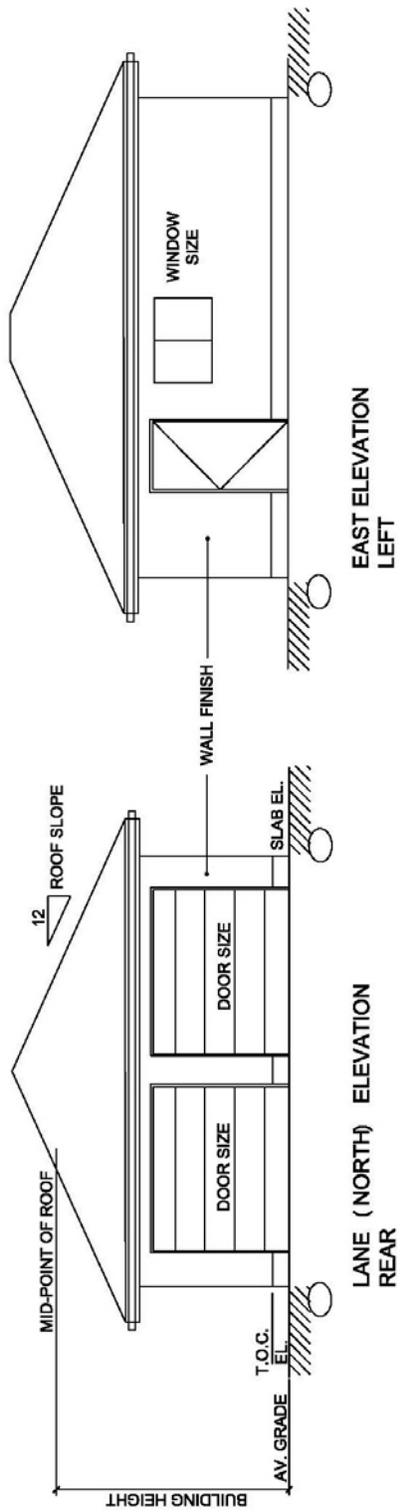
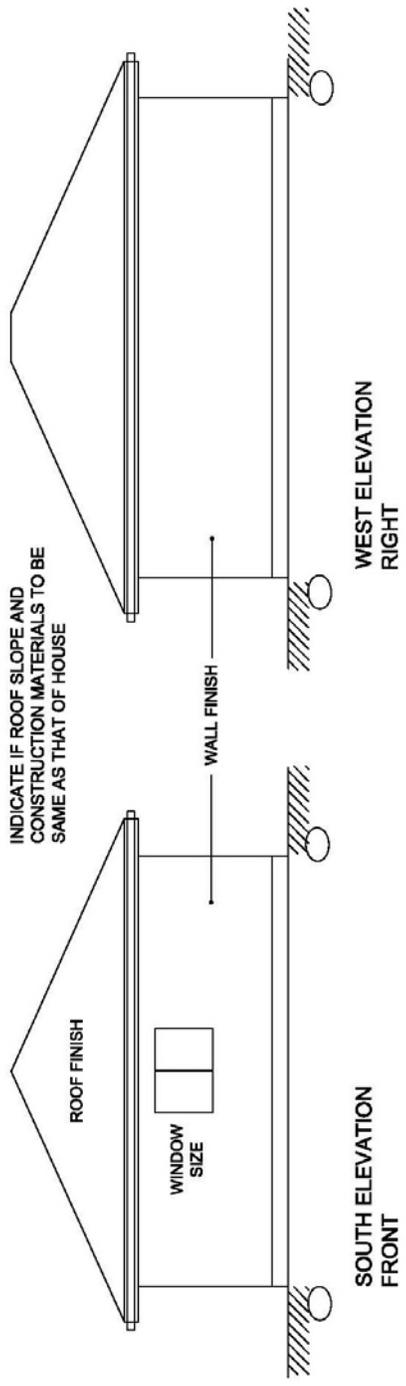
PREFERRED SCALE: $\frac{1}{4}$ " : 1'

* FOR MINIMUM GARAGE SIZES:
REFER TO SURREY ZONING BY-LAW
PART 5 (B.1) FOR PARKING
DIMENSIONS AND STANDARDS



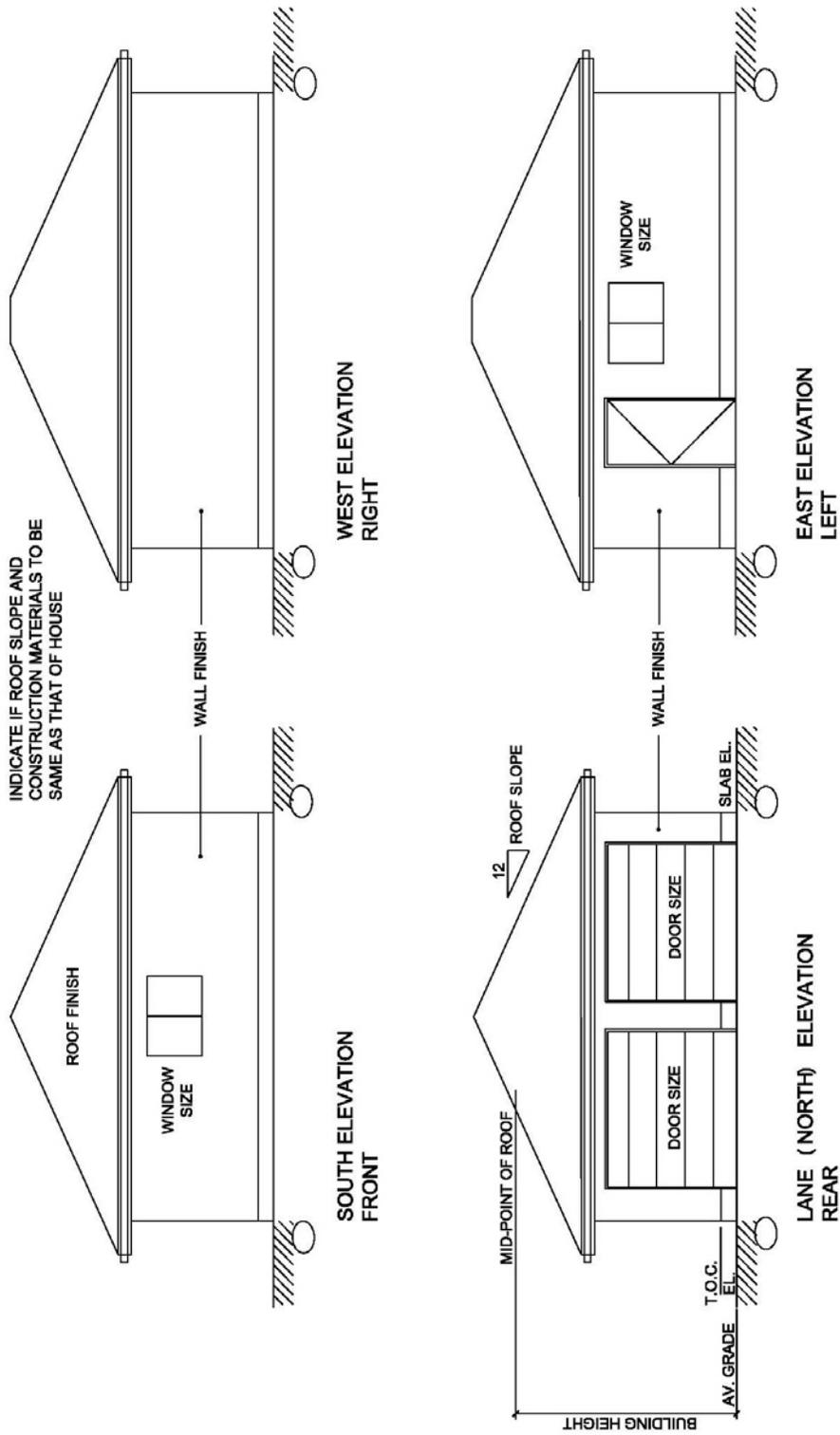
SECTION A - A

PREFERRED SCALE: $\frac{1}{4}":1'$
CONSTRUCTION SHALL COMPLY WITH
THE CURRENT EDITION OF THE
THE BC BUILDING CODE



PREFERRED SCALE: 1/4"=1'

SPATIAL CALCULATION
LIMITING DISTANCE:
WALL AREA: (EXPOSING BUILDING FACE)
PERMITTED GLAZED OPENING:
ACTUAL GLAZED OPENINGS:



PREFERRED SCALE: 1/4"=1'

SPATIAL CALCULATION
LIMITING DISTANCE:
WALL AREA: (EXPOSING BUILDING FACE)
PERMITTED GLAZED OPENING:
ACTUAL GLAZED OPENINGS: