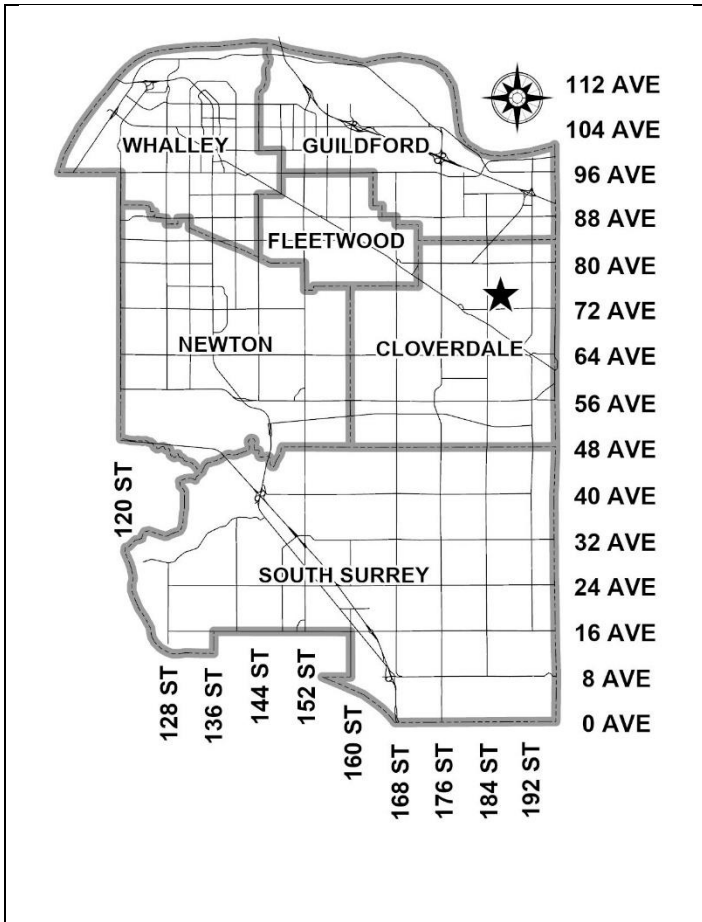


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7923-0139-00

Planning Report Date: February 24, 2025



**PROPOSAL:**

- **NCP Amendment** from Proposed Elementary School and Green Density Transfer to High Density Cluster and Wildlife Corridor
- **Rezoning** from RA to RM-30
- **Development Permit for Sensitive Ecosystems - Green Infrastructure**
- **Development Variance Permit**

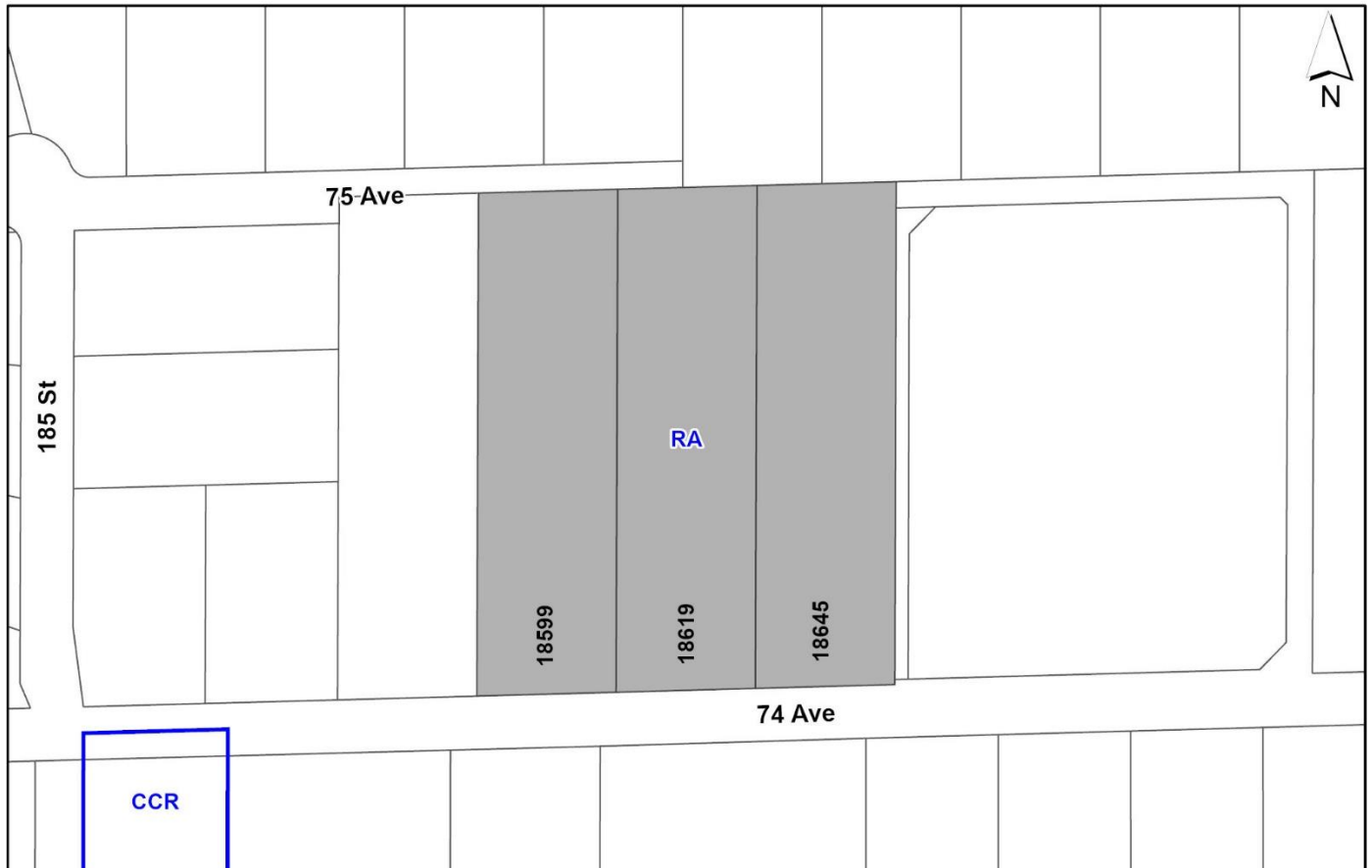
to permit the development of 152 townhouse units with reduced setbacks and increased back-to-back units.

**LOCATION:** 18645 - 74 Avenue  
 18619 - 74 Avenue  
 18599 - 74 Avenue

**ZONING:** RA

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** Proposed Elementary School & Green Density Transfer



## **RECOMMENDATION SUMMARY**

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading
- Approval to draft Development Permit for Form and Character and Sensitive Ecosystems – Green Infrastructure.
- Approval for Development Variance Permit to proceed to Public Notification.

## **DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- Proposing an amendment to the West Clayton Neighbourhood Concept Plan (NCP) from Proposed Elementary School and Green Density Transfer to High Density Cluster and Wildlife Corridor.
- Proposing to vary the setback requirements of the RM-30 Zone and increase the percentage of back-to-back units.

## **RATIONALE OF RECOMMENDATION**

- The proposal complies with the “General Urban” designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the "Urban" designation in the Official Community Plan (OCP).
- The proposed high density townhouse project does not comply with the current "Proposed Elementary School" designation in the West Clayton Neighbourhood Concept Plan (NCP). Regent Road Elementary School was ultimately constructed directly east of the subject site.
- The proposed density and building form are appropriate for this part of West Clayton and is supportable as it conforms with the goal of achieving higher density residential development.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed NCP Amendment to redesignate the subject property into higher density, ground oriented townhouses is appropriate from a planning perspective. The proposed development meets the “High Density Cluster” designation and promotes a walkable, family-oriented neighbourhood that is adjacent to Regent Road Elementary. The proposed development enhances the interface between the school site and the proposed multi-family land uses.
- The applicant has agreed to the voluntary conveyance, without compensation, of the 0.45 hectare (1.1 acre) Green Infrastructure (GIN) Corridor identified on the subject lot, equivalent to 14.7% of the total area of the subject property.
- The proposed setbacks along 74 Avenue and 75 Avenue achieve a more urban, pedestrian streetscape in compliance with the West Clayton Neighbourhood Concept Plan (NCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.

- The proposed buildings achieve an attractive architectural built form, which utilizes high quality materials and contemporary massing. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone a portion of the subject site as shown as Block A on the attached Survey Plan (Appendix I) from "Acreage Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)".
2. Council authorize staff to draft Development Permit No. 7923-0139-00 in accordance with the attached drawings (Appendix II) and the finalized Ecosystem Development Plan.
3. Council approve Development Variance Permit No. 7923-0139-00 (Appendix VII), varying the following, to proceed to Public Notification:
  - (a) to reduce the rear yard (south) setback from 6.0 metres to 4.4 metres to the principal building face;
  - (b) to reduce the east side yard setback for Buildings 17 and 30 from 6.0 metres to 3.0 metres to the principal building face;
  - (c) to reduce the west side yard setback for Building 14 from 6.0 metres to 3.0 metres to the principal building face; and
  - (d) to vary the maximum number of back-to-back townhouse units, from a maximum of 20% of units to 21% units.
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
  - (g) provision of cash-in-lieu contribution to satisfy the shortfall of indoor amenity space requirement of the RM-30 Zone, at the rate in effect at the time of Final Adoption;
  - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;

- (i) registration of a right-of-way for public rights-of-passage for drainage access;
  - (j) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
  - (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department; and
  - (l) conveyance of Biodiversity Conservation Strategy (BCS) GIN Corridor to the City.
5. Council pass a resolution to amend the West Clayton Neighbourhood Concept Plan (NCP) to redesignate the land from "Proposed Elementary School" and "Green Density Transfer" to "High Density Cluster" (Block A on Appendix VI) and "Wildlife Corridor" (Block B on Appendix VI) when the project is considered for final adoption.

**SITE CONTEXT & BACKGROUND**

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Vacant/Single Family Dwellings	Proposed Elementary School and Green Density Transfer	RA
North (Across 75 Avenue):	Single Family	Urban Residential (10+4 upa bonus)	RA
East:	Greenbelt; Regent Road Elementary School	Wildlife Corridor, Urban Residential (10+4 upa bonus)	RA
South (Across 74 Avenue ):	Single Family	Townhouse Residential (22+5 upa bonus)	RA
West:	Single Family	Proposed Elementary School	RA

**Context & Background**

- The subject site consists of three properties and is 3.03 hectares (7.5 acres) in area, located on the north side of 74 Avenue and west of the Regent Road Elementary School.
- Situated between the subject property and school property to the east is a narrow BCS Corridor (Greenbelt).
- The subject site is currently designated "Urban" in the Official Community Plan (OCP) and "Proposed Elementary School" and "Green Density Transfer" in the West Clayton Concept Plan, and is currently zoned "Acreage Residential Zone (RA)".

- Regent Road Elementary School was ultimately constructed on the adjacent site east of the subject site.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- In order to permit the development of a 152-unit townhouse development, the applicant will require the following:
  - **TCP Amendment** to redesignate the lands from “Proposed Elementary School” and “Green Density Transfer” to “High Density Cluster” and “Wildlife Corridor”;
  - **Rezoning** the development portion of the site from "One Acre Residential (RA)" to "Multiple Residential 30 Zone (RM-30)"
  - **Development Permit** for Form and Character and Sensitive Ecosystems - Green Infrastructure;
  - **Development Variance Permit** for reduced setbacks and to allow for an increased percentage of back-to-back ground-oriented units; and
  - **Subdivision** to create one Lot for a Townhouse development and one Lot (BCS GIN Corridor) to be conveyed to the City for biodiversity protection purposes.
- Development details are provided in the following table:

	Proposed
<b>Lot Area</b>	
Gross Site Area:	3.03 Ha (7.5 acres)
Road Dedication:	0.19 Ha (0.5 acres)
Conveyance Area (Lot 2):	0.45 Ha (1.1 acres) BCS Corridor Dedication
Net Townhouse Site Area:	2.39 Ha (5.9 acres)
<b>Number of Units:</b>	152 units
<b>Building Height:</b>	12.4 m
<b>Unit Density:</b>	50.1 uph (Net)
<b>Floor Area Ratio (FAR):</b>	0.82 FAR (Net)
<b>Floor Area</b>	
Residential:	23,940 m <sup>2</sup>
Commercial:	NA
Total:	23,940 m <sup>2</sup>
<b>Residential Units:</b>	
2-Bedroom:	43
3-Bedroom:	104
4-Bedroom:	5
Total:	152

## Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: The School District has advised that there will be approximately 136 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

73 Elementary students at Regent Road Elementary School  
40 Secondary students at Ecole Salish Secondary School

(Appendix IV)

**Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.**

The applicant has advised that the first phase of dwelling units in this project are expected to be constructed and ready for occupancy by fall 2026.

Parks, Recreation & Culture: Parks supports the BCS Corridor and the proposed trail within the corridor.

Salmonberry Park is the closest park with active amenities, which includes a playground, a community garden, and open space. The park is 750 metres walking distance from the development. 58D – Neighbourhood Park is the closest park with natural area and is north-west of the development

Surrey Fire Department: The Fire Department has no concerns with the proposed development application. However, there are some items which will be required to be addressed as part of the Building Permit application.

## Transportation Considerations

- The proposed consolidated lot will be accessed from 75 Avenue.
- The applicant is proposing 304 resident parking spaces (293 garage spaces and 11 "tandem" driveway spaces) and 33 visitor parking spaces (including one accessible space) which complies with the Surrey Zoning Bylaw requirements for the proposed residential development.

### Transit and/or Active Transportation Routes:

- The subject site is about 550 metres from the closest bus stops on 72 Avenue. Transit route 370 runs between the Willowbrook Mall (Langley) and 180 Street/ 55 Avenue (Cloverdale), and route 372 runs between Langley Centre (Glover Road /Logan Avenue) and Clayton Heights (Fraser Highway / 68 Avenue).

- The applicant is required to construct the north side of 74 Avenue to a collector road standard and the south side of 75 Avenue to the City's half-road standard.

### **Parkland and/or Natural Area Considerations**

- The proposal will be dedicating the eastern portion of the site as a Lot to the City, for the purposes of a BCS GIN Corridor. Parks will be providing a pedestrian pathway connection within this new corridor.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The proposed development complies with the current "General Urban" designation of the subject site under the Metro Vancouver Regional Growth Strategy (RGS).

### **Official Community Plan**

#### Land Use Designation

- The proposed development complies with the "Urban" designation of the subject site in the Official Community Plan (OCP).

#### Themes/Policies

- The proposed development is consistent with the following guiding policies and objectives in the OCP:
  - Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (A1 - Growth Priorities);
  - Require redevelopment and infill development to contribute to neighbourhood connectivity and walkability and to enhance public open spaces and greenspaces within existing neighbourhoods. (A3 – Sensitive Infill);
  - Develop complete, accessible and walkable green neighbourhoods through the planning and development of new neighbourhoods and through sensitive redevelopment within existing neighbourhoods. (B4 – Healthy Neighbourhoods);
  - Design housing units to front directly onto public streets and/or public spaces, in order to facilitate a safe, welcoming, public streetscape and public realm. (B4 – Housing); and
  - Provide residents with visual and physical access to natural areas by establishing trail systems that connect Surrey's neighbourhoods with natural areas. (B4 – Nature and Green).

### **Secondary Plans**

#### Land Use Designation

- The subject site is currently designated "Proposed Elementary School" and "Green Density Transfer" in the West Clayton Concept Plan.



- The applicant is proposing West Clayton Concept Plan amendments, to redesignate the site to “High Density Cluster” and “Wildlife Corridor”, to reflect the current proposal.

### Amendment Rationale

- An amendment to “High Density Cluster” is appropriate as the subject site is no longer required as a school site. Regent Road Elementary was ultimately constructed on the easterly adjacent site. An amendment to “Wildlife Corridor” is appropriate as the applicant is voluntarily conveying the Lot to the City for the purpose of conservation, which will be developed as a BCS GIN Corridor in coordination with the existing, adjacent greenbelt (also designated “Wildlife Corridor”).
- Redesignating the subject property into higher density, ground oriented townhouses is appropriate from a planning perspective. Townhouses typically are a more affordable option for young families with school-age children rather than single family homes or duplexes.
- The proposed development complies with the "High Density Cluster" designation and promotes a walkable, family-oriented neighbourhood that is adjacent to an elementary school. The proposed development enhances the interface between the school site and the proposed multi-family land uses.
- Regent Road Elementary School, the new elementary school on 74 Avenue, is now built and has been operational since 2022.
- Planning and Development staff intend to bring forward a Corporate Report in the near future to update the West Clayton NCP, to better align the boundaries and uses with the forthcoming Clayton Corridor Plan. As part of this work, staff had intended to update the designations in this area to reflect the reversal of the land use designations for the subject site and adjacent school site. This application is proposing to move forward in advance of this work to meet the developer’s timelines.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

### Themes/Objectives

- The vision for West Clayton is for a complete, connected community that is pedestrian friendly with an emphasis on quality building design. It is envisioned as a community that promotes walking and opportunities to gather with attractive outdoor seating spaces and landscaping.

### **Zoning By-law**

- The applicant is proposing to rezone the site to RM-30 to accommodate a proposed 152 unit townhouse project on the subject site.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-30 Zone and the proposed development is illustrated in the following table:

Zoning	RM-30 Zone	Proposed Development
<b>Unit Density:</b>	75 UPH	50.1 UPH
<b>Floor Area Ratio:</b>	1.0	0.82
<b>Lot Coverage:</b>	45%	37%
<b>Yards and Setbacks</b>	Front: 4.5 m Rear: 6.0 m Side: 6.0 m	Front (north): 4.5 m Rear (south): 4.4 m Side (east + west): 3.0 m
<b>Principal Building Height:</b>	13.0 m	12.4 m
<b>Permitted Uses:</b>		
Indoor Amenity:	456 m <sup>2</sup>	The proposed 445.8 m <sup>2</sup> + CIL meets the Zoning By-law requirement
Outdoor Amenity:	456 m <sup>2</sup>	The proposed 651 m <sup>2</sup> meets the Zoning By-law requirement
<b>Parking (Part 5)</b>		<b>Proposed</b>
Residential:		304
Residential Visitor:		33
Total:		337
Tandem (%):		3% (11)

Setback and Back-to-Back Unit Variances:

- The applicant is requesting the following variances:
  - **Rear Yard (South) Setback:** From 6.0 metres to 4.4 metres;
  - **Side Yard (East and West) Setback:** From 6.0 metres to 3.0 metres
  - **Maximum Number of Back to Back Townhouse Units:** From a maximum of 20% of units to 21% of units
  
- Applicants' Rationale for the Increase to 21% Back-to-Back Units:
  - The applicant has proposed 21% back-to-back units, as they feel it compliments the site layout well, and gives a different unit type to the project. Due to the larger site, having varying unit types and elevations creates visual interest within the site.
  - The site plan is limited to 7% tandem units. Both tandem and back-to-back units give an affordability option for buyers/owners. To the younger buyers it also give them the use of a roof top deck, which is a nice feature to offer.
  
- Applicant's Rationale for Reduced Setbacks:
  - The current site plan shows three areas where the side yard setbacks could not be achieved, affecting buildings 14, 17, 30.
  - The variance on the side yards is proposed to be reduced in order that the frontage along 74 Avenue and 75 Avenue appears complete and consistent with the other buildings along that frontage.
  - The rear setback (south) is proposed to be reduced from 6.0 metres to 4.4 metres. The rear setback was designed at 4.4 metres as it acts as a second frontage, along 74 Ave.

- Staff support the requested variances to proceed for consideration.

### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No. R046; 2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance. The current rate is \$2,287.85 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation.
- Regent Road Elementary was, ultimately, located and constructed on adjacent parcels to the east. Planning and Development staff intend to bring forward a Corporate Report in the foreseeable future to update the West Clayton NCP, to better align the boundaries and uses with the forthcoming Clayton Corridor Plan. As part of this work, staff had intended to update the designations in this area to reflect the reversal of the land use designations for the subject site and adjacent school site. This application is proposing to move forward in advance of this work to meet the developer's timelines.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption, The current fee for West Clayton is \$16,708.86.

### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

### **Public Art Policy**

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

### **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on July 10, 2024, and the Development Proposal Signs were installed on August 1, 2024. Staff received no responses from neighbouring property owners.
- The subject development application was forwarded to the New Clayton Community Association, Cloverdale Community Association, Cloverdale District Chamber of Commerce and the Surrey Board of Trade. Staff received no responses from any of the community associations.

## **DEVELOPMENT PERMITS**

### **Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement**

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), and a Local BCS Corridor is within the subject site, in the Cloverdale BCS management area, with a Low ecological value.
- The BCS further identifies the GIN area of the subject site as having a mix of Moderate to Very Low habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 60 metres.
- The Green Infrastructure Network (GIN) Corridor runs along the length of the eastern boundary of the property measured at 25.0 metres wide. According to Parks, Recreation & Culture, dedication will be required on the subject site for the GIN Corridor. A Development Permit for Sensitive Ecosystems (Green Infrastructure Areas) is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The development proposal conserves approximately 0.45 hectares (1.1 acres) of the subject site through Riparian Conveyance which is 14.7 % of the total gross area of subject site. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- An Ecosystem Development Plan, prepared by Kyla Milne, *R.P. Bio.*, of Pacific Land Group and dated March 4, 2024 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the finalized Development Permit.

### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the West Clayton Neighbourhood Concept Plan (NCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the West Clayton Neighbourhood Concept Plan (NCP).
- The proposed development is comprised of three-storey woodframe, ground-oriented townhouse buildings with individual points of entry.
- The buildings are arranged in blocks of two-to-six units with most units having access to exterior private space, while eight blocks of four units each contain the back-to-back units that have private rooftop outdoor space.

### Landscaping

- Each side-by-side townhouse unit includes a small patio and private yard. These will have layered planting that will include shrubs, grass, perennials and ground cover. The back-to-back units will each have private rooftop outdoor space and small landscaped areas between buildings.
- The development at the east side of the proposal is anticipated to have natural plantings to interface and complement the GIN Corridor, with a public connection between the development and the public pathway in the new GIN.

#### Indoor Amenity

- The indoor amenity space requirement of the RM-30 Zone is three square metres per dwelling unit. As the applicant proposes a total of 152 units for the whole site, the required indoor amenity space requirement is 456 square metres. The applicant is proposing to provide a total of 445.8 square metres of indoor amenity space over two levels in the central amenity building, with cash-in-lieu to make up the discrepancy.
- The amenity building will contain a media room games room, a lounge and large kitchen and dining room on the first floor, with a guest suite, fitness rooms and a business centre on the second floor.

#### Outdoor Amenity

- The outdoor amenity space requirement of the RM-30 Zone is three square metres per dwelling unit. As the applicant proposes a total of 152 units for the site, the required outdoor amenity space requirement is 456 square metres. The applicant is proposing to provide a total of 651.3 square metres of outdoor amenity spaces, consisting of a large central outdoor amenity adjacent the indoor amenity building.
- The outdoor area is broken into precinct with sitting areas, a barbecue area, and a play area.

#### Outstanding Items

- There are no Urban Design items that remain outstanding.

### **TREES**

- Max Rathburn, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject site. Table 1 below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in Appendix V.
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

**Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:**

	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	107	107	0
Alder/Cottonwood (within riparian area)			
Deciduous Trees	28	28	0
Coniferous Trees	35	34	1
<b>Onsite Tree Totals</b>	<b>170</b>	<b>169</b>	<b>1</b>

<b>Onsite Replacement Trees Proposed</b>	<b>213</b>
<b>Total Onsite Retained and Replacement Trees</b>	<b>214</b>

- The Arborist Assessment states that there are a total of 170 bylaw protected trees on the site. Additionally, there are 27 bylaw protected offsite trees and 20 bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain one onsite tree as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading. Additionally, nine City trees are proposed for removal.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 231 replacement trees on the site. Since the proposed replacement trees cannot be accommodated on the site, the proposed deficit of 18 replacement trees will require an estimated cash-in-lieu payment of \$9,900 to the Green City Program, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 74 and 75 Avenue. Details will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Crimson Sentry Norway Maple, Purple European Beech, Sweet Gum, Elizabeth Magnolia, Tupelo, Persian Spire Parrotia, Colorado Spruce, Austrian Pine Schubert Chokecherry, Green Pillar Oak and Japanese Tree Lilac, Greenspire Littleleaf Linden.

## INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Block Plan
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix VI.	West Clayton NCP Plan Amendment
Appendix VII.	Development Variance Permit No. 7923-0139-00

*approved by Chris McBeath*

Ron Gill  
General Manager  
Planning and Development

CL/cb

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY  
 REZONING BYLAW # \_\_\_\_\_ OF; LOT 46, PLAN 33024,  
 PARCEL 'A' (G77008E) OF 30 AND WEST HALF LOT 30,  
 BOTH OF PLAN 1171, ALL OF SECTION 21, TOWNSHIP 8,  
 NEW WESTMINSTER DISTRICT.**

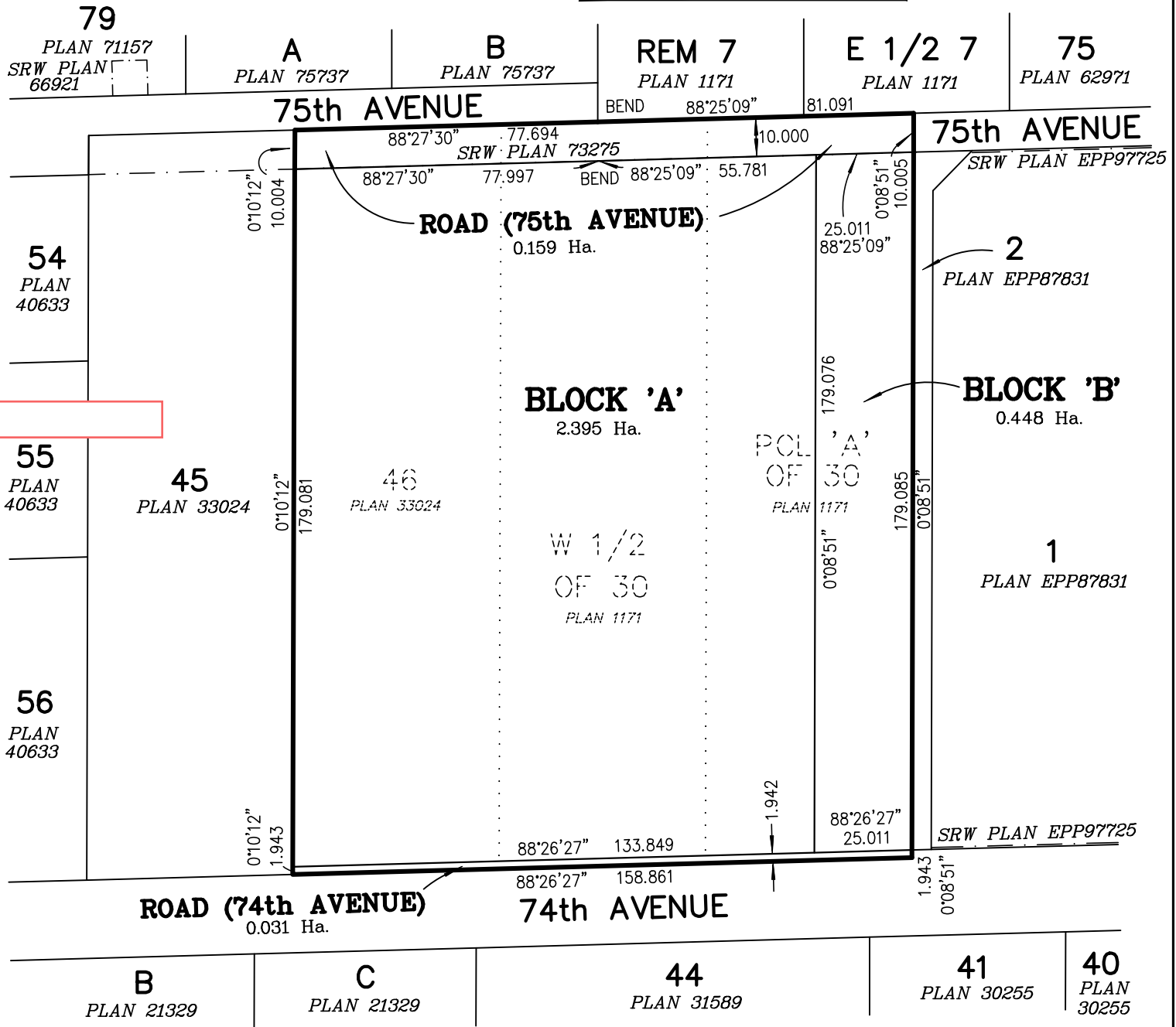
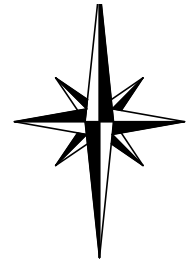
APPENDIX I

SCALE 1:1500



All Distances are in Metres.

Total Area Block A = 2.395 Ha.  
 Total Area Block B = 0.448 Ha  
 Total Area Road = 0.190 Ha  
 Total = 3.033 Ha.



Onderwater Land Surveying  
 B.C. Land Surveyors  
 #104 - 5830 176 'A' Street  
 Cloverdale B.C.  
 WWW.ONDERWATER.CA  
 FILE: SR21-104\_RZ

Certified correct, completed on  
 the 12th day of February, 2025.

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B.C.L.S.



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**FOCUS**  
ARCHITECTURE  
INCORPORATED  
SUITE 110 - 1443 McPhillips Road  
Windsor, Ontario N2S 1Y1  
1 905.552.5223 1 905.552.5412  
www.focus.ca

2004-03-30	CP DRAWINGS FOR COUNCIL
2004-03-31	REVISED - P.L. INDEX
2004-03-31	REVISED - PLANNING/COMMENTS
2004-03-31	REVISED - ZING SUBMISSION
2004-03-31	REVISED - SITE PLAN
2004-03-31	REVISED - SITE PLAN
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2004-03-31	REVISED - SITE PLAN

CLIENT:  
**WESMONT HOMES  
(CLAYTON 74 AVE) LTD**

PROJECT:  
**TOWNHOUSE  
DEVELOPMENT**  
1805, 1810, 1840 - 74 AVENUE,  
WINDSOR, ONT

DRAWING TITLE:  
**CONTEXT PLAN**

DATE: 2024-04-25 FILE NO.:  
OWN: JM 2016  
CHK: CH



DATE: 2024-09-03  
SEAL: [Signature]  
WHEEL NO: **DP-0.1**

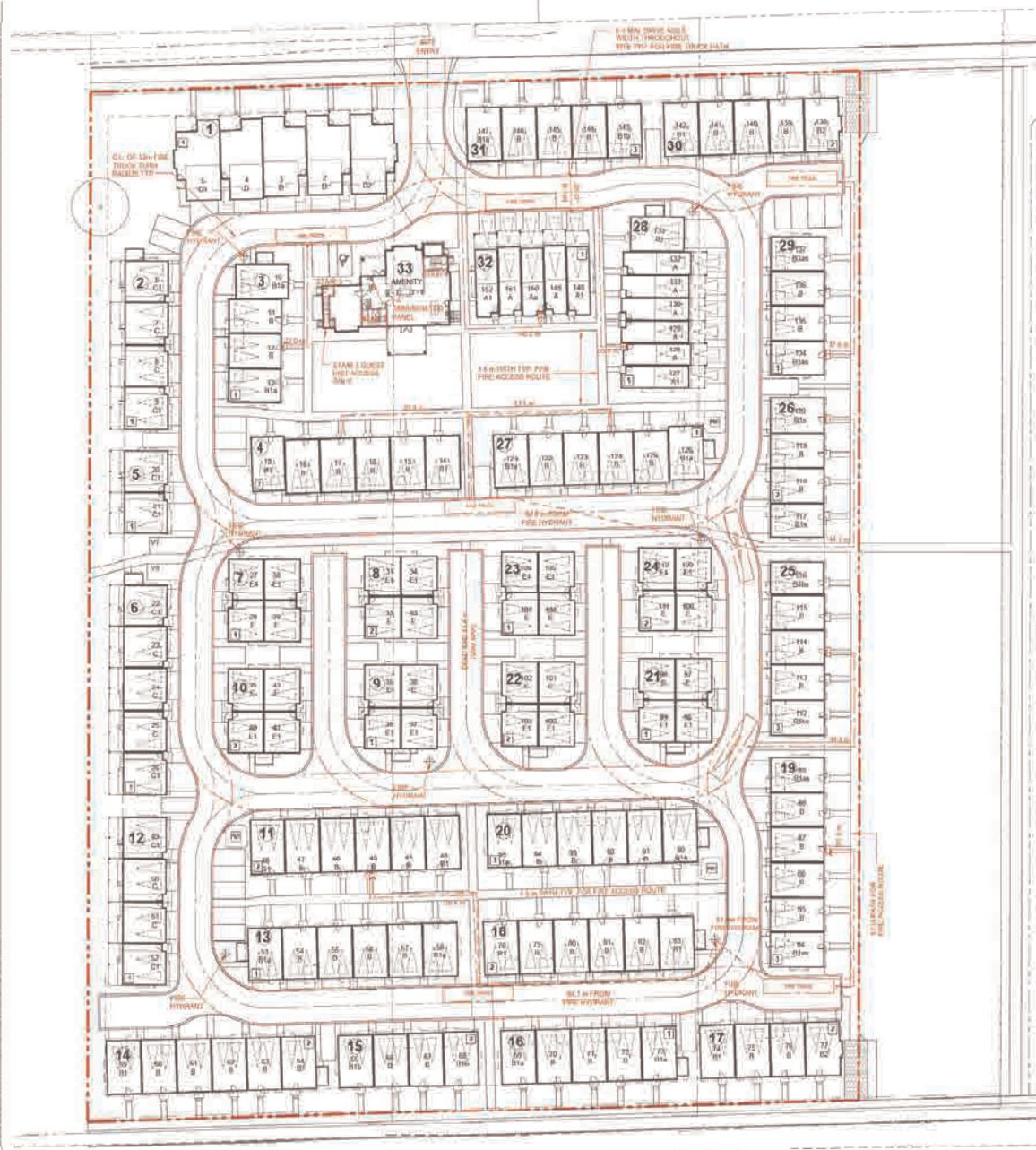
**CONTEXT PLAN**  
SCALE: 1"=80'-0"  
NORTH ↑





2024-09-03 10:00 AM

2024-09-03 10:00 AM



**FIRE ACCESS SITE PLAN**  
SCALE: 1" = 30'-0"

**FIRE ROUTE PLAN NOTES:**  
1. ON-SITE ROADWAY DESIGN CONFORMS TO BCRD 3034 - 3.2.9.4. ACCESS ROUTE DESIGN  
2. IN ALL CASES DISTANCE FROM HYDRANT TO UNIT ENTRY DOOR IS <90m (WORST CASE = 84.1 m)  
3. IN ALL CASES DISTANCE FROM FIRE TRUCK TO UNIT ENTRY DOOR IS <45m IN ACCORDANCE WITH 3.2.5.5. 2) b) LOCATION OF ACCESS ROUTES

NO.	DESCRIPTION	DATE
01	PRELIMINARY CONCEPT	2024-09-03
02	PRELIMINARY CONCEPT	2024-09-03
03	PRELIMINARY CONCEPT	2024-09-03
04	PRELIMINARY CONCEPT	2024-09-03
05	PRELIMINARY CONCEPT	2024-09-03
06	PRELIMINARY CONCEPT	2024-09-03
07	PRELIMINARY CONCEPT	2024-09-03
08	PRELIMINARY CONCEPT	2024-09-03
09	PRELIMINARY CONCEPT	2024-09-03
10	PRELIMINARY CONCEPT	2024-09-03
11	PRELIMINARY CONCEPT	2024-09-03
12	PRELIMINARY CONCEPT	2024-09-03
13	PRELIMINARY CONCEPT	2024-09-03
14	PRELIMINARY CONCEPT	2024-09-03
15	PRELIMINARY CONCEPT	2024-09-03
16	PRELIMINARY CONCEPT	2024-09-03
17	PRELIMINARY CONCEPT	2024-09-03
18	PRELIMINARY CONCEPT	2024-09-03
19	PRELIMINARY CONCEPT	2024-09-03
20	PRELIMINARY CONCEPT	2024-09-03
21	PRELIMINARY CONCEPT	2024-09-03
22	PRELIMINARY CONCEPT	2024-09-03
23	PRELIMINARY CONCEPT	2024-09-03
24	PRELIMINARY CONCEPT	2024-09-03
25	PRELIMINARY CONCEPT	2024-09-03
26	PRELIMINARY CONCEPT	2024-09-03
27	PRELIMINARY CONCEPT	2024-09-03
28	PRELIMINARY CONCEPT	2024-09-03
29	PRELIMINARY CONCEPT	2024-09-03
30	PRELIMINARY CONCEPT	2024-09-03
31	PRELIMINARY CONCEPT	2024-09-03
32	PRELIMINARY CONCEPT	2024-09-03
33	PRELIMINARY CONCEPT	2024-09-03
34	PRELIMINARY CONCEPT	2024-09-03

CLIENT:  
**WESTMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
1805, 1813, 1845 - 74 AVENUE  
NORRY, BC  
DRAWING TITLE:

**FIRE ACCESS SITE PLAN**

DATE: 2024-09-03 FILE NO.:  
OWN: BM  
CHK: CH 2016



SCALE:  
SHEET NO:

**DP-0.01a**



DATE: 2014.04.25	
DP DRAWINGS FOR COUNCIL	
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT
DATE: 2014.04.25	REVISED: PLANNING DEPARTMENT

CLIENT  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE DEVELOPMENT**

1895, 1810, 1640 - 74 AVENUE  
 WOODLEY, BC

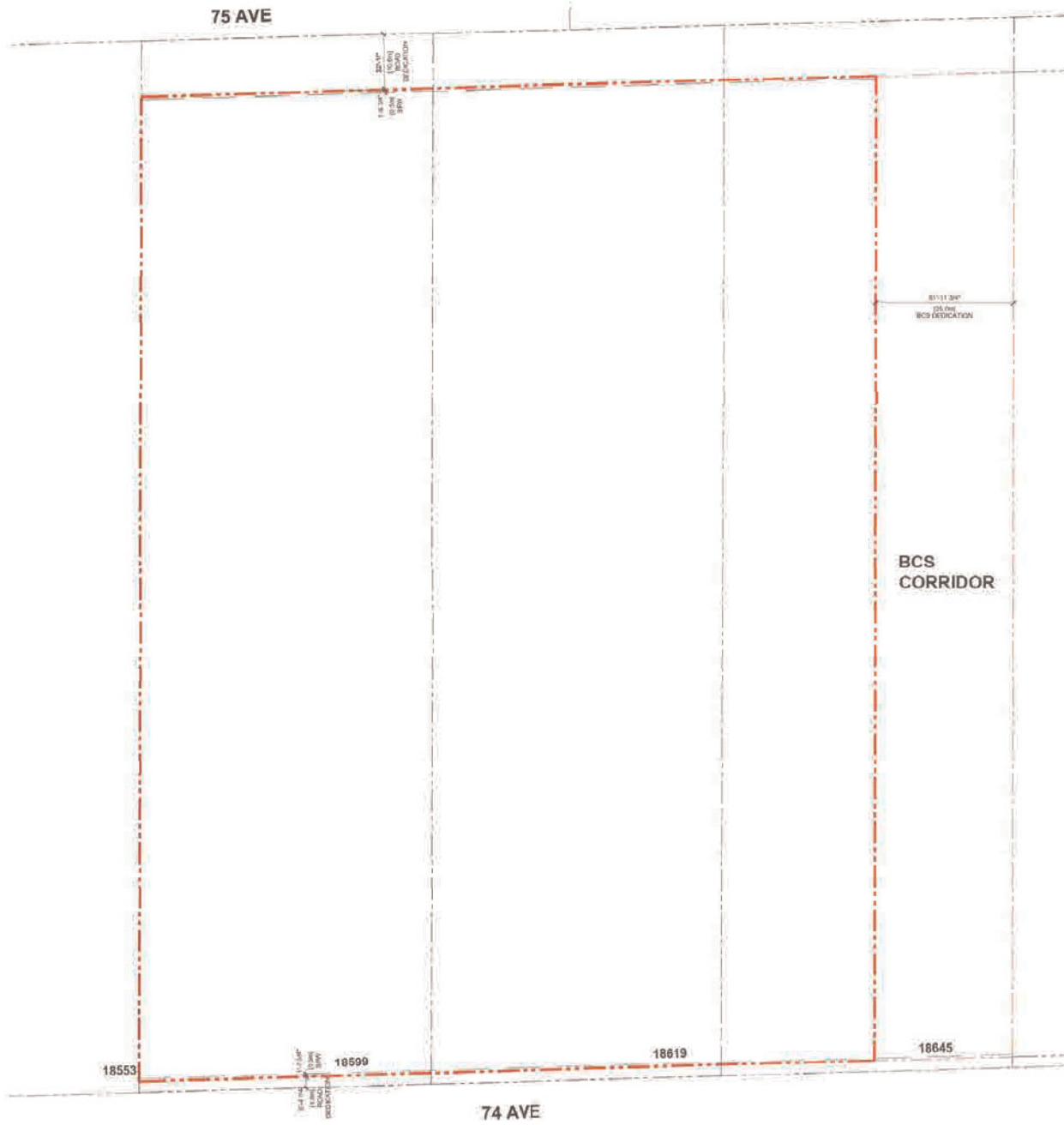
DRAWING TITLE  
**SURVEY**

DATE: 2014.04.25 FILE NO.  
 OWN: JM  
 CIV: CH

**2016**

NORTH

**SURVEY SCALE: 1"=300'**



**BASE PLAN**  
SCALE: 1"=30'-0"

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 T 604.283.5222 F 604.803.3412  
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- 2004-03-30 DP DRAWINGS FOR COUNCIL
- 2004-03-30 APPROVED P.L. PERMITS
- 2004-03-30 REVISION: PLANNING COMMENTS
- 2004-03-30 CITY COMMISSION
- 2004-11-02 ZPG EXAMINATION
- 2004-11-02 PRELIMINARY PLAN
- 2004-04-27 PRELIMINARY SITE PLAN
- 2004-04-27 PRELIMINARY SITE PLAN
- 2004-04-27 CONCEPT DEVELOPMENT CONCEPT
- 2004-04-27 PRELIMINARY CONCEPT

CLIENT  
**VERMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE DEVELOPMENT**

1855, 1859, 1860 - 74 AVENUE  
 NORRIS, BC

DRAWING TITLE  
**BASE PLAN**

DATE: 2014.04.25 FILE NO.  
 DWN: JMK  
 CHK: **2016**



SCALE  
 SHEET NO.  
**DP-0.03**

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a@focus.ca

2024-09-03	DP DRAWINGS FOR COUNCIL
2024-08-27	REVISION: 01, ISSUES
2024-07-18	REVISION: PLANNING COMMENTS
2024-06-28	24-11-0000000000
2024-06-28	ENG EXAMINATION
2024-06-28	PROVIDE SITE PLAN
2024-06-28	REVISED SITE PLAN
2024-06-28	PROVIDE SITE PLAN
2024-06-28	CONCEPT DEVELOPMENT CONCEPT
2024-06-28	CONCEPT DEVELOPMENT

CLIENT  
**WESMONT HOMES  
(CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE  
DEVELOPMENT**  
1809, 1810, 1845 - 74 AVENUE  
SURREY, BC  
DRAWING TITLE

**SITE SECTIONS**

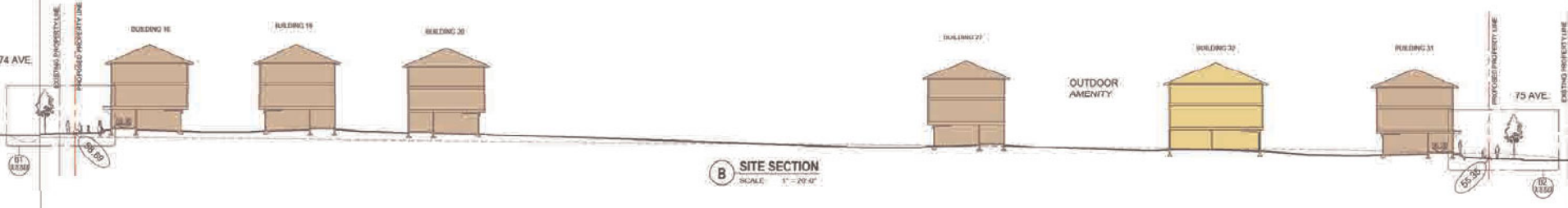
DATE: 2024.04.25 FILE NO:  
OWN: ALUMEN  
CHK: CH 2016



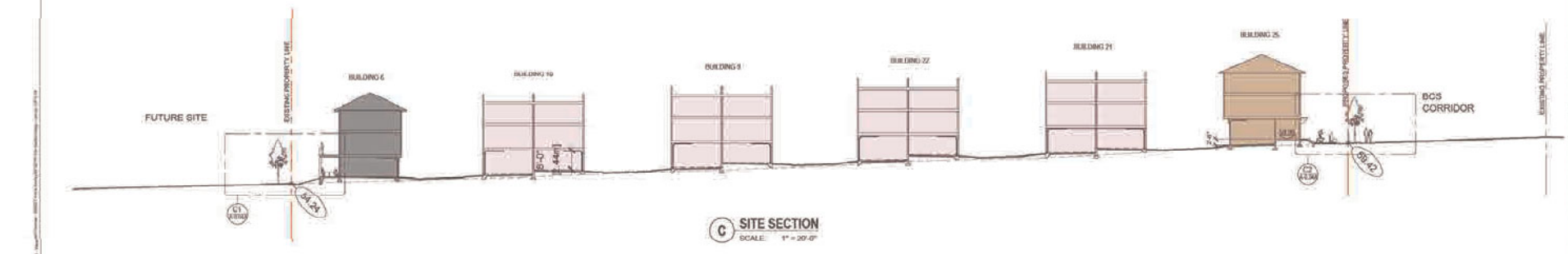
SEAL  
SHEET NO.  
**DP-0.04**



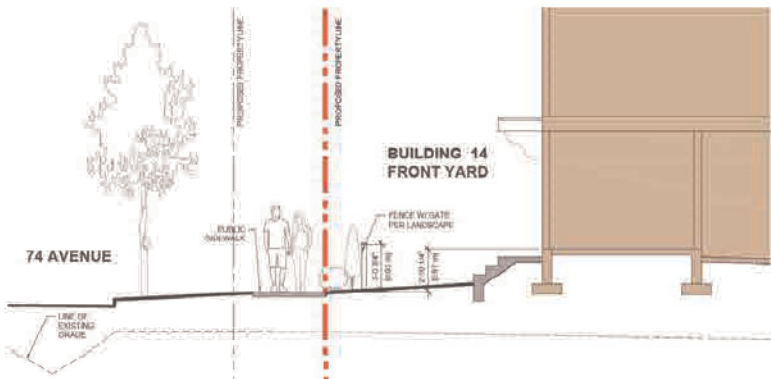
**A SITE SECTION**  
SCALE: 1" = 20' 0"



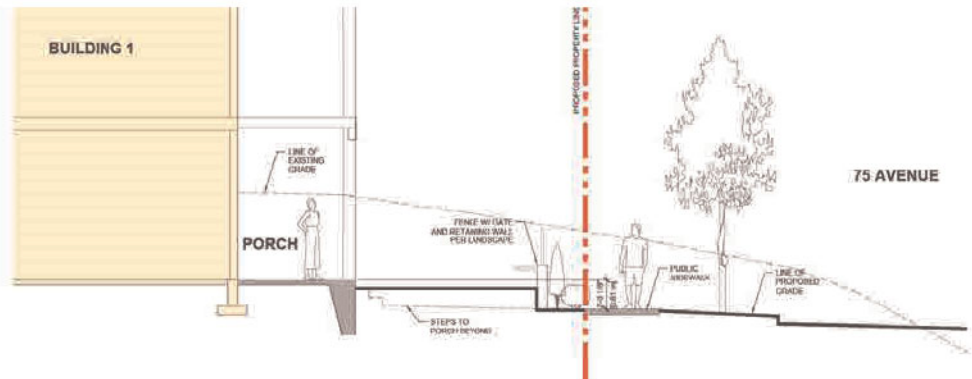
**B SITE SECTION**  
SCALE: 1" = 20' 0"



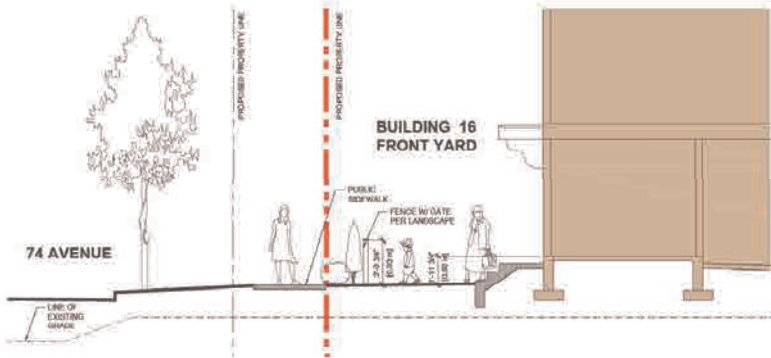
**C SITE SECTION**  
SCALE: 1" = 20' 0"



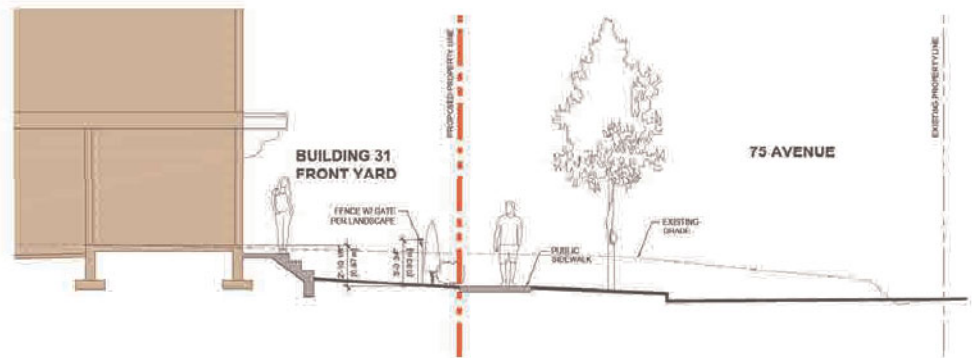
**A1 SITE SECTION**  
SCALE: 1/4" = 1'-0"



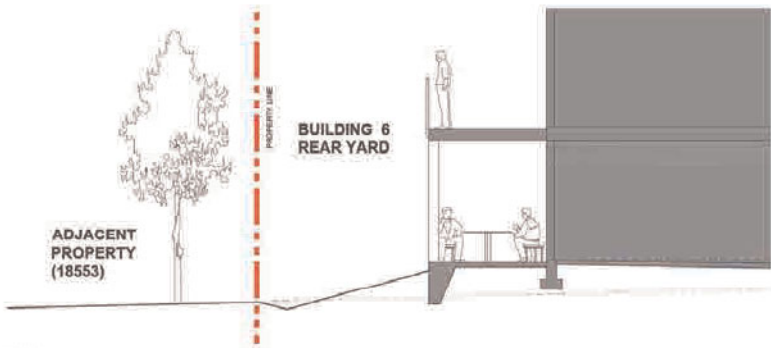
**A2 SITE SECTION**  
SCALE: 1/4" = 1'-0"



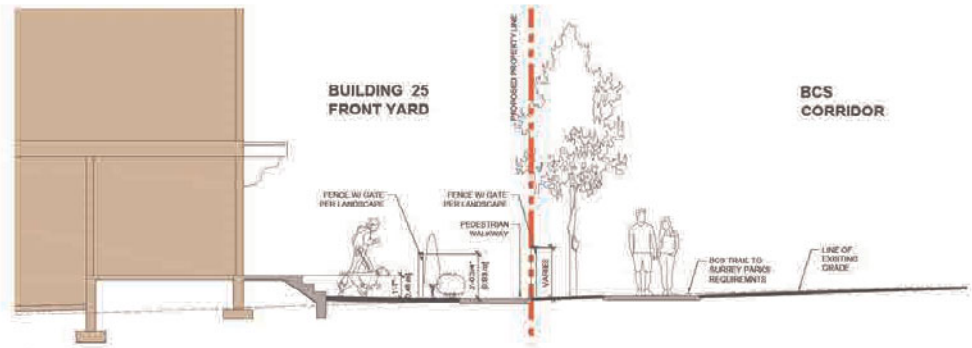
**B1 SITE SECTION**  
SCALE: 1/4" = 1'-0"



**B2 SITE SECTION**  
SCALE: 1/4" = 1'-0"



**C1 SITE SECTION**  
SCALE: 1/4" = 1'-0"



**C2 SITE SECTION**  
SCALE: 1/4" = 1'-0"

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1 800 952-0223 1 800 803-3912  
info@focus.ca

2024-09-03  
DP DRAWINGS FOR COUNCIL

- ✓ CHECKED BY: ARCHITECT P.J. HOSKINS
- ✓ DATE OF FILE REVISION: PLAN/MEASUREMENTS
- ✓ CHECKED BY: P.J. HOSKINS
- ✓ DATE OF FILE REVISION: CONCEPT SITE PLAN
- ✓ CHECKED BY: J.R. GIBSON
- ✓ DATE OF FILE REVISION: PRELIMINARY CONCEPT SITE PLAN
- ✓ CHECKED BY: CONCEPT DEVELOPMENT
- ✓ DATE OF FILE REVISION: CONCEPT DEVELOPMENT

BY: ARCHITECT  
CONSULTANT

CLIENT:  
**WESTMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT:

TOWNHOUSE DEVELOPMENT

1895, 1813, 1640 - 74 AVENUE  
MONROVIA, BC

DRAWING TITLE:

**ENLARGED SITE SECTIONS**

DATE: 2024.04.25 FILE NO.:

OWN: DB

CW: 2016



2024-09-03

SCALE: 1/4" = 1'-0"

SHEET NO.

**DP-0.04A**



**75th AVE. STREETSCAPE (NORTH)**  
SCALE: 1/16"=1'-0"



**75th AVE. STREETSCAPE (NORTH)**  
SCALE: 1/8"=1'-0"



**75th AVE. STREETSCAPE (NORTH)**  
SCALE: 1/8"=1'-0"

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INCORPORATED  
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Aurora, Ontario Canada L2G 3H8  
1 905 853 0222 | F 905 853 5442  
info@focus.ca

2024-09-03	DP DRAWINGS FOR COUNCIL
2024-09-03	REVISED: F.L. NOTES
2024-09-03	REVISED: PLANNING COMMENTS
2024-09-03	REVISED: COMMENTS
2024-09-03	REVISED: SITE PLAN
2024-09-03	REVISED: SITE PLAN
2024-09-03	REVISED: SITE PLAN
2024-09-03	REVISED: SITE PLAN
2024-09-03	REVISED: SITE PLAN
2024-09-03	REVISED: SITE PLAN
2024-09-03	REVISED: SITE PLAN

CLIENT:  
**WEXMONT HOMES**  
(CLAYTON 74 AVE) LTD

PROJECT:  
**TOWNHOUSE DEVELOPMENT**

STREETSCAPE  
75 AVE (NORTH)

DATE: 2024.04.25 FILE NO:  
OWN: JRM/EN  
CHK: CML 2016



SCALE  
DATE: 2024-09-03  
**DP-0.05**



**SOUTH STREETSCAPE (74th AVE.) - OVERALL**  
SCALE: 1/16"=1'-0"



**SOUTH STREETSCAPE (74th AVE) - WEST**  
SCALE: 1/8"=1'-0"



**SOUTH STREETSCAPE (74th AVE) - EAST**  
SCALE: 1/8"=1'-0"

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 Westville, North Carolina 27150  
 1 800.653.5222 1 800.803.5442  
 info@focus.ca

- 2024-09-03 DP DRAWINGS FOR COUNCIL
  - 2024-09-03 REVISED P.L. NUMBER
  - 2024-09-03 REVISED PLANNING COMMITTEE
  - 2024-09-03 P.L. NUMBER
  - 2024-09-03 ENG. NUMBER
  - 2024-09-03 REVISED SITE PLAN
  - 2024-09-03 REVISED P&E PLAN
  - 2024-09-03 REVISED SITE PLAN
  - 2024-09-03 CONSTRUCTION OF CONCEPT
  - 2024-09-03 REVISED CONCEPT
- REVISED BY: CIVILIA TANTY

CLIENT  
**WESMONT HOMES**  
 (CLAYTON 74 AVE) LTD

PROJECT  
**TOWNHOUSE DEVELOPMENT**

1805, 1810, 1840, 1845 - 74 AVENUE  
 NORRIS, NC

DRAWING TITLE  
**STREETSCAPE 74 AVE (SOUTH)**

DATE: 2024.09.03 FILE NO.: 2024  
 DWG: JRM  
 CHK: CH 2016



2024-09-03  
 SEAL  
 SHEET NO.  
**DP-0.06**





11/24/2024 1:10:00 PM



**BCS CORRIDOR STREETSCAPE (EAST)**  
SCALE: 1/8"=1'-0"



**BCS CORRIDOR STREETSCAPE (EAST)**  
SCALE: 1/8"=1'-0"

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1 978 873 0222 T 978 873 5442  
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	2024-09-03 DP DRAWINGS FOR COUNCIL
	2024-09-03 REVISED: PLANNING COMMENTS
	2024-09-03 REVISED: PLANNING COMMENTS
	2024-09-03 REVISED: PLANNING COMMENTS
	2024-09-03 REVISED: PLANNING COMMENTS
	2024-09-03 REVISED: PLANNING COMMENTS
	2024-09-03 REVISED: PLANNING COMMENTS
	2024-09-03 REVISED: PLANNING COMMENTS
	2024-09-03 REVISED: PLANNING COMMENTS

REVISIONS  
CONSULTANT

CLIENT  
**WESMONT HOMES**  
(CLAYTON 74 AVE) LTD

PROJECT  
**TOWNHOUSE DEVELOPMENT**  
1895, 1897, 1849 - 74 AVENUE  
MORRIS, VT  
DRAWING TITLE  
**STREETSCAPE  
BCS CORRIDOR  
(EAST)**

DATE: 2024.09.03 FILE NO.  
OWN: JK  
CHK: CH 2016



SEAL  
SHEET NO.  
**DP-0.08**

11/24/2024 1:10:00 PM

Mural & Image by: [unreadable]



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

① COMPOSITE ASPHALT SHINGLES	⑩ INSULATED STEEL DOOR	⑭ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING	⑪ OVERHEAD GARAGE DOOR	⑮ METAL ROOF
③ SLIP-RESIST FLOORING (ACQUAFORM VINYL SIDING AT OTHERS)	⑫ PAINTED WOOD COLUMN	⑯ BRICK VENEER
④ FINISHED	⑬ PAINTED WOOD TRIM	⑰ WOOD SHAKES
⑤ VERTICAL SIDING (CEMENT BOARD)	⑭ PAINTED WOOD TRIM	⑱ WOOD SHAKES
⑥ 2x6 PAINTED WOOD FASCIA w/ 1x4 WOOD TRIM	⑮ PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING	⑲ SMOOTH EXTERIOR BOARD PANEL WITH EASY TRIMM. EDGES
⑦ PRE-FINISHED ALUMINUM GLITTER ON 2x6 PAINTED WOOD FASCIA	⑯ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING	⑳ 6" CONCRETE LINTEL
⑧ SEALED DOUBLE GLAZED PVC WINDOW	⑰ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING	㉑ 4" CONCRETE BS.
⑨ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑱ PRE-FINISHED METAL THROUGH WALL CONNECTION	㉒ ALUMINUM & GLASS RAILING
	⑳ 4"X7" FISH METAL RAILING	㉓ OVERHEAD GARAGE DOOR w/ TIMBERED GLASS
	㉑ FINISH DOOR w/ TRANSOM OVER	㉔ GRANITE POST MAILBOXES

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- 2014-03-20 DP DRAWINGS FOR COUNCIL
- 2014-03-20 REVISED: P.L. POWER
- 2014-03-20 REVISED: PLANNING COMMENTS
- 2014-03-20 REVISED: P.L. POWER
- 2014-03-20 REVISED: P.L. POWER
- 2014-03-20 REVISED: P.L. POWER
- 2014-03-20 REVISED: P.L. POWER
- 2014-03-20 REVISED: P.L. POWER
- 2014-03-20 REVISED: P.L. POWER
- 2014-03-20 REVISED: P.L. POWER

CLIENT:  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT:  
**TOWNHOUSE DEVELOPMENT**

1895, 1813, 1840 - 74 AVENUE  
MORRISBY, ON

DRAWING TITLE:  
**BUILDING 1 COLOURED ELEVATIONS**

DATE: 2014.04.25 FILE NO. 2016  
 OWN: [unreadable] DW: [unreadable] CHK: [unreadable]



SEAL: [unreadable]  
**DP-0.09**



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

FOCUS ARCHITECTURE INCORPORATED  
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2014-09-22	DP DRAWINGS FOR COUNCIL
2014-08-20	REVISED P.L. PERMITS
2014-07-28	REVISED PLUMBING/MECHANICALS
2014-07-23	FINAL PERMITS
2014-07-18	REVISED SITE PLAN
2014-07-17	REVISED SITE PLAN
2014-07-17	REVISED SITE PLAN
2014-07-17	REVISED SITE PLAN
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2014-07-17	REVISED SITE PLAN
2014-07-17	REVISED SITE PLAN

REVISIONS:  
 CORRECT TANT

CLIENT:  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
 1893, 1895, 1849 - 24 AVENUE  
 NORTON, NC  
 DRAWING TITLE:

**BUILDING 2 COLOURED ELEVATIONS**

DATE: 2016-03-25 FILE NO.  
 DWN: 106  
 CWN: 106 **2016**



SEAL:  
 SHEET NO. **DP-0.10**



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

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- 2014-09-05 DP DRAWINGS FOR COUNCIL
- 2014-08-22 REVISED P.L. NUMBER
- 2014-07-28 REVISION: PLANNING COMMENTS
- 2014-06-26 P.L. NUMBER
- 2014-06-26 ENG. DRAWINGS
- 2014-06-26 REVISION: SITE PLAN
- 2014-06-26 REVISION: SITE PLAN
- 2014-06-26 REVISION: SITE PLAN
- 2014-06-26 REVISION: CONCEPT
- 2014-06-26 REVISION: CONCEPT

REVISIONS:  
 CORRECT TYP

CLIENT:  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
 1895, 1895, 1840 - 24 AVENUE  
 MURKIN, MD  
 DRAWING TITLE:

**BUILDING 10 COLOURED ELEVATIONS**

DATE: 2016-03-15 FILE NO.  
 DWN: [ ]  
 CDR: [ ] **2016**



SCALE:  
 SHEET NO.

**DP-0.11**

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**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

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2016-09-09	DP DRAWINGS FOR COUNCIL
2016-09-09	REVISED: P.L. HANSEN
2016-09-09	REVISED: PLANNING/COMMENTS
2016-09-09	REVISED: P.L. HANSEN
2016-09-09	REVISED: P.L. HANSEN
2016-09-09	REVISED: P.L. HANSEN
2016-09-09	REVISED: P.L. HANSEN
2016-09-09	REVISED: P.L. HANSEN
2016-09-09	REVISED: P.L. HANSEN
2016-09-09	REVISED: P.L. HANSEN
2016-09-09	REVISED: P.L. HANSEN

REVISIONS  
COURTESY TANTY

CLIENT  
**WESMONT HOMES**  
(CLAYTON 74 AVE) LTD

PROJECT  
**TOWNHOUSE DEVELOPMENT**  
7899, 1893, 1849 - 24 AVENUE  
MURKIN, DC  
DRAWING TITLE

**BUILDING 30 COLOURED ELEVATION**

DATE: 2016-09-03 FILE NO.  
DWN: [ ] REV: [ ]  
CHK: [ ] CHT: **2016**



SCALE: 2016-09-03  
SHEET NO.

**DP-0.12**



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

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2024-09-03  
DP DRAWINGS FOR COUNCIL

- 2024-09-03  
REVISED: PLANNING COMMENTS
- 2024-09-03  
REVISED: PLANNING COMMENTS
- 2024-09-03  
REVISED: SITE PLAN
- 2024-09-03  
REVISED: SITE PLAN
- 2024-09-03  
REVISED: SITE PLAN
- 2024-09-03  
REVISED: SITE PLAN
- 2024-09-03  
REVISED: SITE PLAN
- 2024-09-03  
REVISED: SITE PLAN

REVISIONS:  
CORRECT TYP

CLIENT:  
**WESMONT HOMES  
(CLAYTON 74 AVE) LTD**

PROJECT:  
**TOWNHOUSE  
DEVELOPMENT**  
1893, 1893, 1849 - 24 AVENUE,  
MURKIN, BC  
DRAWING TITLE:

**BUILDING 32  
COLOURED  
ELEVATIONS**

DATE: 2024.09.03 FILE NO.  
DWN: [blank] DWG NO. **2016**  
CHK: [blank] CMT: [blank]



SCALE:  
SHEET NO.

**DP-0.13**



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"



**NORTH ELEVATION**

SCALE: 1/8"=1'-0"



**EAST ELEVATION**

SCALE: 1/8"=1'-0"



**WEST ELEVATION**

SCALE: 1/8"=1'-0"

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**FOCUS**  
ARCHITECTURE  
INCORPORATED  
Suite 310 • 1448 McLellan Road  
Annapolis, MD 21401 • 221.394  
1 904 933 0222 • 1 800 855 8442  
info@focus.ca

- 2014-09-26 DP DRAWINGS FOR COUNCIL
- 2014-09-26 REVISED P.L. APPROVED
- 2014-09-26 REVISION: PLANNING COMMENTS
- 2014-09-26 P.L. APPROVED
- 2014-09-26 ENG. DRAWINGS
- 2014-09-26 REVISIONS
- 2014-09-26 PRELIMINARY PLAN
- 2014-09-26 REVISIONS
- 2014-09-26 CONCEPT DEVELOPMENT CONCEPT
- 2014-09-26 CONCEPT DEVELOPMENT

PROFESSIONAL  
CONSULTANT

CLIENT:  
**WESMONT HOMES  
(CLAYTON 74 AVE) LTD**

PROJECT:  
**TOWNHOUSE  
DEVELOPMENT**  
1805, 1815, 1840 - 74 AVENUE  
MORRIS, BC  
DRAWING TITLE:

**COLOURED  
AMENITY  
BUILDING  
ELEVATIONS**

DATE: 2016.04.25 FILE NO:  
OWN: [initials] 2016  
CHK: [initials]

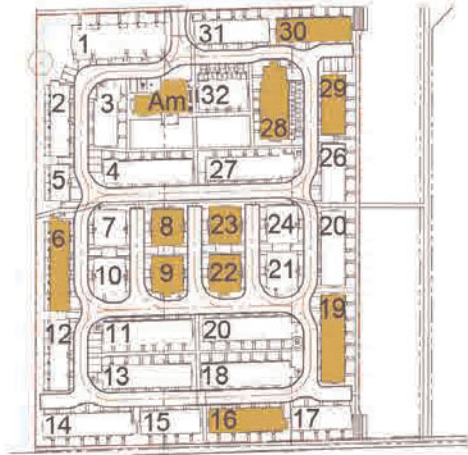


SCALE  
SHEET NO

**DP-0.14**



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**COLOUR SCHEME 1**

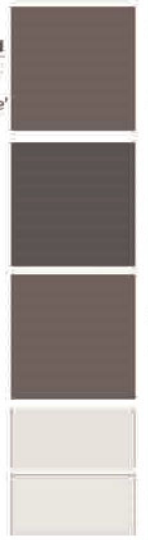
- A **Roof Shingles:**  
IKO Cambridge  
'Dual Black'
  
- B **Horizontal Siding:**  
\*concord board siding on street facing, vinyl elsewhere  
Sherwin Williams 'SW 9569 Alloy'  
Gentek Vinyl 'Storm 631'
  
- C **Horizontal Siding:**  
\*concord board siding on street facing, vinyl elsewhere  
Sherwin Williams  
'SW 9582 White Sand'  
Gentek Vinyl 'Snow White 001'
  
- D **Vertical Siding:**  
\*concord board siding on street facing, vinyl elsewhere  
Sherwin Williams  
'SW 9582 White Sand'  
Gentek Vinyl 'Snow White 001'



- E **Stucco Siding:**  
Sherwin Williams  
'SW 9582 White Sand'
  
- F **Brick:**  
IXL Brick  
Hebron Full Brick  
'Brandywine'
  
- G **Gutter, & Downspouts:**  
Gentek 'Iron Ore 4P6'
  
- H **Trim:**  
To Match Adjacent Siding



- I **Fascia Boards, Columns,  
Privacy Screens, Garage, and  
Entry Doors, Entry Canopies:**  
Sherwin Williams 'SW 7069 Iron Ore'
  
- J **Window & Balcony  
Railing:**  
Black
  
- K **Metal Roof:**  
Westform Metals 'Iron Ore'
  
- L **SOFFITS:**  
Gentek 'Linen 012'
  
- M **Lintels:**  
Sherwin Williams  
'SW 9582 White Sand'



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INCORPORATED

Suite 115 - 1888 McCulloch Road  
Aurora, Ontario Canada L2G 3K6  
1 904 863 0222 1 800 863 1442  
www.focus.ca

- 2004-03-03  
DP DRAWINGS FOR COUNCIL
- REVISED: E.A. JONES
  - REVISED: PLANNING COMMENTS
  - 2004-04-29
  - REVISED: COMMENTS
  - 2004-05-28
  - REVISED: COMMENTS
  - 2004-06-10
  - REVISED: COMMENTS
  - 2004-07-15
  - REVISED: COMMENTS
  - 2004-08-10
  - REVISED: COMMENTS
  - 2004-09-03
  - REVISED: COMMENTS

REVISIONS:  
CONCERN TACT

CLIENT:  
WESMONT HOMES  
(CLAYTON 74 AVE) LTD

PROJECT:  
TOWNHOUSE  
DEVELOPMENT

1899, 1899, 1849 - 24 AVENUE  
MURFREY, NC

DRAWING TITLE:  
COLOUR  
SCHEME 1

DATE: 2004-03-03 FILE NO.  
DWN: MML  
CHK: CML 2016

DATE: 2004-03-03  
FILE NO.  
DWN: MML  
CHK: CML 2016

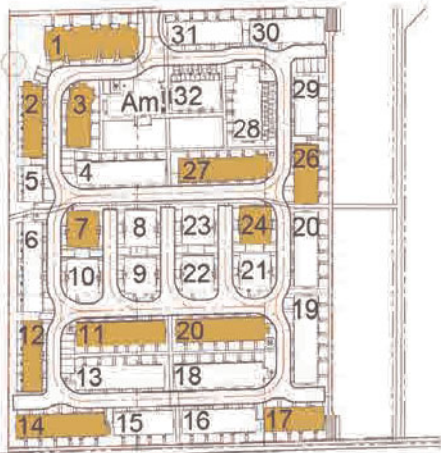


2004-09-03

**DP-0.15**



A G H E J B I D C H



### COLOUR SCHEME 2

- A Roof Shingles:**  
IKO Cambridge  
'Dual Black'
- B Horizontal Siding:**  
\*concrete board siding on street facing, vinyl elsewhere  
Sherwin Williams  
SW 7076 Cyberspace'  
Gentek Vinyl 'Marine Dusk 877'
- C Horizontal Siding:**  
\*concrete board siding on street facing, vinyl elsewhere  
Sherwin Williams  
'SW 9582 White Sand'  
Gentek Vinyl 'Snow White 001'
- D Vertical Siding:**  
\*concrete board siding on street facing, vinyl elsewhere  
Sherwin Williams  
'SW 9582 White Sand'  
Gentek Vinyl 'Snow White 001'



- E Stucco Siding:**  
Sherwin Williams  
'SW 9582 White Sand'

- F Brick:**  
IXL Brick  
Hebron Full Brick  
'Brandywine'

- G Gutter, & Downspouts:**  
Gentek 'Iron Ore 4P6'

- H Trim:**  
To Match Adjacent Siding



- I Fascia Boards, Columns, Privacy Screens, Garage, and Entry Doors, Entry Canopies:**  
Sherwin Williams 'SW 7069 Iron Ore'

- J Window & Balcony Railing:**  
Black

- K Metal Roof:**  
Westform Metals 'Iron Ore'

- L SOFFITS:**  
Gentek 'Linen 012'

- M Lintels:**  
Sherwin Williams  
'SW 9582 White Sand'



2024-09-03  
 DP DRAWINGS FOR COUNCIL

DATE	2024-09-03
BY	J. L. ROBERTS
REVISION	PLANNING COMMITTEE
DATE	2024-09-03
BY	J. L. ROBERTS
REVISION	ENG. EXAMINATION
DATE	2024-11-02
BY	J. L. ROBERTS
REVISION	REVISED SITE PLAN
DATE	2024-09-03
BY	J. L. ROBERTS
REVISION	REVISED SITE PLAN
DATE	2024-09-03
BY	J. L. ROBERTS
REVISION	CONCISE LAYOUTS BY CONCEPT
DATE	2024-09-03
BY	J. L. ROBERTS
REVISION	REVISED SITE PLAN

REVISIONS:  
 CHANGING TANK

CLIENT  
 WESMONT HOMES  
 (CLAYTON 74 AVE) LTD

PROJECT  
 TOWNHOUSE DEVELOPMENT  
 1895, 1810, 1840 - 74 AVENUE  
 NORFOLK, NC

DRAWING TITLE  
 COLOUR SCHEME 2

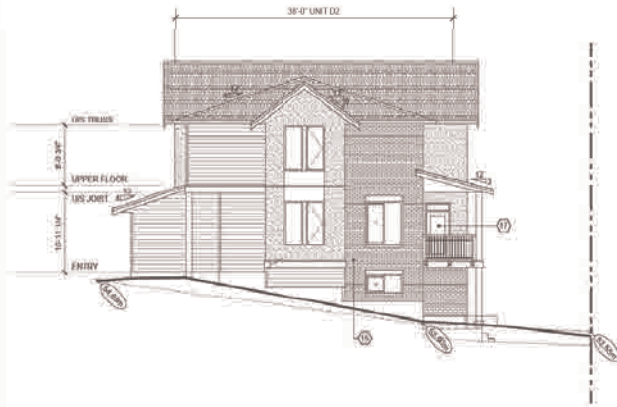
DATE: 2024-09-03 FILE NO.  
 DWG: 2016  
 CHK: 2016



SCALE  
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**DP-016**







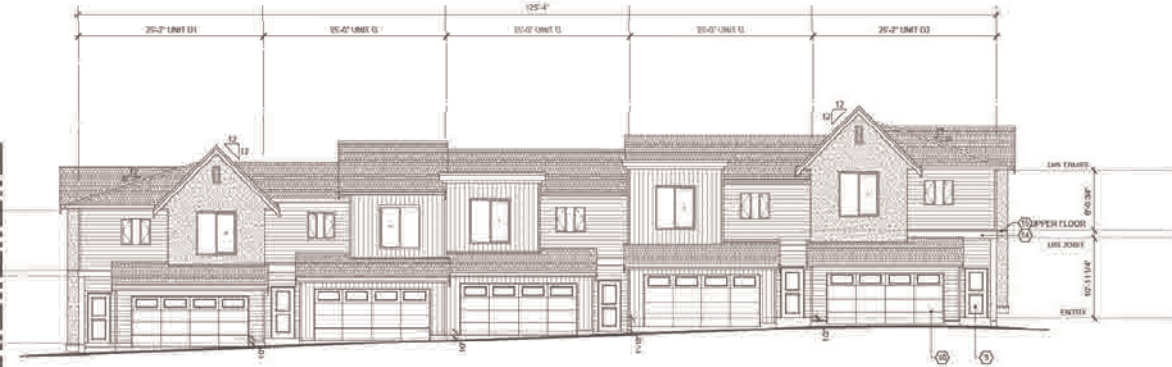
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	⑩ INSULATED STEEL DOOR	②④ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING	⑪ OVERHEAD GARAGE DOOR	⑤ METAL ROOF
③ SLIGHTLY FAUCED (CONFORMA VINYL SIDING AT OTHERS)	⑫ PAINTED WOOD COLUMN	⑥ BRICK VENEER
④ WOODS	⑬ 2x4 PAINTED WOOD TRIM	⑦ WOODS WRACKOFF
⑤ VERTICAL SIDING (CEMENT BOARD)	⑭ 2x4 PAINTED WOOD TRIM	⑧ BRICKS/CLAY TILE
⑥ 2x4 PAINTED WOOD FASCIA	⑮ 2x6 PAINTED WOOD TRIM	⑨ 4" CONCRETE LINTEL
⑦ WOOD TRIM	⑯ 2x6 PAINTED WOOD TRIM	⑩ 4" CONCRETE BS
⑧ 2x6 PAINTED WOOD TRIM	⑰ 2x6 PAINTED WOOD TRIM	⑪ ALUMINUM & GLASS RAILING
⑨ 2x6 PAINTED WOOD TRIM	⑱ 2x6 PAINTED WOOD TRIM	⑫ OVERHEAD GARAGE DOOR
⑩ 2x6 PAINTED WOOD TRIM	⑲ 2x6 PAINTED WOOD TRIM	⑬ TIMBERED GLASS
⑪ 2x6 PAINTED WOOD TRIM	⑳ 2x6 PAINTED WOOD TRIM	⑭ 4x4 POST
⑫ 2x6 PAINTED WOOD TRIM	㉑ 2x6 PAINTED WOOD TRIM	
⑬ 2x6 PAINTED WOOD TRIM	㉒ 2x6 PAINTED WOOD TRIM	
⑭ 2x6 PAINTED WOOD TRIM	㉓ 2x6 PAINTED WOOD TRIM	
⑮ 2x6 PAINTED WOOD TRIM	㉔ 2x6 PAINTED WOOD TRIM	
⑯ 2x6 PAINTED WOOD TRIM	㉕ 2x6 PAINTED WOOD TRIM	
⑰ 2x6 PAINTED WOOD TRIM	㉖ 2x6 PAINTED WOOD TRIM	
⑱ 2x6 PAINTED WOOD TRIM	㉗ 2x6 PAINTED WOOD TRIM	
⑲ 2x6 PAINTED WOOD TRIM	㉘ 2x6 PAINTED WOOD TRIM	
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㉓ 2x6 PAINTED WOOD TRIM	㉛ 2x6 PAINTED WOOD TRIM	
㉔ 2x6 PAINTED WOOD TRIM	㉜ 2x6 PAINTED WOOD TRIM	
㉕ 2x6 PAINTED WOOD TRIM	㉝ 2x6 PAINTED WOOD TRIM	
㉖ 2x6 PAINTED WOOD TRIM	㉞ 2x6 PAINTED WOOD TRIM	
㉗ 2x6 PAINTED WOOD TRIM	㉟ 2x6 PAINTED WOOD TRIM	
㉘ 2x6 PAINTED WOOD TRIM	㊱ 2x6 PAINTED WOOD TRIM	
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㉜ 2x6 PAINTED WOOD TRIM	㊵ 2x6 PAINTED WOOD TRIM	
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**FOCUS ARCHITECTURE INCORPORATED**  
 Suite 110 - 1448 MacLure Road  
 Westport, British Columbia V2J 3H5  
 1 800 853 0223 1 800 853 3412  
 a@focus.ca

- ① 2024-09-03 DP DRAWINGS FOR COUNCIL
- ② 2024-09-03 REVISED P.L. RAILING
- ③ 2024-09-03 REVISED PLUMBING/MECHANICALS
- ④ 2024-09-03 2D PLYWOOD/BRICKWORK
- ⑤ 2024-09-03 2D BRICKWORK
- ⑥ 2024-09-03 2D FLOORING PLAN
- ⑦ 2024-09-03 2D MECHANICAL PLAN
- ⑧ 2024-09-03 2D REVISED 2D PLAN
- ⑨ 2024-09-03 2D REVISED 2D PLAN
- ⑩ 2024-09-03 2D CONCRETE/FOUNDATION CONCEPT
- ⑪ 2024-09-03 2D REVISED FOR ROOF

REVISIONS  
CONSULTANT

CLIENT  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE DEVELOPMENT**

1895, 1893, 1840 - 74 AVENUE  
NORRISBY, BC

DRAWING TITLE

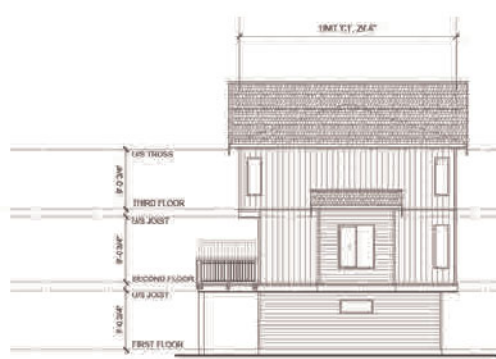
**BUILDING 1 ELEVATIONS**

DATE: 2024.04.25 FILE NO.  
OWN: CHJ CHJ  
CHK: CHJ CHJ **2016**

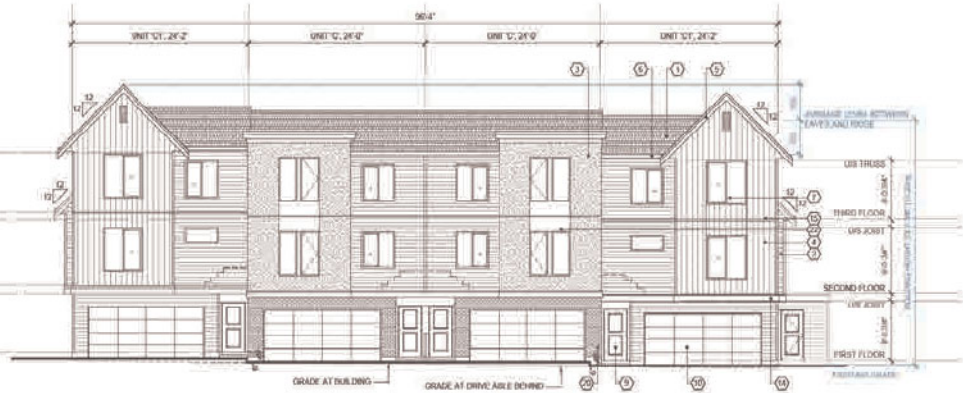


2024-09-03  
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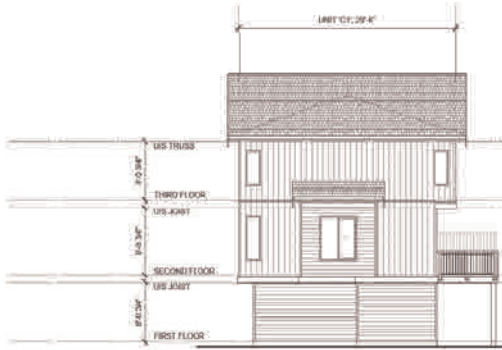
**DP-1.03**



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD DORMER, 2X SHIP LUGS, FLASHING, FLOORS, VENTS, SIONS AT OTHERS	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) WOOD	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(4) VERTICAL SIDING (CEMENT BOARD)	(14) 2X2 PAINTED WOOD TRIM ON	(24) WOOD SHACKLE
(5) 2X2 UNPAINTED WOOD FASCIA 1/4" ROOD TRIM	(15) 2X2 PAINTED WOOD TRIM ON	(25) BRICKY CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
(6) 4" PRE-FINISHED ALUMINUM GUTTER ON	(16) 2X2 PAINTED WOOD TRIM ON	(26) 4" CONCRETE LINTEL
(7) SEALED DOUBLE GLAZED PVC WINDOW	(17) 2X2 PRE-FINISHED METAL FLASHING	(27) 4" CONCRETE BS
(8) SEALED DOUBLE GLAZED PVC SLIDING	(18) 2X2 PRE-FINISHED METAL FLASHING	(28) ALUMINUM & GLASS RAILING
(9) WOOD DOOR	(19) 2X2 PRE-FINISHED METAL THROUGH WALL	(29) OVERHEAD GARAGE DOOR ON TIMBERED GLASS
(10) FRENCH DOOR w/ TRANSCOM OVER	(20) 4" FISH METAL RAILING	(30) 2X2 BRICK MAJALLOES

2024-09-25  
DP DRAWING FOR COUNCIL

2024-09-25  
REVISED P.L. NUMBER

2024-09-25  
REVISED PLANNING COMMENTS

2024-09-25  
REVISED PLAN

2024-09-25  
REVISED PLAN

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2024-09-25  
REVISED PLAN

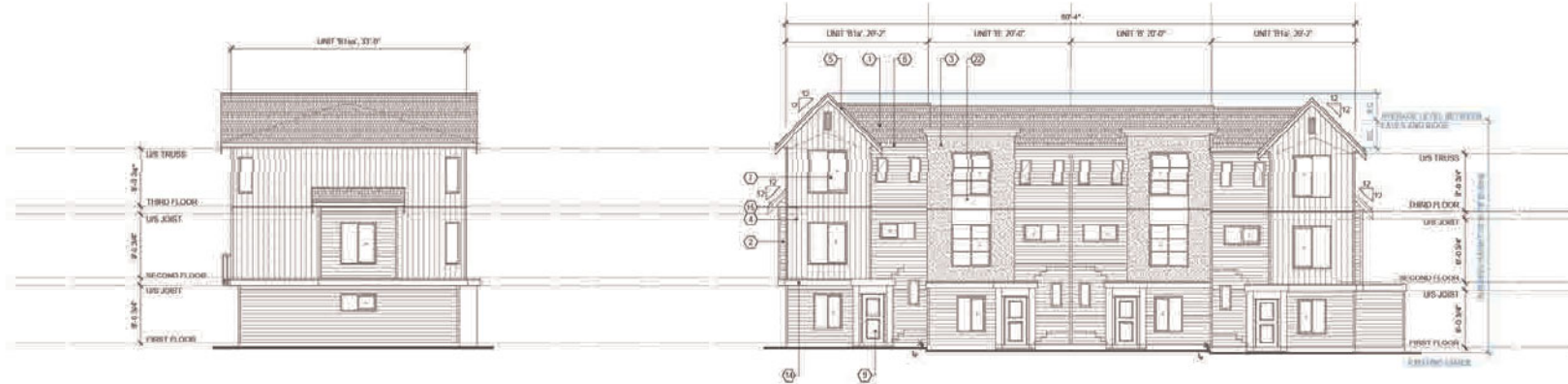
2024-09-25  
REVISED PLAN

2024-09-25  
REVISED PLAN

2024-09-25  
REVISED PLAN

Model based on Section 1/12/2024 by Michael A. Smith

Architectural drawings for Building 3, Units 101-104. Drawing by Focus Architecture, Inc.

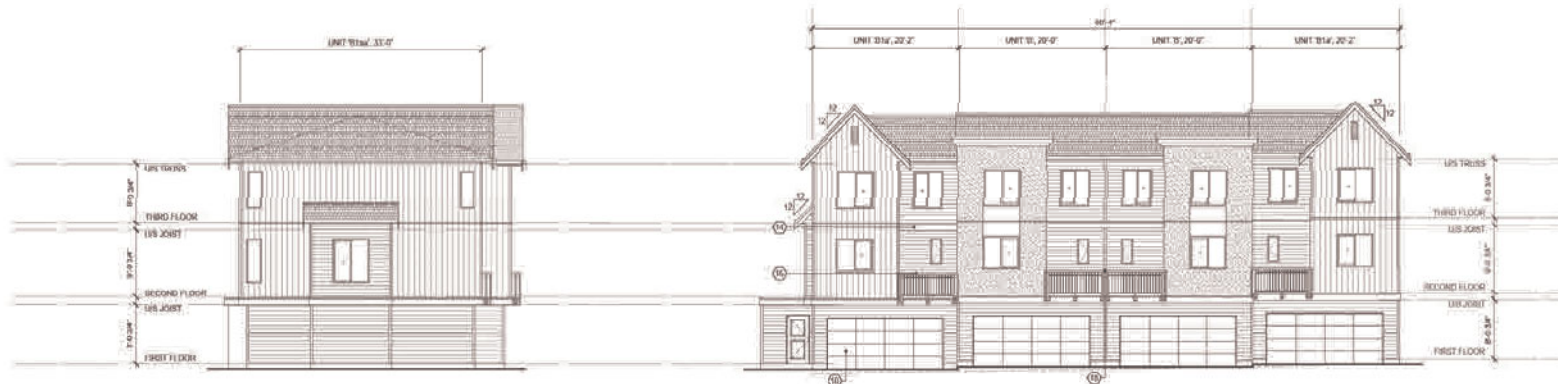


**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"

**EAST ELEVATION**

SCALE: 1/8"=1'-0"



**NORTH ELEVATION**

SCALE: 1/8"=1'-0"

**WEST ELEVATION**

SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

- |   |   |   |
|---|---|---|
| ① COMPOSITE ASPHALT SHINGLES                                    | ⑪ INSULATED STEEL DOOR  | ⑲ WOOD PRIVACY SCREEN                                 |
| ② HORIZONTAL CEMENT BOARD SIDING                                | ⑫ OVERHEAD GARAGE DOOR  | ⑳ METAL ROOF  |
| ③ SMOOTH EXTERIOR BOARD PANEL WITH EASY TRIM AT EDGES           | ⑬ PAINTED WOOD COLUMN   | ㉑ BRICK VENEER  |
| ④ WOODS   | ⑭ 2x4 PAINTED WOOD TRIM OR 2x6 PAINTED WOOD TRIM w/ 1x4 PLYWOOD | ㉒ WOOD WRACKOFF                                       |
| ⑤ VERTICAL SIDING (CEMENT BOARD)                                | ⑮ 2x6 PAINTED WOOD TRIM OR 2x8 PAINTED WOOD TRIM w/ 1x4 PLYWOOD | ㉓ SMOOTH EXTERIOR BOARD PANEL WITH EASY TRIM AT EDGES |
| ⑥ 2x6 PAINTED WOOD TRIM OR 2x8 PAINTED WOOD TRIM w/ 1x4 PLYWOOD | ⑯ 2x6 PAINTED WOOD TRIM OR 2x8 PAINTED WOOD TRIM w/ 1x4 PLYWOOD | ㉔ 4" CONCRETE LINTEL                                  |
| ⑦ PRE-FINISHED ALUMINUM GLITTER ON SMOOTH EXTERIOR BOARD PANEL  | ⑰ 2x4 PAINTED WOOD TRIM OR 2x6 PAINTED WOOD TRIM w/ 1x4 PLYWOOD | ㉕ 4" CONCRETE SILL                                    |
| ⑧ SEALED DOUBLE GLAZED PVC WINDOW                               | ⑱ PRE-FINISHED METAL THROUGH WALL                               | ㉖ ALUMINUM & GLASS RAILING                            |
| ⑨ SEALED DOUBLE GLAZED PVC SLIDING GARAGE DOOR                  | ㉒ 4" X 7" FIRM METAL RAILING                                    | ㉗ OVERHEAD GARAGE DOOR ON TIMBERED GLASS              |
|   | ㉓ FRENCH DOOR w/ TRANSOM OVER                                   | ㉘ CHINA POST MAILBOX                                  |

Model based on Section 1/12/2024 by Michael A. Smith

**FOCUS**  
ARCHITECTURE  
INCORPORATED

Suite 110 - 188E McCollum Road  
Asheville, North Carolina 28704  
804.683.3222 | 804.683.3442  
www.focusa.com

- 2024.09.26  
DP DRAWINGS FOR COUNCIL
- ① REVISION
  - ② REVISION
  - ③ REVISION
  - ④ REVISION
  - ⑤ REVISION
  - ⑥ REVISION
  - ⑦ REVISION
  - ⑧ REVISION
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  - ㉖ REVISION
  - ㉗ REVISION
  - ㉘ REVISION

**REVISIONS**  
CONTRACT

**CLIENT**  
WESMONT HOMES  
(CLAYTON 74 AVE) LTD

**PROJECT**  
TOWNHOUSE  
DEVELOPMENT

1899, 1898, 1849 - 24 AVENUE  
WASHCREEK, NC

DRAWING TITLE:

**BUILDING 3  
ELEVATIONS**

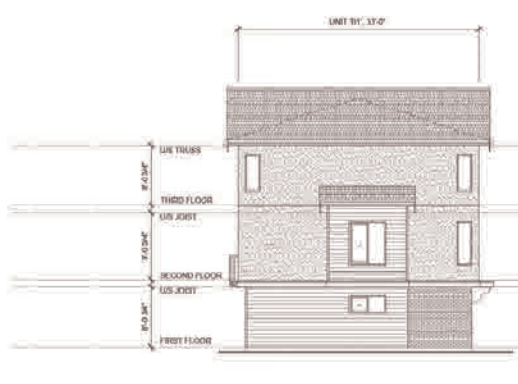
DATE: 2024.09.26 FILE NO.:  
DWN: JH  
CHK: CH 2016



SCALE  
SHEET NO.

**DP-3.02**

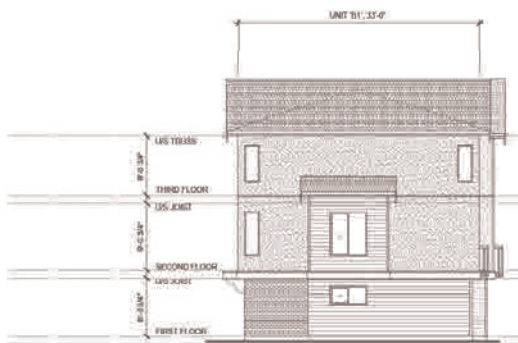
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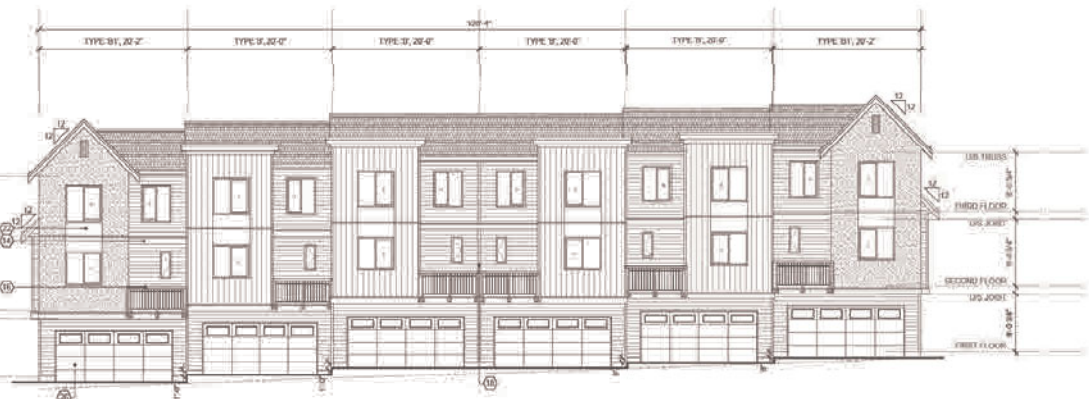
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	①3 INSULATED STEEL DOOR	①3 WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING	①4 OVERHEAD GARAGE DOOR	①4 METAL ROOF
③ SLURRY FINISH (CONCRETE VINYL SIDING AT OTHERS)	①5 PAINTED WOOD COLUMN	①5 BRICK VENEER
④ FINISHED	①6 PAINTED WOOD TRIM	①6 WOOD SHAKYARD
⑤ VERTICAL SIDING (CEMENT BOARD)	①7 2x6 PAINTED WOOD TRIM	①7 3/4" CHERRY BOARD PANEL WITH EASY TRIM AL EDGES
⑥ 2x6 PAINTED WOOD TRIM ON ROOF TRIM	①8 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	①8 4" CONCRETE LINTEL
⑦ 2x6 PAINTED WOOD TRIM ON ROOF TRIM	①9 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	①9 4" CONCRETE BS
⑧ PRE-FINISHED ALUMINUM GLITTER ON 2x6 PAINTED WOOD TRIM	②0 PREFINISHED METAL THROUGH WALL	②0 ALUMINUM & GLASS RAILING
⑨ SEALED DOUBLE GLAZED PVC WINDOW	②1 4" FRENCH DOOR	②1 OVERHEAD GARAGE DOOR ON TIMBERED GLASS
⑩ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	②2 FRENCH DOOR	②2 GRANITE POST MAILBOXES

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- 2014-09-25 DP DRAWINGS FOR COUNCIL
  - 2014-09-25 REVISED P.L. NUMBER
  - 2014-09-25 REVISED PLANNING COMMENTS
  - 2014-09-25 P.L. REVISIONS
  - 2014-11-02 ENG EXAMINATION
  - 2014-11-02 REVISED SITE PLAN
  - 2015-01-27 REVISED SITE PLAN
  - 2015-03-02 REVISED SITE PLAN
  - 2015-03-02 COUNCIL EXAMINATION COMMENTS
  - 2015-03-02 REVISED SITE PLAN
- REVISIONS:  
 CHECKED: TANTY

CLIENT:  
**WESMONT HOMES**  
 (CLAYTON 74 AVE) LTD

PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
 1899, 1893, 1840 - 24 AVENUE  
 WORTHINGTON, NC  
 DRAWING TITLE:

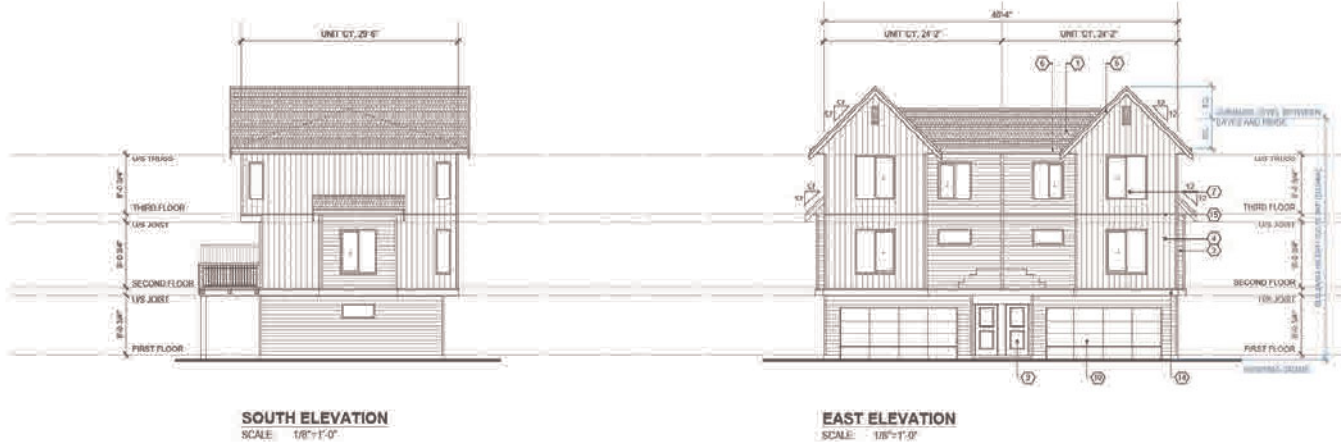
**BUILDING 4 ELEVATIONS**

DATE: 2016.04.25 FILE NO.:  
 DWN: JH  
 CHK: CHL **2016**



SEAL  
 SHEET NO.  
**DP-4.03**

North Arrow: N  
Scale: 1/8" = 1'-0"



**ELEVATION MATERIAL LEGEND**

(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD SIDING AS SHOWN AT OTHERS	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) STUCCO	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(4) VERTICAL SIDING (CEMENT BOARD)	(14) 2x2 PAINTED VENEER TRIM ON WOOD TRIM	(24) WOOD SHAKYARD
(5) 2x2 PAINTED WOOD FASCIER ON WOOD TRIM	(15) 2x2 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(25) SMOOTH CEMENT BOARD PANEL WITH EASY TRIMMABLE EDGES
(6) P/F PRE-FINISHED ALUMINUM GLITTER ON SOLID PANELED WOOD PANEL	(16) 2x2 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(26) 4" CONCRETE LINTEL
(7) SEaled DOUBLE GLAZED PVC WINDOW	(17) 2x2 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(27) 4" CONCRETE BS
(8) SEaled DOUBLE GLAZED PVC SLIDING PATIO DOOR	(18) PREFINISHED METAL THROUGH WALL CORNER	(28) ALUMINUM & GLASS RAILING
	(19) 4X7 FISH METAL RAILING	(29) OVERHEAD GARAGE DOOR ON TIMBERED GLASS
	(20) FRENCH DOOR w/ TRANSLUCENT GLASS	(30) GRANITE POST MALLBOYS

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2024-09-25  
DP DRAWINGS FOR CONSTRUCTION  
2024-09-25  
ARCHITECTURAL PLAN SHEET  
2024-09-25  
FOUNDATION PLAN  
2024-09-25  
FIRST FLOOR PLAN  
2024-09-25  
SECOND FLOOR PLAN  
2024-09-25  
THIRD FLOOR PLAN  
2024-09-25  
OVERHEAD GARAGE PLAN

REVISIONS:  
CORRECT TYPING

CLIENT:  
WESMONT HOMES  
(CLAYTON 74 AVE) LTD

PROJECT:  
TOWNHOUSE DEVELOPMENT

18925, 18910, 18940 - 24 AVENUE  
MURFREY, NC

DRAWING TITLE:  
BUILDING 5  
ELEVATIONS

DATE: 2024-09-25 FILE NO.  
DWN: JM  
CHK: CH 2016



DATE: 2024-09-25

SCALE:  
SHEET NO. DP-5.02





**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	⑩ INSULATED STEEL DOOR	②④ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING, 2x6 SHIP LAP SIDING AT OTHERS	⑪ OVERHEAD GARAGE DOOR	⑤ METAL ROOF
③ WOODS	⑫ PAINTED WOOD COLUMN	⑥ BRICK VENEER
④ VERTICAL SIDING (CEMENT BOARD)	⑬ 2x4 PAINTED WOOD TRIM ON EXTERIOR	⑦ WOOD WEAPOFF
⑤ 2x6 SHIP LAP WOOD FASCIA 1/4" x 1 1/4" ROOF TRIM	⑭ 2x6 PAINTED WOOD TRIM ON INTERIOR	⑧ SMOOTH CEMENT BOARD PANEL WITH EASY TRIM EDGES
⑥ 2" PRE-FINISHED ALUMINUM GLITTER ON 2x6 PAINTED WOOD FASCIA	⑮ 2x2 PAINTED WOOD TRIM ON INTERIOR	⑨ 4" CONCRETE LINTEL
⑦ SEALED DOUBLE GLAZED PVC WINDOW	⑯ PRE-FINISHED METAL THROUGH WALL	⑩ 4" CONCRETE BS
⑧ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑰ 4x7 PINE METAL RAILING	⑪ ALUMINUM & GLASS RAILING
	⑱ FRENCH DOOR w/ TRANSOM OVER	⑫ OVERHEAD GARAGE DOOR w/ TIMBERED GLASS
		⑬ CANADA POST MAILBOX

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- 2016-09-23 DP DRAWINGS FOR COUNCIL
- 2016-09-23 REVISED P.L. APPROVAL
- 2016-09-23 REVISED PLANNING COMMENTS
- 2016-09-23 REVISED SPECIFICATIONS
- 2016-09-23 REVISED EXTERIOR PLAN
- 2016-09-23 REVISED SITE PLAN
- 2016-09-23 REVISED CONCEPT
- 2016-09-23 REVISED CONCEPT
- 2016-09-23 REVISED CONCEPT

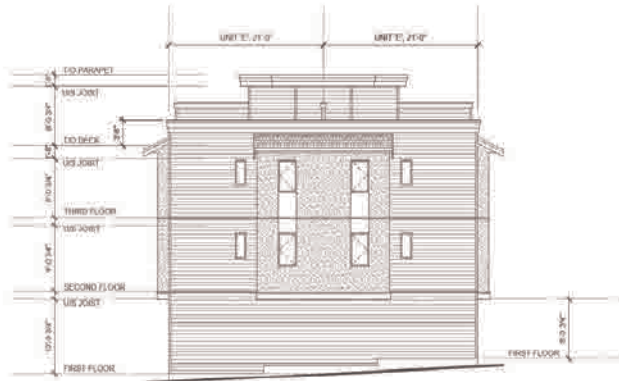
CLIENT  
**WESTMONT HOMES**  
 (CLAYTON 74 AVE) LTD  
 PROJECT  
**TOWNHOUSE DEVELOPMENT**  
 1895, 1893, 1890 - 74 AVENUE  
 WESTMONT, BC  
 DRAWING TITLE  
**BUILDING 6 ELEVATIONS**

DATE: 2016-09-23 FILE NO.  
 DWN: JH  
 CHK: CH 2016

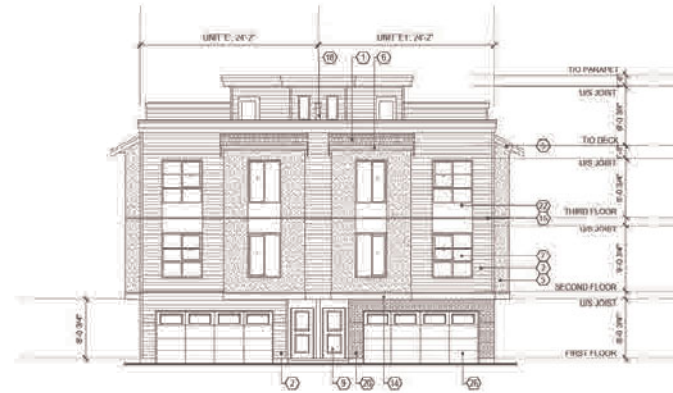


SCALE  
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**DP-6.03**

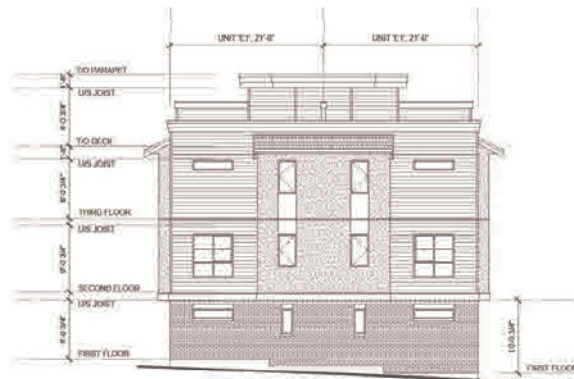
Project Name: 74 Avenue Development  
 Date: 2024-09-23  
 Scale: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



BUILDING 10 SHOWN FOR CONTEXT

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	⑩ INSULATED STEEL DOOR	⑳ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING	⑪ OVERHEAD GARAGE DOOR	㉑ METAL ROOF
③ 3/8" SWIFT FRAMING (EXCEPT VERT. SING. AT OTHERS)	⑫ PAINTED WOOD COLUMN	㉒ BRICK VENEER
④ FINISHED	⑬ 2x4 PAINTED WOOD TRIM ON	㉓ WOOD WRACKOFF
⑤ VERTICAL SIDING (CEMENT BOARD)	⑭ 2x6 PAINTED WOOD TRIM ON	㉔ SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
⑥ 2x6 UNGRADED WOOD FASCIA (w/ 1/4" ROOF TRIM)	⑮ PRE-FINISHED METAL FLASHING	㉕ 4" CONCRETE LINTEL
⑦ PRE-FINISHED ALUMINUM GLITTER ON 2x6 PAINTED WOOD TRIM	⑯ PRE-FINISHED METAL THROUGH WALL FLASHING	㉖ 4" CONCRETE BS
⑧ SEALED DOUBLE GLAZED PVC WINDOW	⑰ 4"x8" FRENCH DOOR (w/ TRANSOM OVER)	㉗ ALUMINUM & GLASS RAILING
⑨ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑱ 4"x7" FRENCH DOOR (w/ TRANSOM OVER)	㉘ OVERHEAD GARAGE DOOR (w/ TIMBERED GLASS)
		㉙ CANADA POST MAILBOXES

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NO.	DESCRIPTION
1	2024.09.20 DP DRAWINGS FOR COUNCIL
2	2024.09.20 REVISED P.L. NUMBER
3	2024.09.20 REVISED PLUMBING/MECHANICAL
4	2024.09.20 REVISED ELECTRICAL
5	2024.09.20 REVISED SITE PLAN
6	2024.09.20 REVISED SITE PLAN
7	2024.09.20 REVISED SITE PLAN
8	2024.09.20 REVISED SITE PLAN
9	2024.09.20 REVISED SITE PLAN
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18	2024.09.20 REVISED SITE PLAN
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20	2024.09.20 REVISED SITE PLAN
21	2024.09.20 REVISED SITE PLAN
22	2024.09.20 REVISED SITE PLAN
23	2024.09.20 REVISED SITE PLAN
24	2024.09.20 REVISED SITE PLAN
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26	2024.09.20 REVISED SITE PLAN
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30	2024.09.20 REVISED SITE PLAN
31	2024.09.20 REVISED SITE PLAN
32	2024.09.20 REVISED SITE PLAN
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48	2024.09.20 REVISED SITE PLAN
49	2024.09.20 REVISED SITE PLAN
50	2024.09.20 REVISED SITE PLAN

CLIENT:  
**WESMONT HOMES**  
 (CLAYTON 74 AVE) LTD

PROJECT:  
**TOWNHOUSE DEVELOPMENT**

7895, 7897, 7899, 7901 AVENUE  
 WARMUP, BC

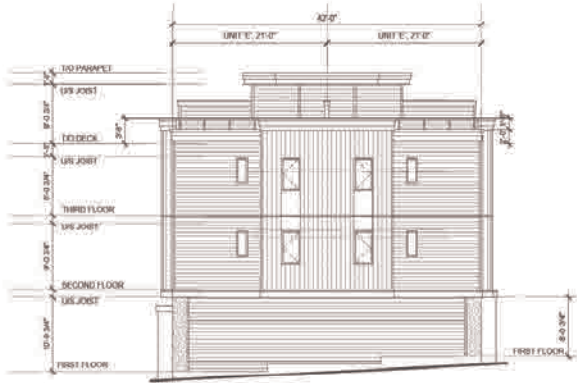
DRAWING TITLE:  
**BUILDING 7 ELEVATIONS**

DATE: 2024.09.23 FILE NO.  
 DWN: JM  
 CHK: CH 2016

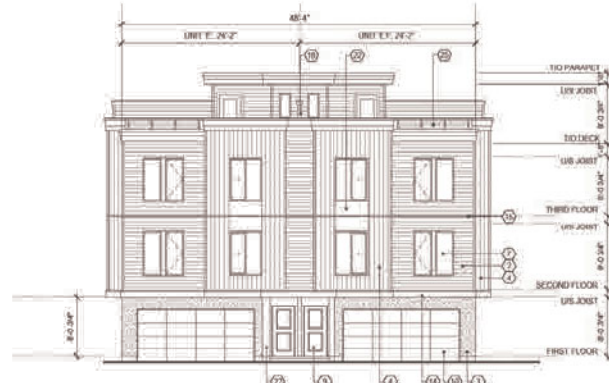


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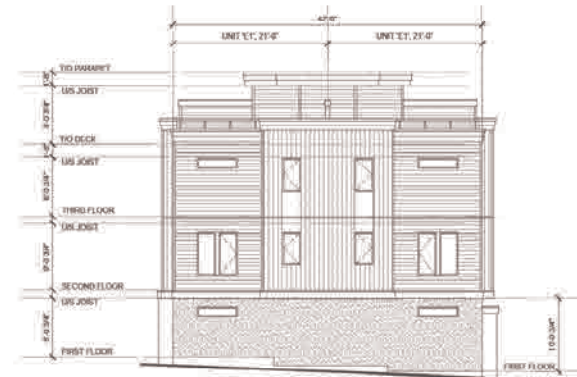
SHEET NO: DP-7.02



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD SIDING, ALL SURF EXCEPT EXTERIOR VENT SIDING AT OTHERS	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) BRICK	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(4) VERTICAL SIDING (CEMENT BOARD)	(14) 2x4 PAINTED WOOD TRIM ON ALL FINISHING W/ O.P. FLASHING	(24) WOOD WRACKOFF
(5) 2x4 UNPAINTED WOOD FASCIA W/ 1/4" ROUND TRIM	(15) 2x6 PAINTED WOOD TRIM ON O.P. PREFINISHED METAL FLASHING	(25) 3600X1200X12 BOARD PANEL WITH EASY TRIM AT EDGES
(6) P/P FINISHED ALUMINUM GLITTER ON 2x4 PAINTED WOOD FASCIA	(16) 2x2 PAINTED WOOD TRIM ON O.P. PREFINISHED METAL FLASHING	(26) 4" CONCRETE LINTEL
(7) SEALED DOUBLE GLAZED PVC WINDOW	(17) PREFINISHED METAL THROUGH WALL FLASHING	(27) 4" CONCRETE BS
(8) SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	(18) 47" TYPICAL METAL RAILING	(28) ALUMINUM & GLASS RAILING
	(19) TRENCH DOOR W/ TRANSOM OVER	(29) OVERHEAD GARAGE DOOR W/ TIMBERED GLASS
		(30) GRANITE POST MAILBOX

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NO.	DATE	DESCRIPTION
1	2024-09-23	DP DRAWINGS FOR COUNCIL
2	2024-09-23	REVISED P.L. NUMBER
3	2024-09-23	REVISED PLUMBING COMMENTS
4	2024-09-23	REVISED ELECTRICAL
5	2024-09-23	REVISED MECHANICAL
6	2024-09-23	REVISED SITE PLAN
7	2024-09-23	REVISED FLOOR PLAN
8	2024-09-23	REVISED SECTION
9	2024-09-23	REVISED ELEVATION
10	2024-09-23	REVISED CONCEPT
11	2024-09-23	REVISED CONCEPT

CLIENT  
**WESMONT HOMES**  
 (CLAYTON 74 AVE) LTD

PROJECT  
**TOWNHOUSE DEVELOPMENT**

1899, 1810, 1840 - 24 AVENUE  
 WASHINGTON, NC

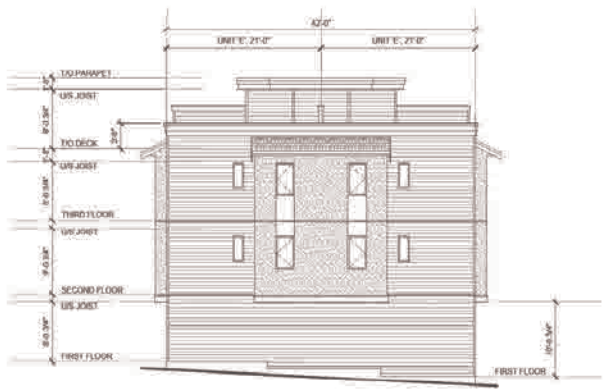
DRAWING TITLE  
**BUILDING 8 ELEVATIONS**

DATE: 2024-09-23 FILE NO.  
 DWG: DP-8.02  
 CDR: JSM



SCALE: AS SHOWN  
 SHEET NO: **DP-8.02**

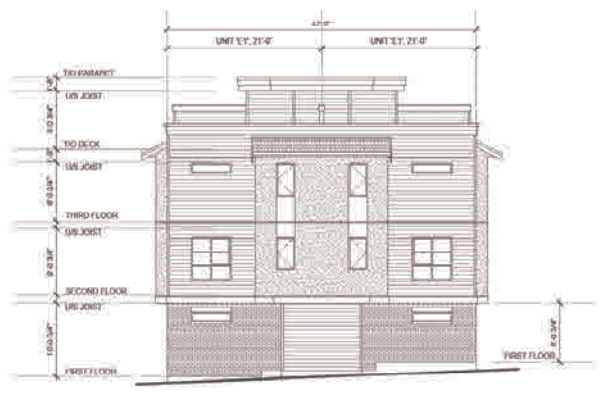
Project Name: 1801 Clayton St. Unit 9. Drawing No. DP-9.02



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD SIDING, ALL SURFACES EXCEPT VERTICAL SURFACES AT OTHERS	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) BRICK	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(4) FINISHED	(14) PAINTED WOOD TRIM	(24) WOOD WRACKOFF
(5) VERTICAL SIDING (CEMENT BOARD)	(15) 2x4 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(25) SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
(6) 2x4 PAINTED WOOD FASCIA ON 1x4 WOOD TRIM	(16) 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(26) 4" CONCRETE LINTEL
(7) PREFINISHED ALUMINUM GLITTER ON SUBPANEL WITH 3/8" FASCIA	(17) 2x2 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(27) 4" CONCRETE BS
(8) SEALED DOUBLE GLAZED PVC WINDOW	(18) PREFINISHED METAL THROUGH WALL	(28) ALUMINUM & GLASS RAILING
(9) SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	(19) 4" FRENCH DOOR	(29) OVERHEAD GARAGE DOOR ON TIMBERED GLASS
	(20) 4" FRENCH DOOR	(30) GRANITE POST MAILBOX

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2024-09-02  
 DP DRAWINGS FOR COUNCIL

NO.	DATE	DESCRIPTION
1	2024-09-02	ISSUE FOR PERMITS
2	2024-09-02	ISSUE FOR PERMITS
3	2024-09-02	ISSUE FOR PERMITS
4	2024-09-02	ISSUE FOR PERMITS
5	2024-09-02	ISSUE FOR PERMITS
6	2024-09-02	ISSUE FOR PERMITS
7	2024-09-02	ISSUE FOR PERMITS
8	2024-09-02	ISSUE FOR PERMITS
9	2024-09-02	ISSUE FOR PERMITS
10	2024-09-02	ISSUE FOR PERMITS

REVISIONS:  
 CORRECT TYP

CLIENT:  
**WESMONT HOMES**  
 (CLAYTON 74 AVE) LTD

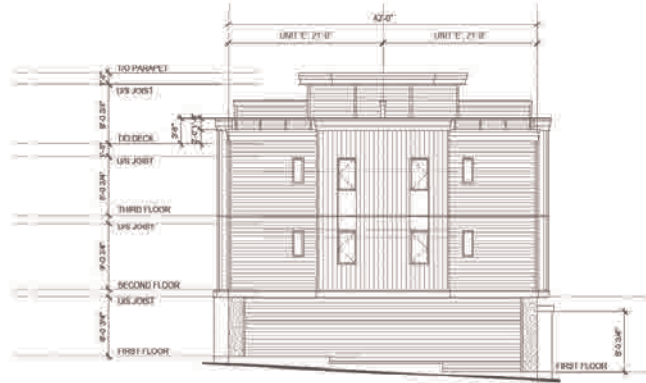
PROJECT:  
**TOWNHOUSE DEVELOPMENT**

1899, 1893, 1849 - 24 AVENUE  
 MURFREY, NC

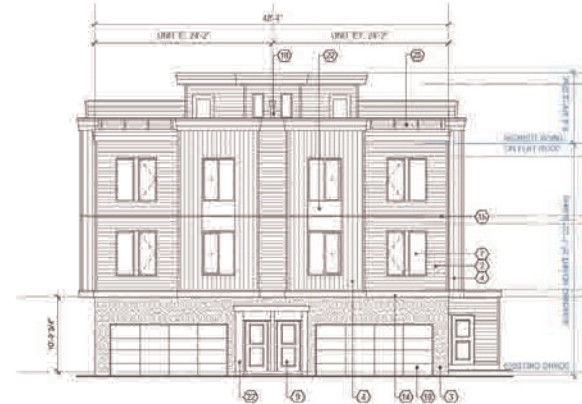
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**BUILDING 9 ELEVATIONS**

DATE: 2024.09.02 FILE NO.  
 DWN: JM  
 CHK: CHL **2016**

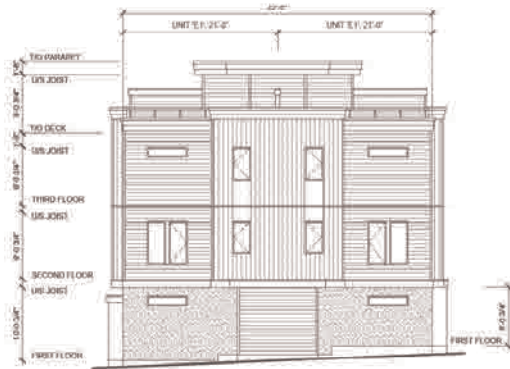
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**DP-9.02**



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD SIDING	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) 3/8" SURF FINISH FLOORING (EXCEPT VINYL SIDING AT OTHERS)	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(4) FINISH	(14) 2x4 PAINTED WOOD TRIM	(24) WOOD WRACKOFF
(5) VERTICAL SIDING (CEMENT BOARD)	(15) 2x4 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(25) SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
(6) 2x6 PAINTED WOOD FASCIA (w/ 1/4" ROUND TRIM)	(16) 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(26) 4" CONCRETE LINTEL
(7) PREFINISHED ALUMINUM GLITTER ON INSULATED WOOD FASCIA	(17) 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(27) 4" CONCRETE BS
(8) SEALED DOUBLE GLAZED PVC WINDOW	(18) PREFINISHED METAL THROUGH WALL FLASHING	(28) ALUMINUM & GLASS RAILING
(9) SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	(19) PREFINISHED METAL THROUGH WALL FLASHING	(29) OVERHEAD GARAGE DOOR ON TIMBERED GLASS
	(20) FINISH DOOR (w/ TRANSOM OVER)	(30) GRANITE POST MAILBOX

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 INCORPORATED  
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 Raleigh, North Carolina 27613  
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2016-04-25  
 DP DRAWINGS FOR COUNCIL

2016-04-25	REVISED P.L. NUMBER
2016-04-25	REVISED PLANNING COMMENTS
2016-04-25	REVISED P.L. NUMBER
2016-04-25	REVISED P.L. NUMBER
2016-04-25	REVISED P.L. NUMBER
2016-04-25	REVISED P.L. NUMBER
2016-04-25	REVISED P.L. NUMBER
2016-04-25	REVISED P.L. NUMBER
2016-04-25	REVISED P.L. NUMBER

REVISIONS:  
 CORRECT TYP

CLIENT:  
**WESMONT HOMES**  
 (CLAYTON 74 AVE) LTD

PROJECT:  
**TOWNHOUSE DEVELOPMENT**

1893, 1893, 1894 - 24 AVENUE  
 WARRICK, NC

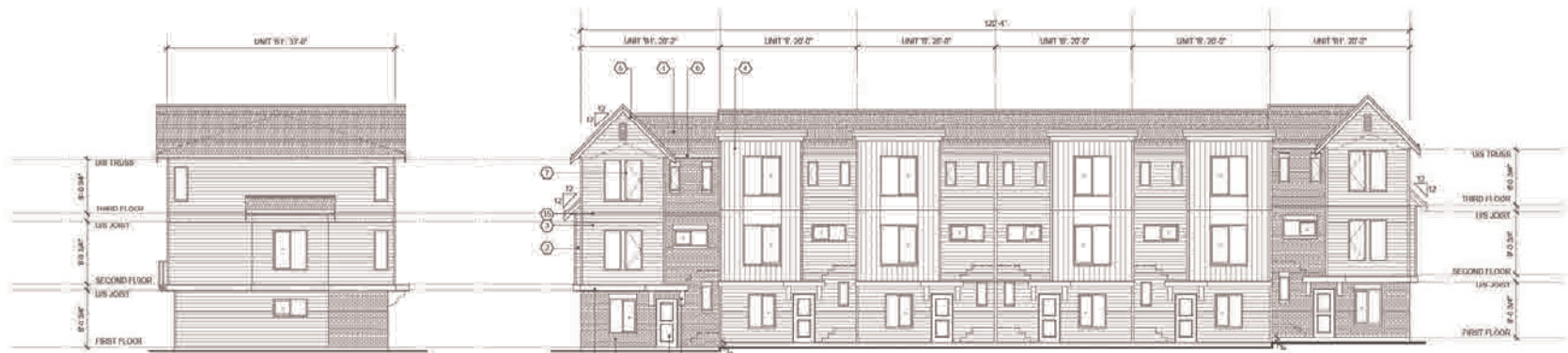
DRAWING TITLE:  
**BUILDING 10 ELEVATIONS**

DATE: 2016-04-25 FILE NO:  
 DWN: JMK  
 CHK: CHL **2016**



SCALE:  
 SHEET NO:

**DP-10.02**



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

1. COMPOSITE ASPHALT SHINGLES	13. 2x4 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	21. WOOD PRIVACY SCREEN
2. HORIZONTAL CEMENT BOARD SIDING, ALL SURFACES EXCEPT VERTICAL SURFACES AT OTHERS	14. 2x6 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	22. METAL ROOF
3. FINISHED	15. 2x2 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	23. BRICK VENEER
4. VERTICAL SIDING (CEMENT BOARD)	16. 2x2 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	24. WOOD WRASTLY
5. 2x4 FINISHED WOOD FASCIA w/ 1x4 ROOF TRIM	17. 2x2 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	25. SMOOTH CEMENT BOARD PANEL WITH EASY TRIM, EDGES
6. 4" PRE-FINISHED ALUMINUM GLITTER ON 2x2 FINISHED WOOD FASCIA	18. 2x2 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	26. 4" CONCRETE LINTEL
7. SEALED DOUBLE GLAZED PVC WINDOW	19. 2x2 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	27. 4" CONCRETE BS
8. SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	20. 2x2 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	28. ALUMINUM & GLASS RAILING
9. 47" FRON METAL RAILING	21. 2x2 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	29. OVERHEAD GARAGE DOOR ON TIMBERED GLASS
10. TRENCH DOOR w/ TRANSOM OVER	22. 2x2 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	30. CANADA POST MAILBOX
11. INSULATED STEEL DOOR	23. 2x2 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	
12. OVERHEAD GARAGE DOOR	24. 2x2 PAINTED WOOD TRIM ON PREFERRED METAL FLASHING	

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 Bismarck, North Dakota 58103  
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- 2014-09-25  
 DP DRAWINGS FOR COUNCIL  
 2014-09-25  
 REVISED P.L. NUMBER  
 2014-09-25  
 REVISED PLANNING COMMENTS  
 2014-11-03  
 2D PHOTOGRAPHY  
 2014-11-03  
 2D PHOTOGRAPHY  
 2014-09-27  
 REVISED SET PLAN  
 2014-09-27  
 REVISED SET PLAN  
 2014-09-27  
 CONCEPT DEVELOPMENT  
 2014-09-27  
 REVISED CONCEPT

REVISIONS  
 DRAWN BY: TANTY

CLIENT  
 WESMONT HOMES  
 (CLAYTON 74 AVE) LTD

PROJECT  
 TOWNHOUSE DEVELOPMENT  
 1895, 1893, 1849 - 24 AVENUE  
 BISMARCK, ND  
 DRAWING TITLE

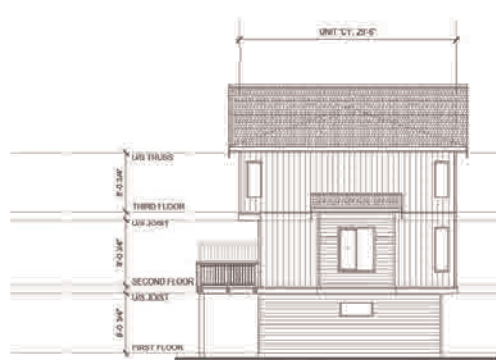
**BUILDING 11 ELEVATIONS**

DATE: 2016.04.25 FILE NO.  
 DWN: JH  
 CHK: CH 2016



SEAL  
 SHEET NO.  
**DP-11.03**

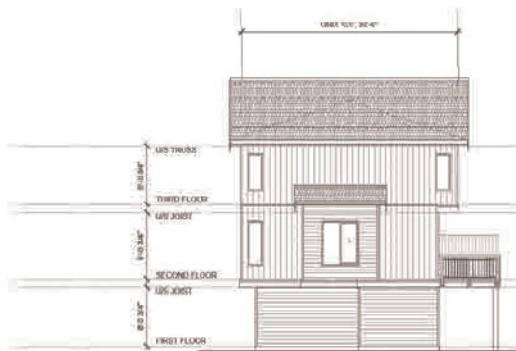
Project Name: Building 12 Elevation 12/2024  
 Drawing No: DP-12.02  
 Date: 2024-09-03  
 Scale: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD SIDING	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) 3/4" SURF FINISH (CONCRETE VINYL SIDING AT OTHERS)	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(4) FINISH	(14) 2x4 PAINTED WOOD TRIM ON	(24) WOOD WRACKOFF
(5) VERTICAL SIDING (CEMENT BOARD)	(15) 2x6 PAINTED WOOD TRIM ON	(25) SMOOTH CEMENT BOARD PANEL WITH EASY TRIMM. EDGES
(6) 2x6 HORIZONTAL WOOD FASCIA w/ 1x4 ROOF TRIM	(16) 2x6 PAINTED WOOD TRIM ON	(26) 4" CONCRETE LINTEL
(7) 2" PRE-FINISHED ALUMINUM GLITTER ON	(17) 2x6 PAINTED WOOD TRIM ON	(27) 4" CONCRETE BR
(8) 2x6 HORIZONTAL WOOD FASCIA w/ 1x4 ROOF TRIM	(18) 2x6 PAINTED WOOD TRIM ON	(28) ALUMINUM & GLASS RAILING
(9) 2" PRE-FINISHED ALUMINUM GLITTER ON	(19) 2x6 PAINTED WOOD TRIM ON	(29) OVERHEAD GARAGE DOOR ON TIMBERED GLASS
(10) SEALED DOUBLE GLAZED PVC WINDOW	(20) 2x6 PAINTED WOOD TRIM ON	(30) 4x4 POST MALLBOCK
(11) SEALED DOUBLE GLAZED PVC SLIDING	(21) 2x6 PAINTED WOOD TRIM ON	
(12) 2x6 PAINTED WOOD TRIM ON	(22) 2x6 PAINTED WOOD TRIM ON	
(13) 2x6 PAINTED WOOD TRIM ON	(23) 2x6 PAINTED WOOD TRIM ON	
(14) 2x6 PAINTED WOOD TRIM ON	(24) 2x6 PAINTED WOOD TRIM ON	
(15) 2x6 PAINTED WOOD TRIM ON	(25) 2x6 PAINTED WOOD TRIM ON	
(16) 2x6 PAINTED WOOD TRIM ON	(26) 2x6 PAINTED WOOD TRIM ON	
(17) 2x6 PAINTED WOOD TRIM ON	(27) 2x6 PAINTED WOOD TRIM ON	
(18) 2x6 PAINTED WOOD TRIM ON	(28) 2x6 PAINTED WOOD TRIM ON	
(19) 2x6 PAINTED WOOD TRIM ON	(29) 2x6 PAINTED WOOD TRIM ON	
(20) 2x6 PAINTED WOOD TRIM ON	(30) 2x6 PAINTED WOOD TRIM ON	

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 INCORPORATED  
 Suite 110 | 188E McCollum Road  
 Alhambra, South Carolina 29215  
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NO.	DESCRIPTION
2024.09.03	DP DRAWINGS FOR COUNCIL
2024.09.03	REVISED: PLUMBING/MECHANICAL
2024.09.03	REVISED: PLUMBING/MECHANICAL
2024.09.03	REVISED: PLUMBING/MECHANICAL
2024.09.03	REVISED: PLUMBING/MECHANICAL
2024.09.03	REVISED: PLUMBING/MECHANICAL
2024.09.03	REVISED: PLUMBING/MECHANICAL
2024.09.03	REVISED: PLUMBING/MECHANICAL
2024.09.03	REVISED: PLUMBING/MECHANICAL
2024.09.03	REVISED: PLUMBING/MECHANICAL

**REVISIONS:**  
 CHANGE TANTY  
  
**CLIENT:**  
 WESMONT HOMES  
 (CLAYTON 74 AVE) LTD  
  
**PROJECT:**  
 TOWNHOUSE  
 DEVELOPMENT  
 1895, 1895, 1895 - 24 AVENUE  
 WESMONT, NC  
**DRAWING TITLE:**  
 BUILDING 12  
 ELEVATIONS

DATE: 2024.09.03 FILE NO.  
 DWN: JH  
 CHK: CHL  
**2016**



SCALE:  
 SHEET NO:  
**DP-12.02**

Project Name: 13 Building 13, 74 Avenue, Northampton, MA 01060

Architect: FOCUS ARCHITECTURE INCORPORATED, 1388 McCullough Blvd, Northampton, MA 01060



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

① COMPOSITE ASPHALT SHINGLES	⑭ INSULATED STEEL DOOR	⑳ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING	⑮ OVERHEAD GARAGE DOOR	㉑ METAL ROOF
③ SLIP-RESISTING TILE CONTOUR VINYL SIDING AT OTHERS	⑯ PAINTED WOOD COLUMN	㉒ BRICK VENEER
④ FINISHED	⑰ 2x4 PAINTED VENEER TRIM ON PREFINISHED METAL FLASHING	㉓ WOOD WRACKOFF
⑤ VERTICAL SIDING (CEMENT BOARD)	⑱ 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	㉔ SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
⑥ 2x6 SHINGLED WOOD FASCIA w/ 1x4 ROOF TRIM	⑲ 2x2 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	㉕ 4" CONCRETE LINTEL
⑦ PRE-FINISHED ALUMINUM GLITTER ON SMOOTH WOOD FASCIA	㉚ PRE-FINISHED METAL THROUGH WALL	㉖ 4" CONCRETE BS
⑧ SEALED DOUBLE GLAZED PVC WINDOW	㉛ 47" HIGH METAL RAILING	㉗ ALUMINUM & GLASS RAILING
⑨ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	㉜ FINISH DOOR w/ TRANSOM OVER	㉘ OVERHEAD GARAGE DOOR ON TIMBERED GLASS
		㉙ SHIMADA POST MAILBOXES

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1388 McCullough Blvd  
Northampton, MA 01060  
Tel: 413.553.5522 Fax: 413.553.5442  
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- 2024-09-05  
DP DRAWINGS FOR CONSTRUCTION
- 2024-09-05 10:00 AM: REVISED: P.L. NUMBER
  - 2024-09-05 10:00 AM: REVISED: PLANNING COMMENTS
  - 2024-09-05 10:00 AM: REVISED: PLANNING COMMENTS
  - 2024-09-05 10:00 AM: REVISED: PLANNING COMMENTS
  - 2024-09-05 10:00 AM: REVISED: PLANNING COMMENTS
  - 2024-09-05 10:00 AM: REVISED: PLANNING COMMENTS
  - 2024-09-05 10:00 AM: REVISED: PLANNING COMMENTS
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  - 2024-09-05 10:00 AM: REVISED: PLANNING COMMENTS
  - 2024-09-05 10:00 AM: REVISED: PLANNING COMMENTS

REVISIONS  
CONSTRUCTION

CLIENT  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE DEVELOPMENT**  
7899, 18910, 18940 - 74 AVENUE  
NORTHAMPTON, MA

DRAWING TITLE  
**BUILDING 13 ELEVATIONS**

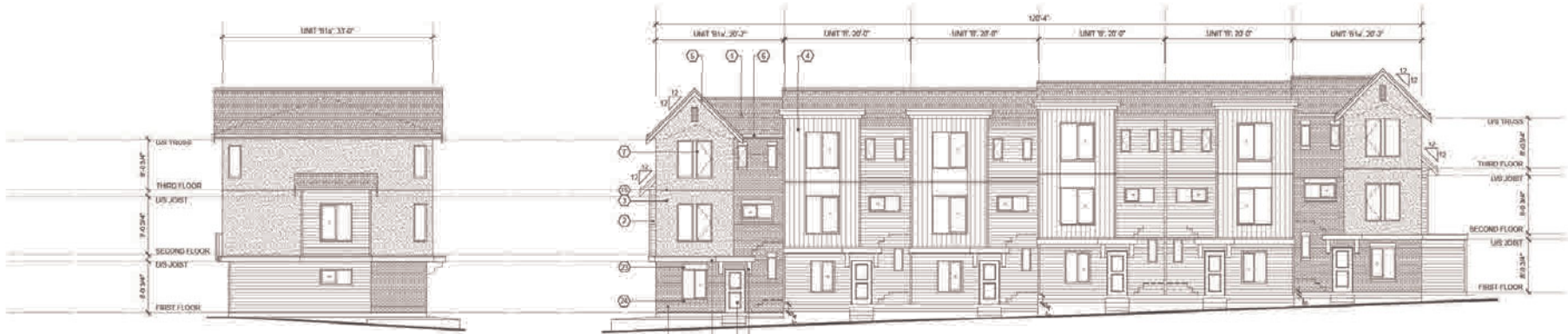
DATE: 2024.09.05 FILE NO.  
DWG: 06  
CHK: 01  
**2016**



SCALE  
SHEET NO.

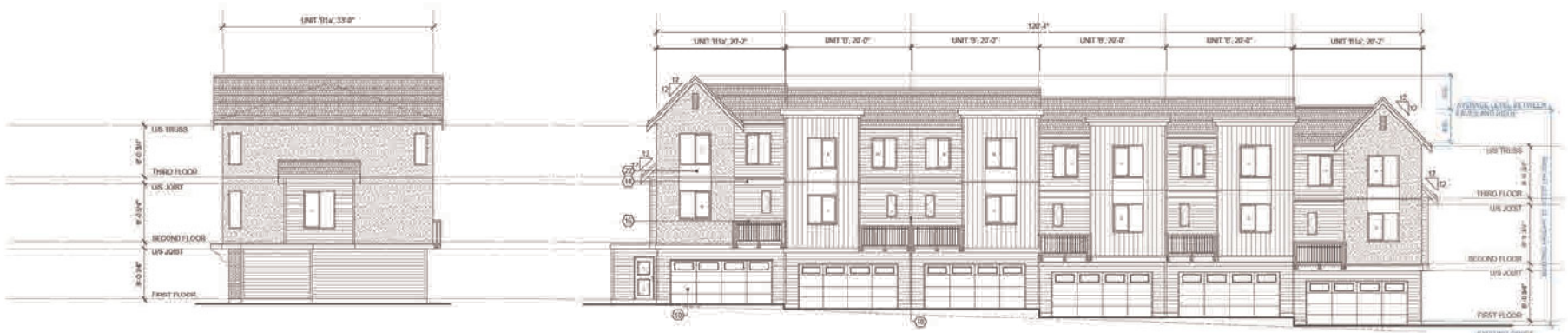
**DP-13.03**





**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	① INSULATED STEEL DOOR	②③ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING	② OVERHEAD GARAGE DOOR	④ METAL ROOF
③ STIFF FLOORING (CONCRETE/PLY) SIDING AT OTHERS	③ PAINTED WOOD COLUMN	⑤ BRICK VENEER
④ FINISHED	④ PAINTED WOOD TRIM	⑥ WOOD SHAKY
⑤ VERTICAL SIDING (CEMENT BOARD)	⑤ PAINTED WOOD TRIM w/ PREFINISHED METAL FLASHING	⑦ SMOOTH CEMENT BOARD PANEL WITH EASY TRIM. EDGES
⑥ 2x4 SHINGLED WOOD FASCIA w/ 1x4 WOOD TRIM	⑥ 2x6 PAINTED WOOD TRIM w/ PREFINISHED METAL FLASHING	⑧ 4" CONCRETE LINTEL
⑦ PREFINISHED ALUMINUM GLITTER ON 2x6 PAINTED WOOD TRIM	⑦ PREFINISHED METAL FLASHING	⑨ 4" CONCRETE BS
⑧ SEALED DOUBLE GLAZED PVC WINDOW	⑧ PREFINISHED METAL THROUGH WALL	⑩ ALUMINUM & GLASS RAILING
⑨ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑨ 4" X 7" FROM METAL RAILING	⑪ OVERHEAD GARAGE DOOR ON TIMBERED GLASS
	⑩ FINISH DOOR w/ TRANSOM OVER	⑫ GRANADA POST MAILBOX

Registered Architect - Third class, with  
 license in Florida, including working  
 with the State Board of Architecture  
 without prior approval of the  
 Florida State Board of Architecture

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2024-09-26  
 DP DRAWINGS FOR COUNCIL

APPROVED P.L. APPROVED

2024-09-26  
 REVISION: PLANNING/COMMENTS

2024-09-26  
 21-11-2024  
 2024-11-02  
 2024-09-26  
 2024-09-26  
 2024-09-26  
 2024-09-26  
 2024-09-26  
 2024-09-26  
 2024-09-26

REVISIONS:  
 CORRECT TYP

CLIENT  
**WESMONT HOMES**  
 (CLAYTON 74 AVE) LTD

PROJECT  
**TOWNHOUSE DEVELOPMENT**

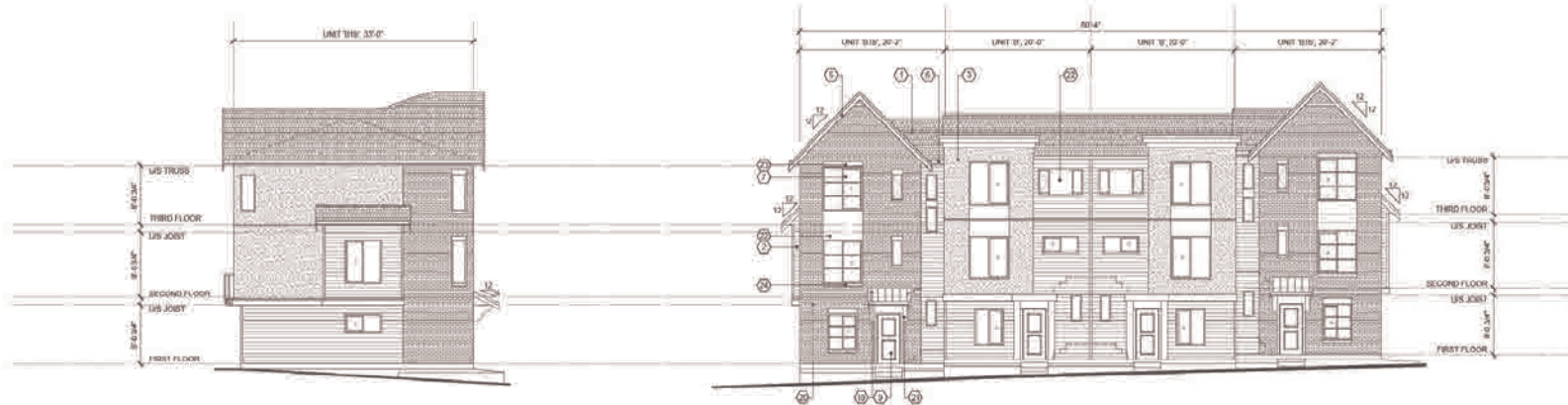
1895, 1895, 1840 - 74 AVENUE  
 WINTER, FL

DRAWING TITLE  
**BUILDING 14 ELEVATIONS**

DATE: 2024.09.26 FILE NO.  
 DWN: JM  
 CHK: CHL 2016



2024-09-26  
 SEAL: [Signature]  
 SHEET NO.  
**DP-14.03**



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	⑩ INSULATED STEEL DOOR	⑳ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING, 1/2" SURF FINISH (EXCEPT VINYL SIDING AT OTHERS)	⑪ OVERHEAD GARAGE DOOR	㉑ METAL ROOF
③ WOODS	⑫ PAINTED WOOD COLUMN	㉒ BRICK VENEER
④ VERTICAL SIDING (CEMENT BOARD)	⑬ 2x6 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING	㉓ WOOD WRACKOFF
⑤ 2x6 PAINTED WOOD FASCIA OR 1x4 WOOD TRIM	⑭ 2x6 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING	㉔ SMOOTH CEMENT BOARD PANEL WITH EASY TRIMMABLE EDGES
⑥ PRE-FINISHED ALUMINUM GLITTER ON 2x6 PAINTED WOOD FASCIA	⑮ 2x6 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING	㉕ 4" CONCRETE LINTEL
⑦ SEALED DOUBLE GLAZED PVC WINDOW	⑯ PRE-FINISHED METAL THROUGH WALL	㉖ 4" CONCRETE BS
⑧ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑰ 4x7 FISH METAL RAILING	㉗ ALUMINUM & GLASS RAILING
	⑱ FRENCH DOOR w/ TRANSOM OVER	㉘ OVERHEAD GARAGE DOOR ON TIMBERED GLASS
		㉙ CANADA POST MAILBOX

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 ARCHITECTURE  
 INCORPORATED  
 Suite 110 - 188E McCollum Road  
 Anaheim, CA 92806-1234  
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NO.	DATE	DESCRIPTION
1	2024-09-03	DP DRAWINGS FOR COUNCIL
2	2024-09-03	REVISED: PLANNING COMMENTS
3	2024-09-03	REVISED: PERMITS
4	2024-09-03	REVISED: PERMITS
5	2024-09-03	REVISED: PERMITS
6	2024-09-03	REVISED: PERMITS
7	2024-09-03	REVISED: PERMITS
8	2024-09-03	REVISED: PERMITS
9	2024-09-03	REVISED: PERMITS
10	2024-09-03	REVISED: PERMITS

REVISIONS:  
 CIVILIAN TANT

CLIENT:  
 WESMONT HOMES  
 (CLAYTON 74 AVE) LTD

PROJECT:  
 TOWNHOUSE  
 DEVELOPMENT

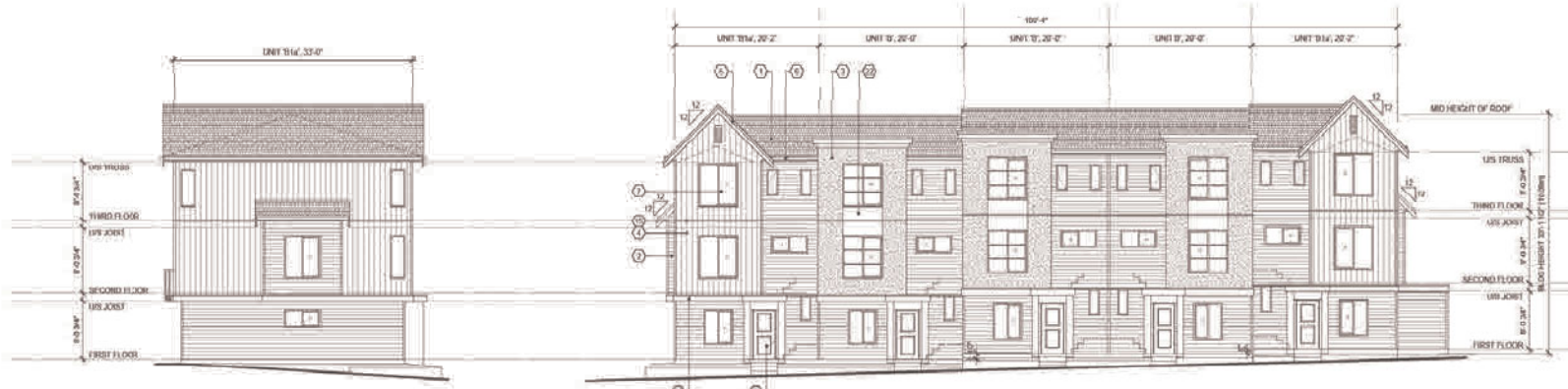
1895, 1810, 1840 - 24 AVENUE  
 WARRICK, BC

DRAWING TITLE:  
 BUILDING 15  
 ELEVATIONS

DATE: 2024-09-03 FILE NO.  
 DWG: 2024-09-03  
 CHK: 2024-09-03

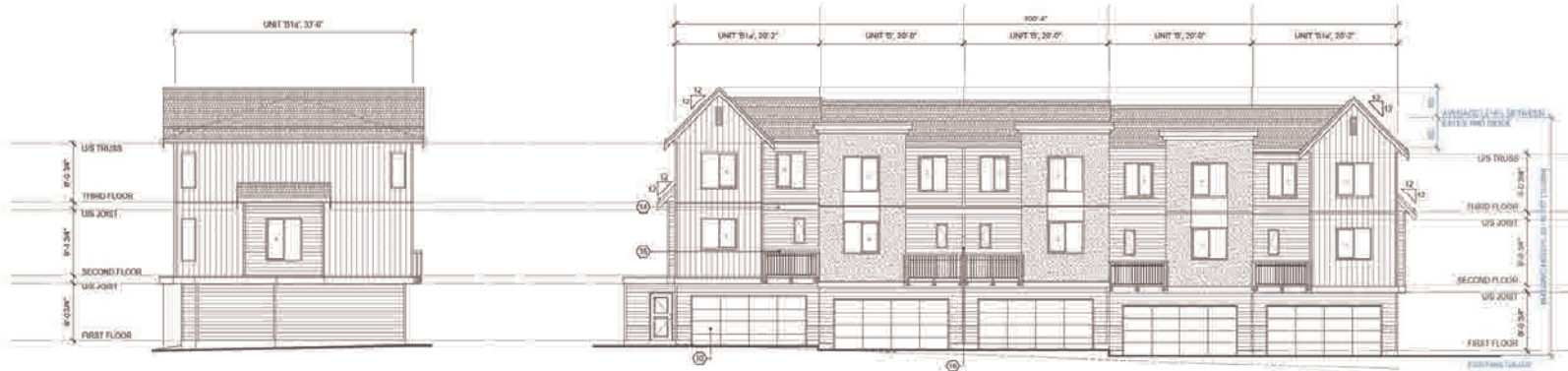


SEAL:  
 DATE: 2024-09-03  
 SHEET NO:  
**DP-15.02**



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

- |  |   |   |
|--|---|---|
| <ul style="list-style-type: none"> <li>(1) COMPOSITE ASPHALT SHINGLES</li> <li>(2) HORIZONTAL CEMENT BOARD SIDING</li> <li>(3) VERTICAL SIDING (CEMENT BOARD)</li> <li>(4) 2x6 SHINGLED WOOD FASCIA w/ 1x4 FLOOR TRIM</li> <li>(5) 2x2 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING</li> <li>(6) 2x6 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING</li> <li>(7) 2x2 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING</li> <li>(8) 4" CONCRETE LINTEL</li> <li>(9) 4" CONCRETE BS</li> <li>(10) ALUMINUM &amp; GLASS RAILING</li> <li>(11) OVERHEAD GARAGE DOOR W/ THERSEED GLASS</li> </ul> | <ul style="list-style-type: none"> <li>(12) INSULATED STEEL DOOR</li> <li>(13) OVERHEAD GARAGE DOOR</li> <li>(14) PAINTED WOOD COLUMN</li> <li>(15) 2x2 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING</li> <li>(16) 2x6 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING</li> <li>(17) 2x2 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING</li> <li>(18) 4" CONCRETE LINTEL</li> <li>(19) 4" CONCRETE BS</li> <li>(20) ALUMINUM &amp; GLASS RAILING</li> <li>(21) OVERHEAD GARAGE DOOR W/ THERSEED GLASS</li> </ul> | <ul style="list-style-type: none"> <li>(22) WOOD PRIVACY SCREEN</li> <li>(23) METAL ROOF</li> <li>(24) BRICK VENEER</li> <li>(25) WOOD WRACKER</li> <li>(26) SMOOTH CEMENT BOARD PANEL WITH EASY TRIMM' EDGES</li> <li>(27) 4" CONCRETE LINTEL</li> <li>(28) 4" CONCRETE BS</li> <li>(29) ALUMINUM &amp; GLASS RAILING</li> <li>(30) OVERHEAD GARAGE DOOR W/ THERSEED GLASS</li> <li>(31) GRANADA POST MAILBOX</li> </ul> |
|--|---|---|

- 2016-09-23  
 DP DRAWINGS FOR CONCRETE  
 2016-09-23  
 REVISED P.L. NUMBER  
 2016-09-23  
 REVISION: PLUMBING/MECHANICALS  
 2016-11-02  
 REVISED P.L. NUMBER  
 2016-11-02  
 REVISION: SITE PLAN  
 2016-11-02  
 REVISED SITE PLAN  
 2016-11-02  
 REVISION: CONCRETE/FOUNDATION CONCEPT  
 2016-09-23  
 REVISED FOR ROOF

REVISIONS  
 CONCRETE/FOUNDATION

CLIENT  
 WESMONT HOMES  
 (CLAYTON 74 AVE) LTD

PROJECT  
 TOWNHOUSE DEVELOPMENT

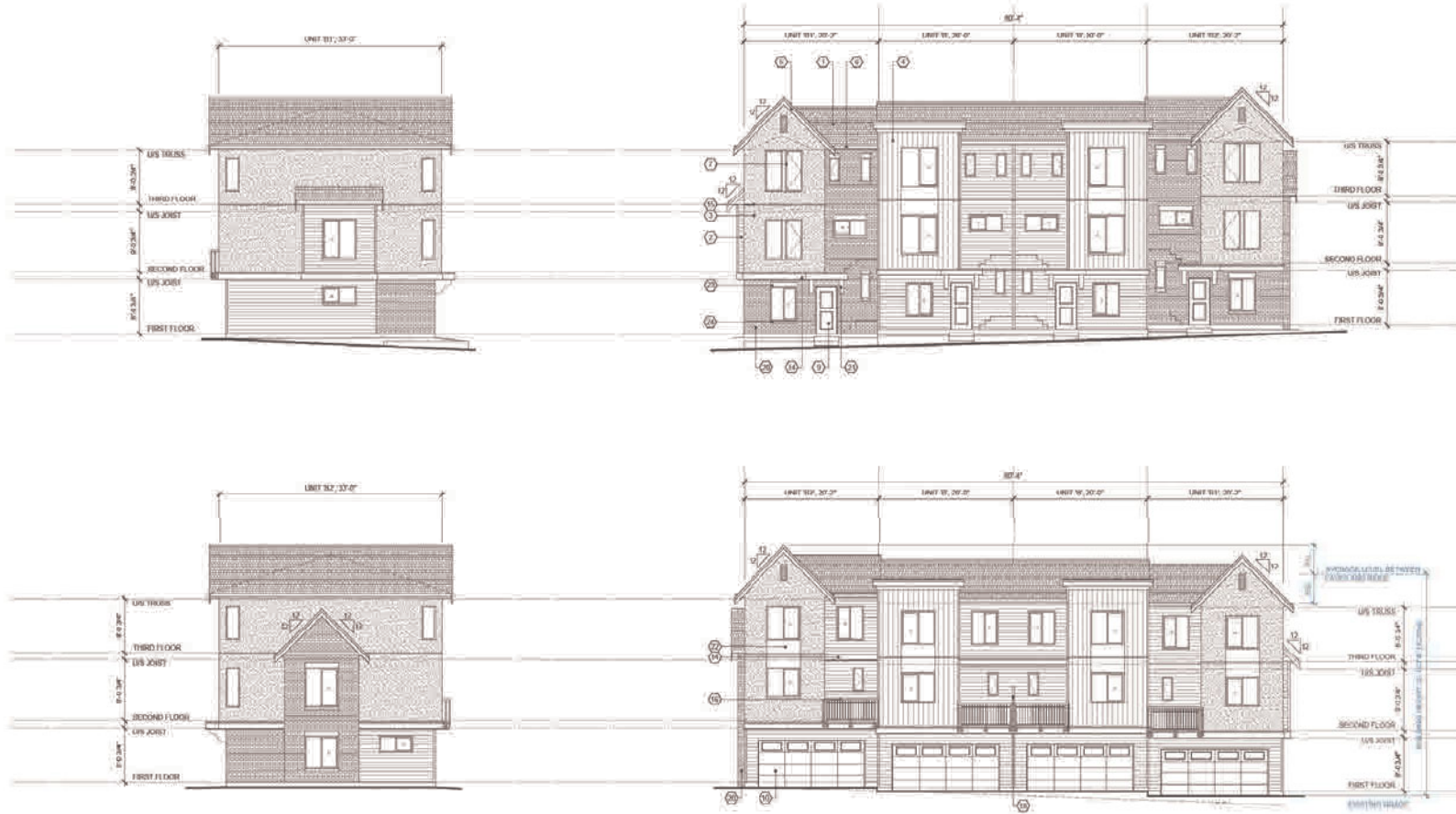
7899, 1810, 1840 - 74 AVENUE  
 NORTHMONT, NC

DRAWING TITLE  
 BUILDING 16  
 ELEVATIONS

DATE: 2016.09.23 FILE NO.  
 DWN: JH  
 CWN: CH 2016



SEAL  
 2016-09-23  
 SHEET NO.  
 DP-16.02



**ELEVATION MATERIAL LEGEND**

<ul style="list-style-type: none"> <li>① COMPOSITE ASPHALT SHINGLES</li> <li>② HORIZONTAL CEMENT BOARD SIDING, 1/2" SHEET FINISH (EXCEPT UPPER WINDOWS AT OTHERS)</li> <li>③ WOODS</li> <li>④ VERTICAL SIDING (CEMENT BOARD)</li> <li>⑤ 2x6 SHINGLED WOOD FASCIA (w/ 1x4 WOOD TRIM)</li> <li>⑥ 4" PREFINISHED ALUMINUM GLITTER ON SILVER-PAINTED WOOD FASCIA</li> <li>⑦ SEALED DOUBLE GLAZED PVC WINDOW</li> <li>⑧ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR</li> </ul>	<ul style="list-style-type: none"> <li>⑨ INSULATED STEEL DOOR</li> <li>⑩ OVERHEAD GARAGE DOOR</li> <li>⑪ PAINTED WOOD COLUMN</li> <li>⑫ 2x4 PAINTED WOOD TRIM (w/ PREFINISHED METAL FLASHING)</li> <li>⑬ 2x6 PAINTED WOOD TRIM (w/ PREFINISHED METAL FLASHING)</li> <li>⑭ 2x6 PAINTED WOOD TRIM (w/ PREFINISHED METAL FLASHING)</li> <li>⑮ PREFINISHED METAL THROUGH WALL</li> <li>⑯ 3" PINE METAL RAILINGS</li> <li>⑰ FINISH DOOR (w/ TRANSOM OVER)</li> </ul>	<ul style="list-style-type: none"> <li>⑱ WOOD PRIVACY SCREEN</li> <li>⑲ METAL ROOF</li> <li>⑳ BRICK VENEER</li> <li>㉑ WOOD SHAKES</li> <li>㉒ SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES</li> <li>㉓ 4" CONCRETE LINTEL</li> <li>㉔ 4" CONCRETE BS</li> <li>㉕ ALUMINUM &amp; GLASS RAILING</li> <li>㉖ OVERHEAD GARAGE DOOR (w/ TIMBERED GLASS)</li> <li>㉗ CHINA POST MAILBOXES</li> </ul>
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JOB NO. 2016-02-20  
 DP DRAWINGS FOR COUNCIL

PREPARED BY: J. J. HANSEN  
 DRAWN BY: J. J. HANSEN  
 CHECKED BY: J. J. HANSEN

JOB NO. 2016-02-20  
 PROJECT: WESMONT HOMES (CLAYTON 74 AVE) LTD

DATE: 2016-04-25 FILE NO.: 2016

DATE: 2016-04-25 FILE NO.: 2016  
 DWN: J. J. HANSEN  
 CHK: J. J. HANSEN

**SEAL**  
 J. J. HANSEN  
 ARCHITECT  
 STATE OF MICHIGAN  
 LICENSE NO. 065414

DP-17.02

Project Name: 1801 Clayton Avenue, Clayton, CA 94520  
 Date: 2016-04-25  
 Drawing Title: Building 18 Elevations  
 Scale: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

① COMPOSITE ASPHALT SHINGLES	⑩ INSULATED STEEL DOOR	⑳ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING AS SHOWN AT OTHERS	⑪ OVERHEAD GARAGE DOOR	㉑ METAL ROOF
③ BRICK	⑫ PAINTED WOOD COLUMN	㉒ BRICK VENEER
④ VERTICAL SIDING (CEMENT BOARD)	⑬ 2x6 PAINTED WOOD TRIM ON WOOD TRIM	㉓ WOOD WRACKIT
⑤ 2x6 PAINTED WOOD FASCIA ON 1x4 WOOD TRIM	⑭ 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	㉔ 3/8"X1/2" CEMENT BOARD PANEL WITH EASY TRIM-AL EDGES
⑥ PREFINISHED ALUMINUM GLITTER ON 2x6 PAINTED WOOD FASCIA	⑮ 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	㉕ 4" CONCRETE LINTEL
⑦ SEALED DOUBLE GLAZED PVC WINDOW	⑯ PREFINISHED METAL THROUGH WALL	㉖ 4" CONCRETE BS
⑧ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑰ 4"X7" IRON METAL RAILING	㉗ ALUMINUM 6 GLASS RAILING
	⑱ FINISH DOOR WITH TRANSOM OVER	㉘ OVERHEAD GARAGE DOOR ON TIMBERED GLASS
		㉙ CANADA POST MAILBOX

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 627.444.1101  
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**REVISIONS**

2016-04-25	DP DRAWINGS FOR COUNCIL
2016-04-25	REVISED: PLUMBING COMMENTS
2016-04-25	REVISED: PLUMBING COMMENTS
2016-04-25	REVISED: PLUMBING COMMENTS
2016-04-25	REVISED: PLUMBING COMMENTS
2016-04-25	REVISED: PLUMBING COMMENTS
2016-04-25	REVISED: PLUMBING COMMENTS
2016-04-25	REVISED: PLUMBING COMMENTS
2016-04-25	REVISED: PLUMBING COMMENTS
2016-04-25	REVISED: PLUMBING COMMENTS

**CLIENT**  
 WESMONT HOMES  
 (CLAYTON 74 AVE) LTD  
  
**PROJECT**  
 TOWNHOUSE  
 DEVELOPMENT  
 1801, 1810, 1840 - 24 AVENUE  
 WESMONT, CA  
**DRAWING TITLE**  
 BUILDING 18  
 ELEVATIONS

DATE: 2016-04-25 FILE NO.  
 DWG: JM  
 CHK: CH 2016



SCALE: 1/8"=1'-0"  
 SHEET NO.  
**DP-18.03**



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	① INSULATED STEEL DOOR	① WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING, 1/2" SHEET FACING (EXCEPT ON VERTICAL SIDING AT OTHERS)	② OVERHEAD GARAGE DOOR	② METAL ROOF
③ FINISH	③ PAINTED WOOD COLUMN	③ BRICK VENEER
④ VERTICAL SIDING (CEMENT BOARD)	④ 2x6 PAINTED WOOD TRIM ON 1x4 FLOOR TRIM	④ WOOD WRACKIT
⑤ 2x6 UNPAINTED WOOD FASCIA ON 1x4 FLOOR TRIM	⑤ 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	⑤ SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
⑥ PREFINISHED ALUMINUM GLITTER ON 2x4 PAINTED WOOD TRIM	⑥ 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	⑥ 4" CONCRETE LINTEL
⑦ SEALED DOUBLE GLAZED PVC WINDOW	⑦ PREFINISHED METAL THROUGH WALL	⑦ 4" CONCRETE BS
⑧ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑧ 4" FRENCH DOOR w/ TRANSOM OVER	⑧ ALUMINUM & GLASS HANGING
		⑨ OVERHEAD GARAGE DOOR ON TIMBERED GLASS
		⑩ 4" FRENCH DOOR w/ TRANSOM OVER
		⑪ GEMADA POST MAILBOX

2024-09-23  
 DP DRAWINGS FOR CONSTRUCTION

①	2024-09-23	DP ARCHITECTURE
②	2024-09-23	DP ARCHITECTURE
③	2024-09-23	DP ARCHITECTURE
④	2024-09-23	DP ARCHITECTURE
⑤	2024-09-23	DP ARCHITECTURE
⑥	2024-09-23	DP ARCHITECTURE
⑦	2024-09-23	DP ARCHITECTURE
⑧	2024-09-23	DP ARCHITECTURE
⑨	2024-09-23	DP ARCHITECTURE
⑩	2024-09-23	DP ARCHITECTURE
⑪	2024-09-23	DP ARCHITECTURE
⑫	2024-09-23	DP ARCHITECTURE
⑬	2024-09-23	DP ARCHITECTURE
⑭	2024-09-23	DP ARCHITECTURE
⑮	2024-09-23	DP ARCHITECTURE
⑯	2024-09-23	DP ARCHITECTURE
⑰	2024-09-23	DP ARCHITECTURE
⑱	2024-09-23	DP ARCHITECTURE
⑲	2024-09-23	DP ARCHITECTURE
⑳	2024-09-23	DP ARCHITECTURE

REVISIONS  
 CORRECT TYP

CLIENT  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE DEVELOPMENT**

7899, 1810, 1840 - 24 AVENUE  
 NORTHAMPTON, MA

DRAWING TITLE  
**BUILDING 19 ELEVATIONS**

DATE: 2024.09.23 FILE NO.  
 DWN: JH  
 CHK: CHL **2016**



SCALE: 1/8"=1'-0"  
 SHEET NO.  
**DP-19.03**

Project Name: 2024-09-25 10:00 AM  
 Drawing Title: Building 20 Elevations  
 Scale: 1/8" = 1'-0"  
 Date: 2024-09-25  
 Sheet No: DP-20.03



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	⑩ INSULATED STEEL DOOR	⑳ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING	⑪ OVERHEAD GARAGE DOOR	㉑ METAL ROOF
③ 1/2" SURF FINISH (CONCRETE VINYL SIDING AT OTHERS)	⑫ PAINTED WOOD COLUMN	㉒ BRICK VENEER
④ FINISHED	⑬ 2x6 PAINTED VENEER TRIM ON	㉓ WOOD WRACKOFF
⑤ VERTICAL SIDING (CEMENT BOARD)	⑭ 2x6 PAINTED WOOD TRIM ON	㉔ SMOOTH CEMENT BOARD PANEL WITH EASY TRIM/EDGES
⑥ 2x6 PAINTED WOOD FASCIA w/ 1x4 ROOF TRIM	⑮ 2x6 PAINTED WOOD TRIM ON	㉕ 4" CONCRETE LINTEL
⑦ PRE-FINISHED ALUMINUM GLITTER ON	⑯ 2x6 PAINTED WOOD TRIM ON	㉖ 4" CONCRETE BS
⑧ UNPAINTED METAL FLASHING	⑰ PRE-FINISHED METAL FLASHING	㉗ ALUMINUM 4 GLASS RAILING
⑨ SEALED DOUBLE GLAZED PVC WINDOW	⑱ PRE-FINISHED METAL THROUGH WALL	㉘ OVERHEAD GARAGE DOOR ON TIMBERED GLASS
⑩ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	㉚ 4x7 PICH METAL RAILING	㉙ CANADA POST MAILBOX
	㉛ FINISH DOOR w/ TRANSOM OVER	

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- 2024-09-25 DP DRAWINGS FOR CONCRETE
- 2024-09-25 REVISED P.L. NUMBER
- 2024-09-25 REVISED PLANNING/COMMENTS
- 2024-09-25 REVISED FOUNDATION
- 2024-09-25 REVISED SITE PLAN
- 2024-09-25 REVISED SITE PLAN
- 2024-09-25 REVISED SITE PLAN
- 2024-09-25 REVISED SITE PLAN
- 2024-09-25 REVISED SITE PLAN
- 2024-09-25 REVISED SITE PLAN

REVISIONS:  
CONCRETE TANK

CLIENT:  
WESMONT HOMES  
(CLAYTON 74 AVE) LTD

PROJECT:  
TOWNHOUSE DEVELOPMENT

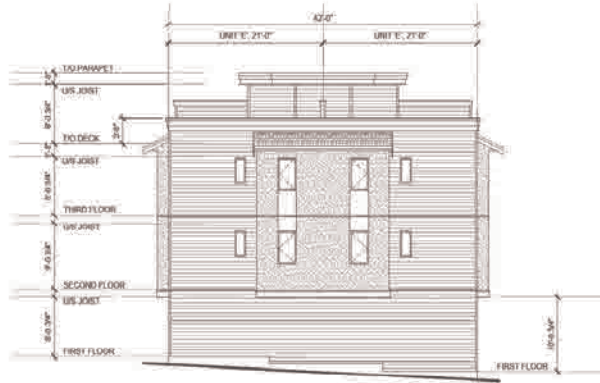
7893, 1810, 1840 - 24 AVENUE  
MURKIN, MD

DRAWING TITLE:  
BUILDING 20 ELEVATIONS

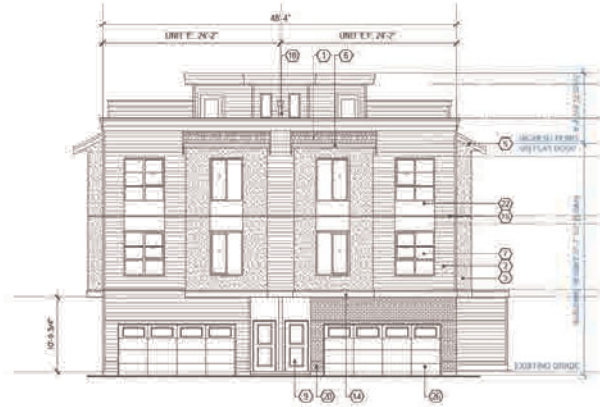
DATE: 2024.09.25 FILE NO.  
DWN: JH  
CHK: CHL 2016



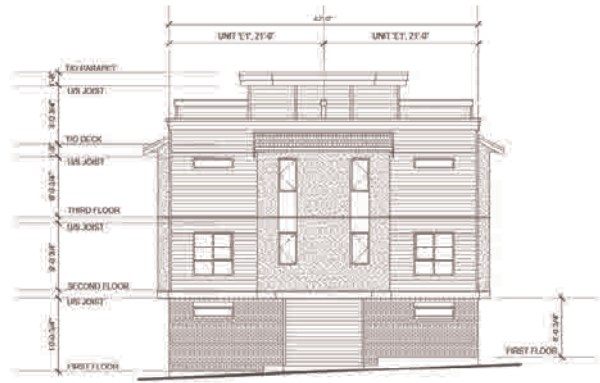
SCALE:  
SHEET NO:  
DP-20.03



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD SIDING	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) 1/2" BRICK FACING (4 COURSE VENEER SIDING AT OTHERS)	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(4) WOODS	(14) 2x4 PAINTED WOOD TRIM ON WOOD TRIM	(24) WOOD WRACKOFF
(5) VERTICAL SIDING (CEMENT BOARD)	(15) 2x4 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(25) SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
(6) 2x4 UNPAINTED WOOD FASCIA w/ 1x4 WOOD TRIM	(16) 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(26) 4" CONCRETE LINTEL
(7) 2" PREFINISHED ALUMINUM GLITTER ON 2x4 PAINTED WOOD FASCIA	(17) 2x4 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(27) 4" CONCRETE BS
(8) SEALED DOUBLE GLAZED PVC WINDOW	(18) 2x4 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(28) ALUMINUM & GLASS RAILING
(9) SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	(19) 2x4 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(29) OVERHEAD GARAGE DOOR ON TIMBERED GLASS
	(20) 4x7 FIRM METAL RAILING	(30) CANADA POST MAILBOX

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DATE	BY	DESCRIPTION
2024-09-03	J.P.	DP DRAWINGS FOR COUNCIL
2024-09-03	J.P.	REVISED P.L. NUMBER
2024-09-03	J.P.	REVISED PLUMBING/MECHANICALS
2024-09-03	J.P.	REVISED ELECTRICAL
2024-09-03	J.P.	REVISED SITE PLAN
2024-09-03	J.P.	REVISED FLOOR PLAN
2024-09-03	J.P.	REVISED SECTION
2024-09-03	J.P.	REVISED ELEVATIONS
2024-09-03	J.P.	REVISED CONCRETE FOUNDATION
2024-09-03	J.P.	REVISED ROOF PLAN
2024-09-03	J.P.	REVISED EXTERIOR FINISHES

CLIENT:  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT:  
**TOWNHOUSE DEVELOPMENT**

7899, 7895, 7840, 7840 - 74 AVENUE  
 WASHINGTON, NC

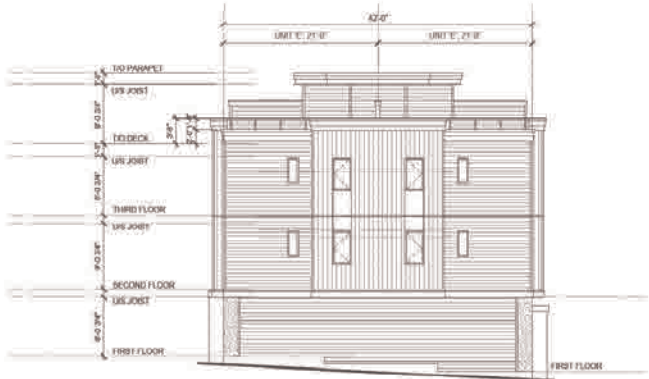
DRAWING TITLE:  
**BUILDING 21 ELEVATIONS**

DATE: 2024.09.03 FILE NO.  
 DWN: J.P.  
 CHK: J.P. **2016**



SCALE:  
 SHEET NO:  
**DP-21.02**

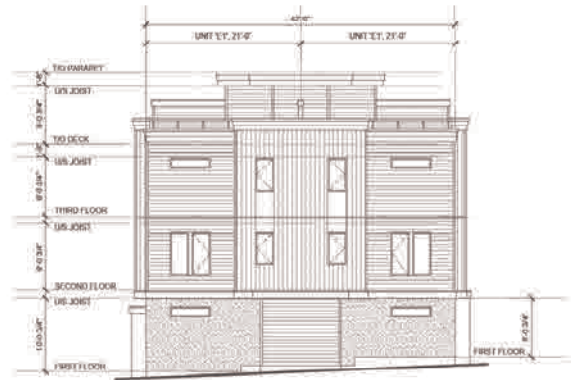




**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	⑩ INSULATED STEEL DOOR	⑳ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING, ALL SURF EXCEPT FLOORS/PAV. SURF. AT OTHERS	⑪ OVERHEAD GARAGE DOOR	㉑ METAL ROOF
③ FINISHED	⑫ PAINTED WOOD COLUMN	㉒ BRICK VENEER
④ VERTICAL SIDING (CEMENT BOARD)	⑬ PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING	㉓ WOOD WRACKOFF
⑤ UNPAINTED WOOD FASCIA OR 1 1/4" WOOD TRIM	⑭ 2x6 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING	㉔ SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
⑥ PRE-FINISHED ALUMINUM GLITTER ON INSULATED WOOD FASCIA	⑮ 2x2 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING	㉕ 4" CONCRETE LINTEL
⑦ SEALED DOUBLE GLAZED PVC WINDOW	⑯ PRE-FINISHED METAL THROUGH WALL FLASHING	㉖ 4" CONCRETE BS
⑧ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑰ FINISH	㉗ ALUMINUM & GLASS RAILING
	⑱ FINISH	㉘ OVERHEAD GARAGE DOOR OR TIMBERED GLASS
	⑲ FINISH	㉙ 47" HIGH METAL RAILING
	⑳ FINISH	㉚ FINISH
	㉑ FINISH	㉛ 6x6x4 POST MAILBOX

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NO.	DESCRIPTION
1	2024.09.20 DP DRAWINGS FOR COUNCIL
2	2024.09.20 REVISED P.L. NUMBER
3	2024.09.20 REVISION: FLAMMABLE COMMENTS
4	2024.09.20 REVISED PER PLAN
5	2024.09.20 REVISED PER PLAN
6	2024.09.20 REVISED PER PLAN
7	2024.09.20 REVISED PER PLAN
8	2024.09.20 REVISED PER PLAN
9	2024.09.20 REVISED PER PLAN
10	2024.09.20 REVISED PER PLAN

CLIENT  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE DEVELOPMENT**

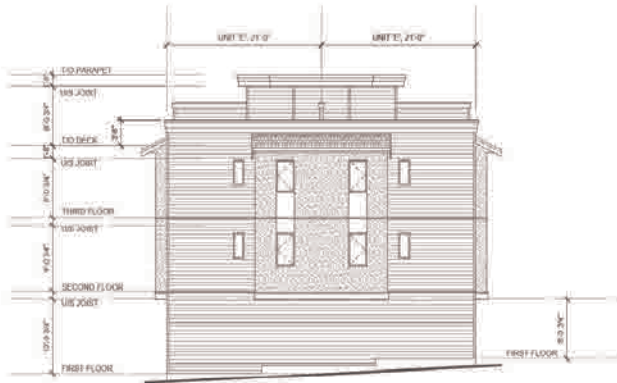
7895, 7893, 7891, 7849 - 74 AVENUE  
 WASHINGTON, DC

DRAWING TITLE  
**BUILDING 22 ELEVATIONS**

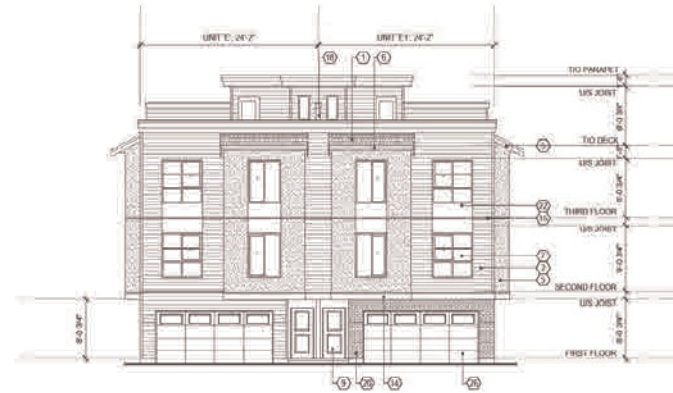
DATE: 2024.09.20 FILE NO.  
 DWN: JH  
 CHK: CHL **2016**



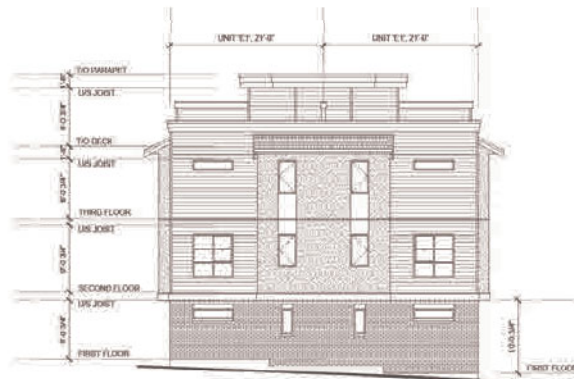
SCALE  
 SHEET NO.  
**DP-22.02**



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



ELEVATION MATERIAL LEGEND		
(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD SIDING	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) 1/2\"/>		
(4) VINYL	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(5) VERTICAL SIDING (CEMENT BOARD)	(14) 2x4 PAINTED WOOD TRIM ON	(24) WOOD WRACKOFF
(6) 2x4 UNPAINTED WOOD FASCIA ON 1x4	(15) 2x6 PAINTED WOOD TRIM ON	(25) SMOOTH CEMENT BOARD PANEL
(7) ROOF TRIM	(16) PRE-FINISHED METAL FLASHING	(26) WITH EASY TRIM AT EDGES
(8) PRE-FINISHED ALUMINUM GLITTER ON	(17) 2x2 PAINTED WOOD TRIM ON	(27) 4\"/>
(9) UNPAINTED WOOD FASCIA	(18) PRE-FINISHED METAL FLASHING	(28) 4\"/>
(10) SEALED DOUBLE GLAZED PVC WINDOW	(19) PRE-FINISHED METAL THROUGH WALL	(29) ALUMINUM & GLASS RAILING
(11) SEALED DOUBLE GLAZED PVC SLIDING	(20) 4\"/>	
(12) DOOR	(21) 4\"/>	
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 Alhambra, CA 91803  
 916.553.5222 | 916.553.5442  
 www.focusca.com

NO.	DESCRIPTION
204-00-00	DP DRAWINGS FOR COUNCIL
204-00-01	REVISED P.L. NUMBER
204-00-02	REVISED PLUMBING COMMENTS
204-00-03	REVISED ELECTRICAL
204-00-04	REVISED MECHANICAL
204-00-05	REVISED SITE PLAN
204-00-06	REVISED SITE PLAN
204-00-07	REVISED SITE PLAN
204-00-08	REVISED SITE PLAN
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204-00-97	REVISED SITE PLAN
204-00-98	REVISED SITE PLAN
204-00-99	REVISED SITE PLAN
204-00-100	REVISED SITE PLAN

CLIENT:  
**WESMONT HOMES**  
 (CLAYTON 74 AVE) LTD

PROJECT:  
**TOWNHOUSE DEVELOPMENT**

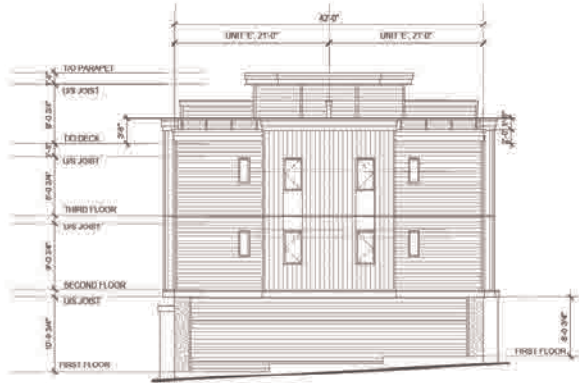
1895, 1895, 1840 - 24 AVENUE  
 WILSON, BC

DRAWING TITLE:  
**BUILDING 23 ELEVATIONS**

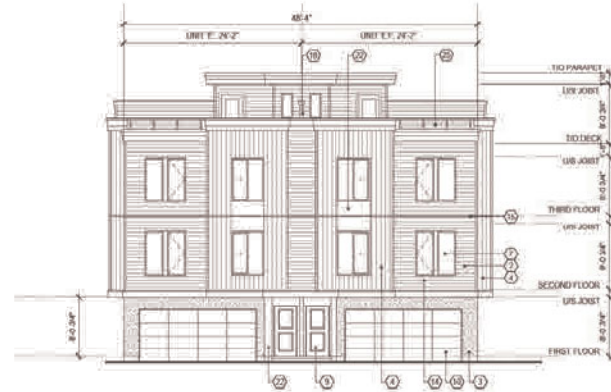
DATE: 2024.09.23 FILE NO.  
 DWN: JH  
 CHK: CH 2016



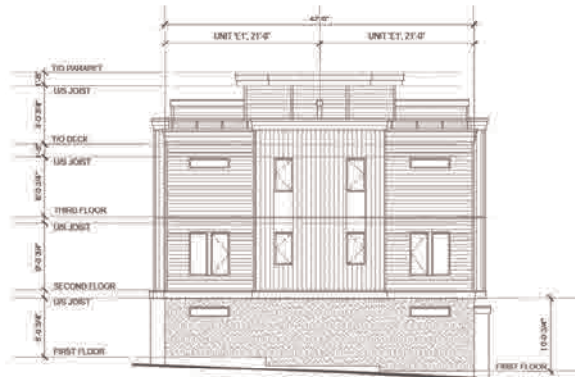
SCALE:  
 SHEET NO.  
**DP-23.02**



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD SIDING	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) 1/2" SURF FINISH (EXCEPT VINYL SIDING AT OTHERS)	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(4) VINYL	(14) 2x4 PAINTED WOOD TRIM ON WOOD TRIM	(24) WOOD WRACKOFF
(5) VERTICAL SIDING (CEMENT BOARD)	(15) 2x4 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(25) SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
(6) 2x4 UNPAINTED WOOD FASCIA ON 1x4 WOOD TRIM	(16) 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(26) 4" CONCRETE LINTEL
(7) PREFINISHED ALUMINUM GLITTER ON 2x4 PAINTED WOOD FASCIA	(17) 2x4 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	(27) 4" CONCRETE BS
(8) SEALED DOUBLE GLAZED PVC WINDOW	(18) PREFINISHED METAL THROUGH WALL FLASHING	(28) ALUMINUM & GLASS RAILING
(9) SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	(19) 4x7 FIRM METAL RAILING	(29) OVERHEAD GARAGE DOOR ON IMPRESSED GLASS
	(20) 4x7 FIRM METAL RAILING	(30) CANADA POST MAILBOX

FOCUS ARCHITECTURE INCORPORATED  
 1400 S. 118th Street, Suite 100  
 Aurora, Oregon 97132  
 Phone: 503.532.1111 | Fax: 503.532.1112  
 www.focusarch.com

2024-09-23  
 DP DRAWINGS FOR COUNCIL  
 APPROVED BY: [Signature]  
 DATE: 09/23/24  
 REVISION: PLANNING COMMENTS  
 2024-09-23  
 01-PROCESSED  
 2024-11-02  
 02-REVISIONS  
 2024-09-23  
 03-REVISED SET PLAN  
 2024-09-23  
 04-COUNCIL APPROVAL CONCEPT  
 2024-09-23  
 05-REVISED SET PLAN

CLIENT:  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**  
 PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
 1895, 1810, 1840 - 24 AVENUE  
 WASHO, OR  
 DRAWING TITLE:  
**BUILDING 24 ELEVATIONS**

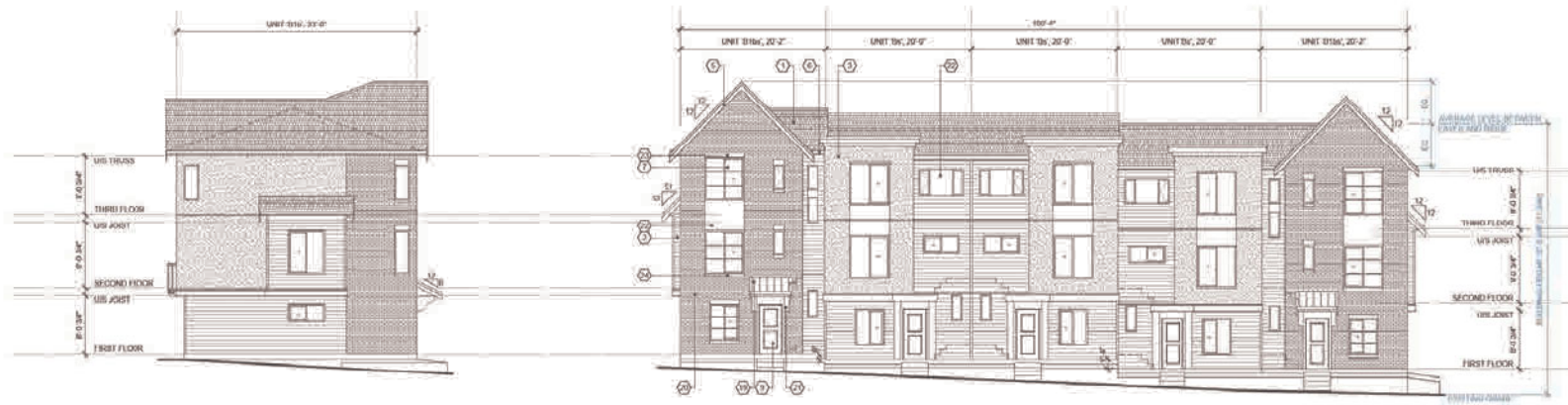
DATE: 2024-09-23 FILE NO.  
 DWN: [Initials]  
 CHK: [Initials] **2016**



SCALE:  
 SHEET NO:  
**DP-24.02**

Project Name: DP-25.02 - Building 25 Elevation & Section - 1/24/2016  
 Drawing Title: Building 25 Elevation & Section - 1/24/2016  
 Date: 2016-04-25 File No.: 2016-04-25  
 DWG: JM  
 CHK: CHL  
 Scale: 1/8"=1'-0"  
 Sheet No.: DP-25.02

FOCUS  
 ARCHITECTURE  
 INCORPORATED  
 Suite 110 - 1888 McCullum Road  
 Alhambra, CA 91803  
 909.553.5222 | 909.553.5442  
 www.focusca.com



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

(1) COMPOSITE ASPHALT SHINGLES (2) HORIZONTAL CEMENT BOARD SIDING (3) SHIP LAP SIDING (EXCEPT VINYL SIDING AT OTHERS) (4) VINYL (5) VERTICAL SIDING (CEMENT BOARD) (6) 2x6 SHINGLED WOOD FASCIA w/ 1x4 ROOF TRIM (7) 2" PRE-FINISHED ALUMINUM GLITTER ON 2x6 PAINTED WOOD FASCIA (8) SEALED DOUBLE GLAZED PVC WINDOW (9) SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	(10) INSULATED STEEL DOOR (11) OVERHEAD GARAGE DOOR (12) PAINTED WOOD COLUMN (13) 2x4 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING (14) 2x6 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING (15) 2x4 PAINTED WOOD TRIM OR PRE-FINISHED METAL FLASHING (16) PRE-FINISHED METAL THROUGH WALL (17) 4" X 4" POST (18) 4" X 4" POST METAL RAILINGS (19) 4" X 4" POST METAL RAILINGS	(20) WOOD PRIVACY SCREEN (21) METAL ROOF (22) BRICK VENEER (23) WOOD SHAKYARD (24) SMOOTH CEMENT BOARD PANEL WITH EASY TRIMMABLE EDGES (25) 4" CONCRETE LINTEL (26) 4" CONCRETE BS (27) ALUMINUM & GLASS RAILING (28) OVERHEAD GARAGE DOOR OR TIMBERED GLASS (29) CANADA POST MAILBOX
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**REVISIONS**

NO.	DATE	DESCRIPTION
1	2016-04-25	DP DRAWINGS FOR COUNCIL
2	2016-04-25	REVISED: PLUMBING COMMENTS
3	2016-04-25	REVISED: ELEC COMMENTS
4	2016-04-25	REVISED: MECHANICAL COMMENTS
5	2016-04-25	REVISED: MECHANICAL COMMENTS
6	2016-04-25	REVISED: MECHANICAL COMMENTS
7	2016-04-25	REVISED: MECHANICAL COMMENTS
8	2016-04-25	REVISED: MECHANICAL COMMENTS
9	2016-04-25	REVISED: MECHANICAL COMMENTS
10	2016-04-25	REVISED: MECHANICAL COMMENTS
11	2016-04-25	REVISED: MECHANICAL COMMENTS
12	2016-04-25	REVISED: MECHANICAL COMMENTS
13	2016-04-25	REVISED: MECHANICAL COMMENTS
14	2016-04-25	REVISED: MECHANICAL COMMENTS
15	2016-04-25	REVISED: MECHANICAL COMMENTS
16	2016-04-25	REVISED: MECHANICAL COMMENTS
17	2016-04-25	REVISED: MECHANICAL COMMENTS
18	2016-04-25	REVISED: MECHANICAL COMMENTS
19	2016-04-25	REVISED: MECHANICAL COMMENTS
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21	2016-04-25	REVISED: MECHANICAL COMMENTS
22	2016-04-25	REVISED: MECHANICAL COMMENTS
23	2016-04-25	REVISED: MECHANICAL COMMENTS
24	2016-04-25	REVISED: MECHANICAL COMMENTS
25	2016-04-25	REVISED: MECHANICAL COMMENTS
26	2016-04-25	REVISED: MECHANICAL COMMENTS
27	2016-04-25	REVISED: MECHANICAL COMMENTS
28	2016-04-25	REVISED: MECHANICAL COMMENTS
29	2016-04-25	REVISED: MECHANICAL COMMENTS
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31	2016-04-25	REVISED: MECHANICAL COMMENTS
32	2016-04-25	REVISED: MECHANICAL COMMENTS
33	2016-04-25	REVISED: MECHANICAL COMMENTS
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35	2016-04-25	REVISED: MECHANICAL COMMENTS
36	2016-04-25	REVISED: MECHANICAL COMMENTS
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42	2016-04-25	REVISED: MECHANICAL COMMENTS
43	2016-04-25	REVISED: MECHANICAL COMMENTS
44	2016-04-25	REVISED: MECHANICAL COMMENTS
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48	2016-04-25	REVISED: MECHANICAL COMMENTS
49	2016-04-25	REVISED: MECHANICAL COMMENTS
50	2016-04-25	REVISED: MECHANICAL COMMENTS

CLIENT:  
**WESMONT HOMES**  
 (CLAYTON 74 AVE) LTD  
 PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
 1899, 1895, 1840 - 24 AVENUE  
 WARRICK, BC  
 DRAWING TITLE:  
**BUILDING 25  
 ELEVATIONS**

DATE: 2016-04-25 FILE NO.:  
 DWG: JM  
 CHK: CHL  
**2016**



SCALE:  
 SHEET NO:  
**DP-25.02**



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND

- ① COMPOSITE ASPHALT SHINGLES
- ② HORIZONTAL CEMENT BOARD SIDING AS STAFF FINISH (EXCEPT VINYL SIDING AT OTHERS)
- ③ FINISHED
- ④ VERTICAL SIDING (CEMENT BOARD)
- ⑤ 2x6 HORIZONTAL WOOD FASCIA (w/ 1x4 WOOD TRIM)
- ⑥ 2" PRE-FINISHED ALUMINUM GLITTER ON 2x6 HORIZONTAL WOOD FASCIA
- ⑦ BEADED DOUBLE GLAZED PVC WINDOW
- ⑧ BEADED DOUBLE GLAZED PVC SLIDING PATIO DOOR
- ⑨ INSULATED STEEL DOOR
- ⑩ OVERHEAD GARAGE DOOR
- ⑪ PAINTED WOOD COLUMN
- ⑫ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING
- ⑬ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING
- ⑭ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING
- ⑮ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING
- ⑯ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING
- ⑰ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING
- ⑱ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING
- ⑲ 4" CONCRETE LINTEL
- ⑳ 4" CONCRETE BS
- Ⓚ ALUMINUM 6 GLASS RAILING
- Ⓛ OVERHEAD GARAGE DOOR ON TIMBERED GLASS
- ⑳ CANADA POST MAILBOX
- ② WOOD PRIVACY SCREEN
- ③ METAL ROOF
- ④ BRICK VENEER
- ⑤ WOOD SHAKES
- ⑥ SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
- ⑦ 4" CONCRETE LINTEL
- ⑧ 4" CONCRETE BS
- ⑨ ALUMINUM 6 GLASS RAILING
- ⑩ OVERHEAD GARAGE DOOR ON TIMBERED GLASS
- ⑪ CANADA POST MAILBOX

2024.09.05  
DP DRAWING FOR COUNCIL

2024.08.28	REVISED P.L. NUMBER
2024.08.28	REVISION: PLANNING COMMENTS
2024.08.28	REVISED PER PLAN
2024.08.28	REVISED PER PLAN
2024.08.28	REVISED PER PLAN
2024.08.28	REVISED PER PLAN
2024.08.28	REVISED PER PLAN
2024.08.28	REVISED PER PLAN
2024.08.28	REVISED PER PLAN
2024.08.28	REVISED PER PLAN

REVISIONS:  
CONCRETE TANK

CLIENT  
**WESMONT HOMES  
(CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE DEVELOPMENT**

1899, 1898, 1894 - 24 AVENUE  
WARRICK, BC

DRAWING TITLE:  
**BUILDING 26  
ELEVATIONS**

DATE: 2024.09.05 FILE NO.  
DWN: JM  
CHK: CHL **2016**



SCALE  
SHEET NO:  
**DP-26.02**

Project Name: DP-27.03 - Building 27 Elevation & Section  
 Date: 2016-09-23



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

<ul style="list-style-type: none"> <li>① COMPOSITE ASPHALT SHINGLES</li> <li>② HORIZONTAL CEMENT BOARD SIDING, ALL SURF FINISH (EXCEPT PVC SIDING AT OTHERS)</li> <li>③ WOODS</li> <li>④ VERTICAL SIDING (CEMENT BOARD)</li> <li>⑤ 2x6 PAINTED WOOD TRIM ON WOOD TRIM</li> <li>⑥ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑦ 2x2 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑧ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑨ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑩ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑪ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑫ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑬ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑭ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑮ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑯ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑰ 2x4 PAINTED WOOD TRIM 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<li>㉝ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉞ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉟ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊱ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊲ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊳ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊴ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊵ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊶ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊷ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊸ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊹ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊺ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊻ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊼ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊽ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊾ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊿ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> </ul>	<ul style="list-style-type: none"> <li>① INSULATED STEEL DOOR</li> <li>② OVERHEAD GARAGE DOOR</li> <li>③ PAINTED WOOD COLUMN</li> <li>④ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑤ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑥ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑦ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑧ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑨ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑩ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑪ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑫ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑬ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑭ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑮ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑯ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑰ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑱ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑲ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>⑳ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉑ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉒ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉓ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉔ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉕ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉖ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉗ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉘ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉙ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉚ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉛ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉜ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉝ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉞ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㉟ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊱ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊲ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊳ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊴ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊵ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊶ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊷ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊸ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊹ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊺ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊻ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊼ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊽ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊾ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> <li>㊿ 2x4 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING</li> </ul>	<ul style="list-style-type: none"> <li>① WOOD PRIVACY SCREEN</li> <li>② METAL ROOF</li> <li>③ BRICK VENEER</li> <li>④ WOOD SHAKES</li> <li>⑤ SMOOTH EXTERIOR BOARD PANEL WITH EASY TRIM AT EDGES</li> <li>⑥ 4" CONCRETE LINTEL</li> <li>⑦ 4" CONCRETE BS</li> <li>⑧ ALUMINUM &amp; GLASS HANGING</li> <li>⑨ OVERHEAD GARAGE DOOR ON TIMBERED GLASS</li> <li>⑩ CANADA POST MAILBOX</li> </ul>
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FOCUS ARCHITECTURE INCORPORATED  
 Suite 110 | 1888 McCulloch Road  
 Abbotsford, British Columbia V2T 3H6  
 604.853.5222 | 604.853.5442  
 www.focus.ca

**REVISIONS**

NO.	DATE	DESCRIPTION
1	2016-09-23	DP DRAWINGS FOR CONCRETE
2	2016-09-23	REVISION: FLAMMABLE COMMENTS
3	2016-09-23	REVISION: FLAMMABLE COMMENTS
4	2016-09-23	REVISION: FLAMMABLE COMMENTS
5	2016-09-23	REVISION: FLAMMABLE COMMENTS
6	2016-09-23	REVISION: FLAMMABLE COMMENTS
7	2016-09-23	REVISION: FLAMMABLE COMMENTS
8	2016-09-23	REVISION: FLAMMABLE COMMENTS
9	2016-09-23	REVISION: FLAMMABLE COMMENTS
10	2016-09-23	REVISION: FLAMMABLE COMMENTS
11	2016-09-23	REVISION: FLAMMABLE COMMENTS
12	2016-09-23	REVISION: FLAMMABLE COMMENTS
13	2016-09-23	REVISION: FLAMMABLE COMMENTS
14	2016-09-23	REVISION: FLAMMABLE COMMENTS
15	2016-09-23	REVISION: FLAMMABLE COMMENTS
16	2016-09-23	REVISION: FLAMMABLE COMMENTS
17	2016-09-23	REVISION: FLAMMABLE COMMENTS
18	2016-09-23	REVISION: FLAMMABLE COMMENTS
19	2016-09-23	REVISION: FLAMMABLE COMMENTS
20	2016-09-23	REVISION: FLAMMABLE COMMENTS
21	2016-09-23	REVISION: FLAMMABLE COMMENTS
22	2016-09-23	REVISION: FLAMMABLE COMMENTS
23	2016-09-23	REVISION: FLAMMABLE COMMENTS
24	2016-09-23	REVISION: FLAMMABLE COMMENTS
25	2016-09-23	REVISION: FLAMMABLE COMMENTS
26	2016-09-23	REVISION: FLAMMABLE COMMENTS
27	2016-09-23	REVISION: FLAMMABLE COMMENTS

**CLIENT**  
 WESMONT HOMES (CLAYTON 74 AVE) LTD  
**PROJECT**  
 TOWNHOUSE DEVELOPMENT  
 7899, 18910, 18940 - 24 AVENUE  
 MURRAY, BC  
**DRAWING TITLE**  
 BUILDING 27 ELEVATIONS

DATE: 2016.09.23 FILE NO.  
 DWN: JH  
 CHK: CH 2016



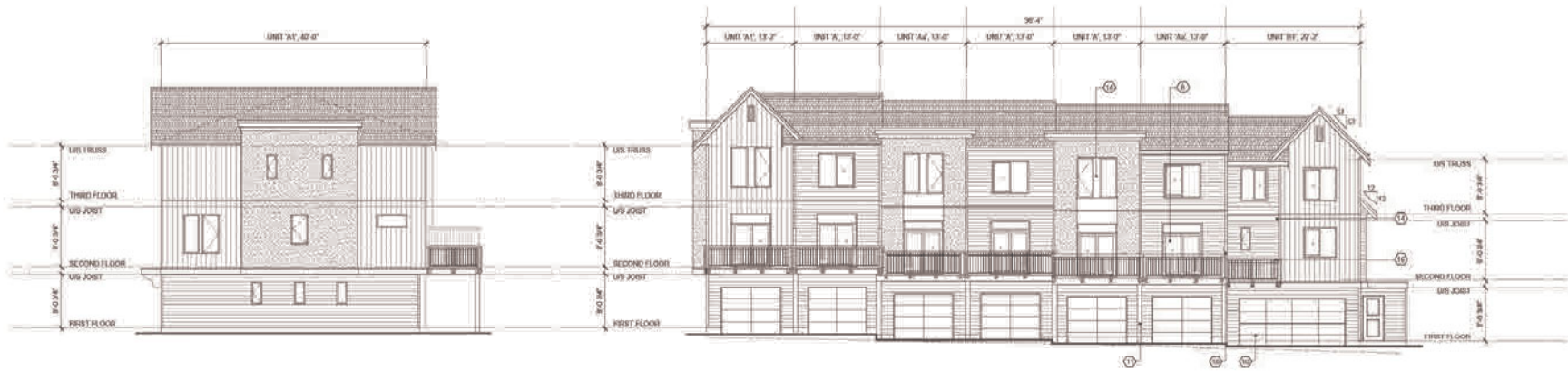
SCALE: AS SHOWN  
 SHEET NO.  
**DP-27.03**

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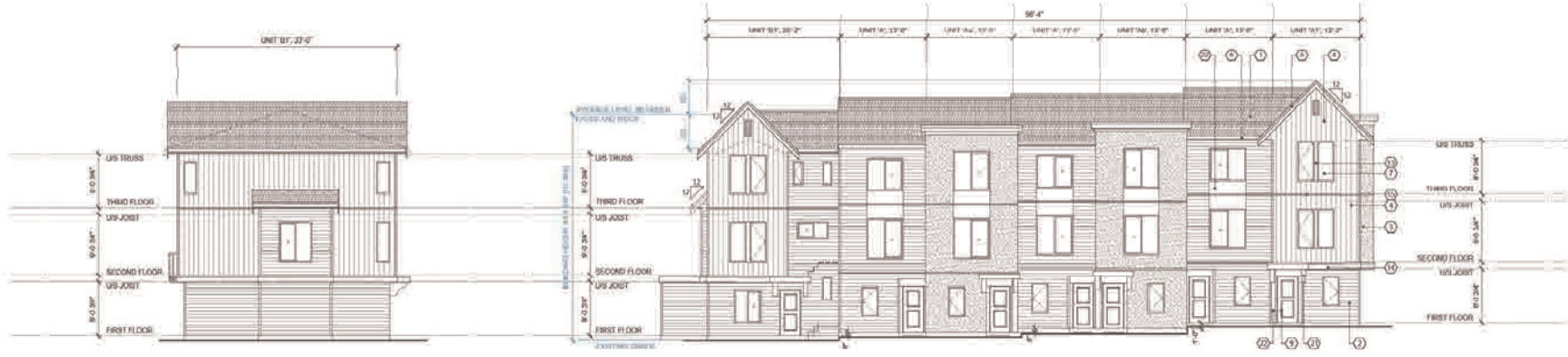
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ARCHITECTURE  
INCORPORATED

Suite 1101 • 188E McCollum Road  
Aurora, Illinois 60018 • 773.948.1100  
630.553.5322 • 630.553.5442  
www.focusai.com



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

① COMPOSITE ASPHALT SHINGLES	⑦ INSULATED STEEL DOOR	⑮ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING, ALL SURFACES EXCEPT VERTICAL SURFACES AT OTHERS	⑧ OVERHEAD GARAGE DOOR	⑯ METAL ROOF
③ VINYL	⑨ PAINTED WOOD COLUMN	⑰ BRICK VENEER
④ VERTICAL SIDING (CEMENT BOARD)	⑩ 2x4 PAINTED VERTICAL TRIM AND 2x4 PAINTED WOOD TRIM ON ALL FLASHING	⑱ WOOD WRACKOFF
⑤ UNPAINTED WOOD FASCIA ON 1/4" ROOF TRIM	⑪ 2x6 PAINTED WOOD TRIM ON ALL FLASHING	⑲ 5/8" X 1/2" CEMENT BOARD PANEL WITH EASY TRIM™ EDGES
⑥ PRE-FINISHED ALUMINUM GLITTER ON 2x2 PAINTED WOOD FASCIA	⑫ 2x2 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING	⑳ 4" CONCRETE LINTEL
⑩ SEALED DOUBLE GLAZED PVC WINDOW	⑬ PRE-FINISHED METAL THROUGH WALL	㉑ 4" CONCRETE BS
⑪ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑭ 4" X 7" FRAM METAL RAILING	㉒ ALUMINUM & GLASS RAILING
	⑮ FRENCH DOOR w/ TRANSOM OVER	㉓ OVERHEAD GARAGE DOOR ON THRESHOLD GLASS
		㉔ CANADA POST MAILBOX

**2016-01-25**  
DP DRAWINGS FOR COUNCIL

① REVISED: 2-D PLANS

② REVISED: PLANNING/COMMENTS

③ 2016-01-25

④ 2016-01-25

⑤ 2016-01-25

⑥ 2016-01-25

⑦ 2016-01-25

⑧ 2016-01-25

⑨ 2016-01-25

⑩ 2016-01-25

⑪ 2016-01-25

⑫ 2016-01-25

⑬ 2016-01-25

⑭ 2016-01-25

⑮ 2016-01-25

⑯ 2016-01-25

⑰ 2016-01-25

⑱ 2016-01-25

⑲ 2016-01-25

REVISIONS  
CONSTRUCTION

CLIENT  
WESMONT HOMES (CLAYTON 74 AVE) LTD

PROJECT  
TOWNHOUSE DEVELOPMENT

7899, 7893, 7849 - 24 AVENUE  
MONTPELIER, QC

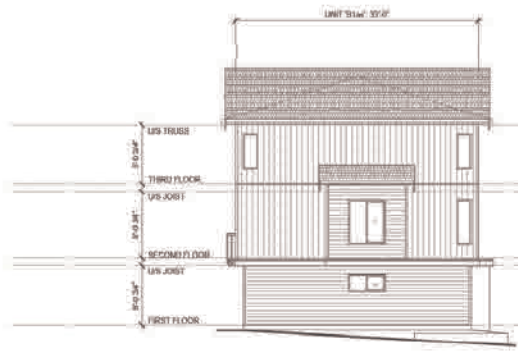
DRAWING TITLE  
**BUILDING 28 ELEVATIONS**

DATE: 2016.04.25 FILE NO.  
DWN: JRM  
CHK: CRL 2016

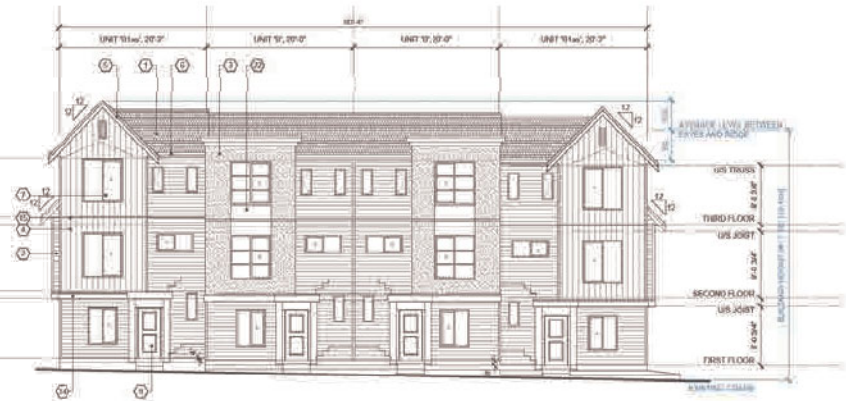


SCALE  
DATE: 2016-09-03

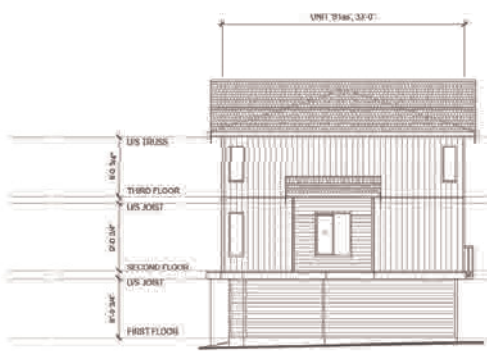
SHEET NO.  
**DP-28.02**



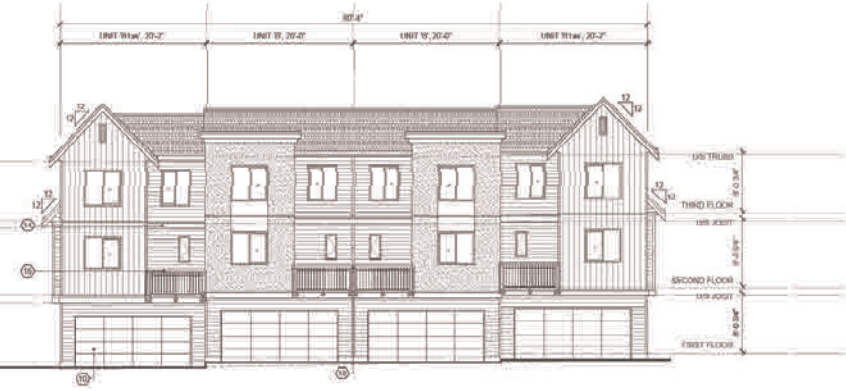
**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD SIDING, ALL SURFACES EXCEPT PORCH, VINYL SIDING AT OTHERS	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) BRICK	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(4) VERTICAL SIDING (CEMENT BOARD)	(14) 2x6 PAINTED VENEER TRIM AND	(24) WOOD SHAKES
(5) VERTICAL SIDING (CEMENT BOARD)	(15) 2x6 PAINTED WOOD TRIM OR	(25) SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
(6) 2x6 PAINTED WOOD FASCIA OR 1x4 WOOD TRIM	(16) PRE-FINISHED METAL FLASHING	(26) 4" CONCRETE LINTEL
(7) PRE-FINISHED ALUMINUM GLITTER ON 2x6 PAINTED WOOD FASCIA	(17) 2x6 PAINTED WOOD TRIM OR	(27) 4" CONCRETE BS
(8) SEALED DOUBLE GLAZED PVC WINDOW	(18) PRE-FINISHED METAL THROUGH WALL FLASHING	(28) ALUMINUM & GLASS RAILING
(9) SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	(19) PRE-FINISHED METAL THROUGH WALL FLASHING	(29) OVERHEAD GARAGE DOOR ON TIMBERED GLASS
(10) 47" FRENCH DOOR w/ TRANSOM OVER	(20) 47" FRENCH DOOR w/ TRANSOM OVER	(30) CANADA POST MAILBOX

Model based on 2018 National Building Code of Canada. All dimensions in millimeters unless otherwise specified. © 2018 FOCUS ARCHITECTURE INC. All rights reserved.

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Suite 110 - 1888 McCulloch Road  
Abbotsford, British Columbia V2T 3P4  
1 800 553 5222 | 1 800 553 5442  
www.focus.ca

2018-09-20  
DP DRAWINGS FOR COUNCIL

2018-09-20	REVISED P.L. NUMBER
2018-09-20	REVISED PLACEMENTS
2018-09-20	REVISED P.L. NUMBER
2018-09-20	REVISED P.L. NUMBER
2018-09-20	REVISED P.L. NUMBER
2018-09-20	REVISED P.L. NUMBER
2018-09-20	REVISED P.L. NUMBER
2018-09-20	REVISED P.L. NUMBER
2018-09-20	REVISED P.L. NUMBER
2018-09-20	REVISED P.L. NUMBER

REVISIONS:  
COUNCIL TAMP

CLIENT  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE DEVELOPMENT**

7899, 1810, 1840 - 74 AVENUE  
WILLOWDALE, ONT

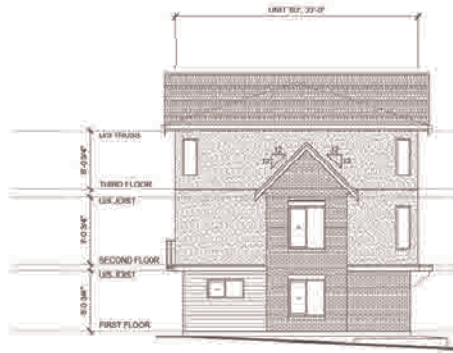
DRAWING TITLE  
**BUILDING 29 ELEVATIONS**

DATE: 2018-09-20 FILE NO.  
DWN: JH  
CHK: CHL **2016**



SCALE  
SHEET NO.  
**DP-29.02**

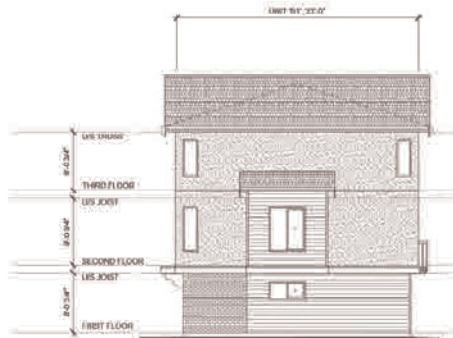




**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	⑩ INSULATED STEEL DOOR	⑳ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING	⑪ OVERHEAD GARAGE DOOR	㉑ METAL ROOF
③ 1/2" SURF FINISH (EXCEPT VINYL SIDING AT OTHERS)	⑫ PAINTED WOOD COLUMN	㉒ BRICK VENEER
④ FINISH	⑬ 2x4 PAINTED VENEER TRIM	㉓ WOOD WRACKOFF
⑤ VERTICAL SIDING (CEMENT BOARD)	⑭ 2x6 PAINTED WOOD TRIM OR PREFINISHED METAL FLASHING	㉔ IMITATION CEMENT BOARD PANEL WITH EASY TRIMMABLE EDGES
⑥ 2x6 PAINTED WOOD FASCIA OR 1x4 WOOD TRIM	⑮ 2x6 PAINTED WOOD TRIM OR PREFINISHED METAL FLASHING	㉕ 4" CONCRETE LINTEL
⑦ PREFINISHED ALUMINUM GLITTER ON 2x2 PAINTED WOOD FASCIA	⑯ PREFINISHED METAL FLASHING	㉖ 4" CONCRETE BS
⑧ BEADED DOUBLE GLAZED PVC WINDOW	⑰ PREFINISHED METAL THROUGH WALL	㉗ ALUMINUM & GLASS RAILING
⑨ BEADED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑱ 47" HIGH METAL RAILING	㉘ OVERHEAD GARAGE DOOR ON TIMBERED GLASS
	㉚ FINISH DOOR OR TRANSOM OVER	㉙ CANADA POST MAILBOX

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Suite 310 - 1448 McCulloch Road  
Aurora, ON L4G 1V5  
416-833-8222 | 416-833-8442  
info@focus.ca

2016-09-02  
DP DRAWINGS FOR COUNCIL

2016-09-02	REVISED P.L. NUMBER
2016-09-02	REVISED PLANNING COMMENTS
2016-09-02	REVISED PERMITS
2016-09-02	REVISED PERMITS
2016-09-02	REVISED PERMITS
2016-09-02	REVISED PERMITS
2016-09-02	REVISED PERMITS
2016-09-02	REVISED PERMITS
2016-09-02	REVISED PERMITS
2016-09-02	REVISED PERMITS

REVISIONS  
CONSULTANT

CLIENT  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE DEVELOPMENT**  
1895, 1893, 1890, 1840 - 74 AVENUE  
MORRIS, ONT

DRAWING TITLE  
**BUILDING 30 ELEVATIONS**

DATE: 2016.04.25 FILE NO:  
OWN: J0006  
CHK: CSE  
**2016**



SCALE  
SHEET NO  
**DP-30.02**



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
(1) COMPOSITE ASPHALT SHINGLES	(11) INSULATED STEEL DOOR	(21) WOOD PRIVACY SCREEN
(2) HORIZONTAL CEMENT BOARD SIDING	(12) OVERHEAD GARAGE DOOR	(22) METAL ROOF
(3) 1/2" SURF FINISH (CONCRETE VINYL SIDING AT OTHERS)	(13) PAINTED WOOD COLUMN	(23) BRICK VENEER
(4) WOOD	(14) 2x4 PAINTED VENEER TRIM	(24) WOOD WRACKOFF
(5) VERTICAL SIDING (CEMENT BOARD)	(15) 2x6 PAINTED WOOD TRIM OR PREFINISHED METAL FLASHING	(25) SMOOTH CEMENT BOARD PANEL WITH EASY TRIMMABLE EDGES
(6) 2x6 PAINTED WOOD FASCIA OR 1x4 WOOD TRIM	(16) 2x6 PAINTED WOOD TRIM OR PREFINISHED METAL FLASHING	(26) 4" CONCRETE LINTEL
(7) PREFINISHED ALUMINUM GLITTER ON 2x6 PAINTED WOOD FASCIA	(17) 2x6 PAINTED WOOD TRIM OR PREFINISHED METAL FLASHING	(27) 4" CONCRETE BS
(8) SEALED DOUBLE GLAZED PVC WINDOW	(18) PREFINISHED METAL THROUGH WALL	(28) ALUMINUM & GLASS RAILING
(9) SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	(19) 4" FISH METAL RAILING	(29) OVERHEAD GARAGE DOOR ON TIMBERED GLASS
	(20) FINISH DOOR w/ TRANSOM OVER	(30) CANADA POST MAILBOX

FOCUS ARCHITECTURE INCORPORATED  
 1888 McCullum Road  
 Westmont, Vermont 05671  
 802-853-5222 | 802-853-5442  
 info@focusa.com

- 2016-09-03  
 DP DRAWINGS FOR CONCRETE  
 2016-09-03  
 REVISED P.L. NUMBER  
 2016-09-03  
 REVISED PLACEMENTS  
 2016-09-03  
 REVISED CONCEPT  
 2016-09-03  
 REVISED PLAN  
 2016-09-03  
 REVISED PLAN  
 2016-09-03  
 REVISED PLAN  
 2016-09-03  
 REVISED PLAN  
 2016-09-03  
 REVISED PLAN  
 2016-09-03  
 REVISED PLAN

REVISIONS  
 CONCRETE TANK

CLIENT  
 WESTMONT HOMES  
 (CLAYTON 74 AVE) LTD

PROJECT  
 TOWNHOUSE DEVELOPMENT

1893, 1893, 1894 - 24 AVENUE  
 WESTMONT, VT

DRAWING TITLE  
 BUILDING 31 ELEVATIONS

DATE: 2016-09-03 FILE NO.  
 DWN: JH  
 CHK: CHL 2016



SEAL  
 2016-09-03

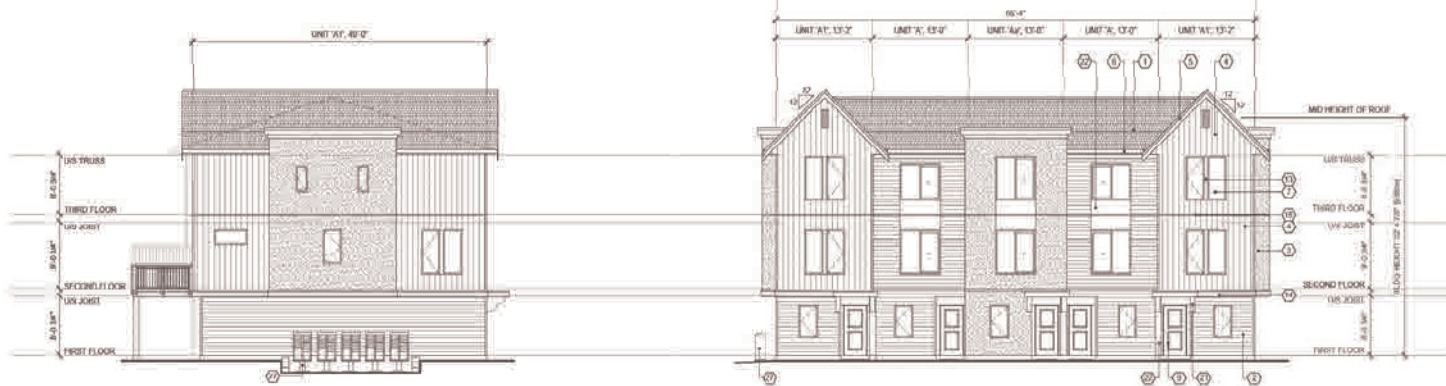
SHEET NO.  
 DP-31.02

Model based on 2016.09.01 17:00:00 17:00:00 17:00:00



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND		
① COMPOSITE ASPHALT SHINGLES	⑩ INSULATED STEEL DOOR	⑳ WOOD PRIVACY SCREEN
② HORIZONTAL CEMENT BOARD SIDING AT GARAGE DOOR	⑪ OVERHEAD GARAGE DOOR	㉑ METAL ROOF
③ HORIZONTAL CEMENT BOARD SIDING AT OTHERS	⑫ PAINTED WOOD COLUMN	㉒ BRICK VENEER
④ FINISHED	⑬ 2x4 PAINTED VENEER TRIM	㉓ WOOD SHAKY
⑤ VERTICAL SIDING (CEMENT BOARD)	⑭ 2x4 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	㉔ SMOOTH CEMENT BOARD PANEL WITH EASY TRIM AT EDGES
⑥ 2x6 PAINTED WOOD FASCIA w/ 1x4 ROOF TRIM	⑮ 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	㉕ 4" CONCRETE LINTEL
⑦ PREFINISHED ALUMINUM GLITTER ON 2x4 PAINTED WOOD FASCIA	⑯ 2x4 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING	㉖ 4" CONCRETE BS
⑧ SEALED DOUBLE GLAZED PVC WINDOW	⑰ PREFINISHED METAL THROUGH WALL	㉗ ALUMINUM & GLASS RAILING
⑨ SEALED DOUBLE GLAZED PVC SLIDING PATIO DOOR	⑱ 4x7 FISH METAL RAILING	㉘ OVERHEAD GARAGE DOOR ON TIMBERED GLASS
	㉚ FINISH DOOR w/ TRANSOM OVER	㉙ CANADA POST MAILBOX

FOCUS ARCHITECTURE INCORPORATED  
 Suite 110 - 1888 McCollum Road  
 Alhambra, South California 91804  
 1 800 553 5222 1 800 553 5442  
 www.focus.ca

NO.	DESCRIPTION
2024.09.01	DP DRAWINGS FOR CONSTRUCTION
2024.09.01	REVISED: PLUMBING COMMENTS
2024.09.01	REVISED: PLUMBING COMMENTS
2024.09.01	REVISED: PLUMBING COMMENTS
2024.09.01	REVISED: PLUMBING COMMENTS
2024.09.01	REVISED: PLUMBING COMMENTS
2024.09.01	REVISED: PLUMBING COMMENTS
2024.09.01	REVISED: PLUMBING COMMENTS
2024.09.01	REVISED: PLUMBING COMMENTS
2024.09.01	REVISED: PLUMBING COMMENTS

CLIENT  
**WESMONT HOMES (CLAYTON 74 AVE) LTD**

PROJECT  
**TOWNHOUSE DEVELOPMENT**

7899, 1810, 1840 - 24 AVENUE  
 WILLOWDALE, ONTARIO

DRAWING TITLE  
**BUILDING 32 ELEVATIONS**

DATE: 2024.09.01 FILE NO.  
 DWN: JUBIN  
 CHK: CHL **2016**



SCALE: 1/8"=1'-0"  
 SHEET NO: **DP-32.02**



# Westmont Townhomes Clayton

Issued for DP Resubmission



① SITE PLAN OVERVIEW  
 Scale: 1:500

### Contact Information

**VDZ+A**  
 Project Landscape Architecture  
 For Langley Studio  
 500 - 9181 Church Street  
 Fort Langley, British Columbia V3M 2M8  
 Mount Pleasant Studio  
 100-300 Kingsway  
 Vancouver, British Columbia V5T 3P7

Primary project contact:  
 Kim McKinnon  
 kim@vdz.ca  
 6. 778 268 9736

Alternative contacts (in order of priority):  
 Mark van der Zalm  
 Principal Landscape Architect  
 mark@vdz.ca  
 6. 604 545 0020

### Other Key Contacts:

**Westmont Homes (Clayton 74 Ave) LTD.**  
 Project Owner  
 191-230 Street  
 Abbotsford, BC V3G 3T0  
 p. 604 777 4810

**Focus Architecture Inc.**  
 Project Building Architect  
 2030 Ste 103 - 1848 McCullum Road  
 Abbotsford, BC V3G 2H9  
 p. 604 861-7272

### Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	OVERALL SITE PLAN
L-03A	NORTHWEST SITE PLAN
L-03B	NORTHEAST SITE PLAN
L-03C	CENTRAL WEST SITE PLAN
L-03D	CENTRAL EAST SITE PLAN
L-03E	SOUTHWEST SITE PLAN
L-03F	SOUTHEAST SITE PLAN
L-04	PLANTING PALETTE
L-05A	NORTHWEST SOIL VOLUME PLAN
L-05B	NORTHEAST SOIL VOLUME PLAN

L-05C	CENTRAL WEST SOIL VOLUME PLAN
L-05D	CENTRAL EAST SOIL VOLUME PLAN
L-05E	SOUTHWEST SOIL VOLUME PLAN
L-05F	SOUTHEAST SOIL VOLUME PLAN
LS-01	SECTIONS
LS-02	SECTIONS
LS-03	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS
LD-06	DETAILS
LD-07	DETAILS



② LOCATION MAP  
 N.T.B.

No.	By	Description	Date
1	MM	Issued for DP Resubmission	Jan. 15, 2024
2	MM	Revised for DP Resubmission	Jul. 22, 2024
3	MM	Revised for DP Resubmission	Aug. 25, 2024
4	MM	Revised for DP Resubmission	Jul. 19, 2024
5	MM	Revised for DP Resubmission	May 19, 2024
6	MM	Revised for DP Resubmission	Feb. 16, 2024
7	MM	Revised for DP Resubmission	Oct. 19, 2023
8	MM	Revised for DP Resubmission	Mar. 1, 2023

No.	By	Description	Date
1	MM	DP Update	May 12, 2024
2	MM	Revisions	Jan. 15, 2024

Project:  
**74 AVENUE TOWNHOMES**  
 Location:  
 18589 74 AVENUE  
 SURREY, B.C.

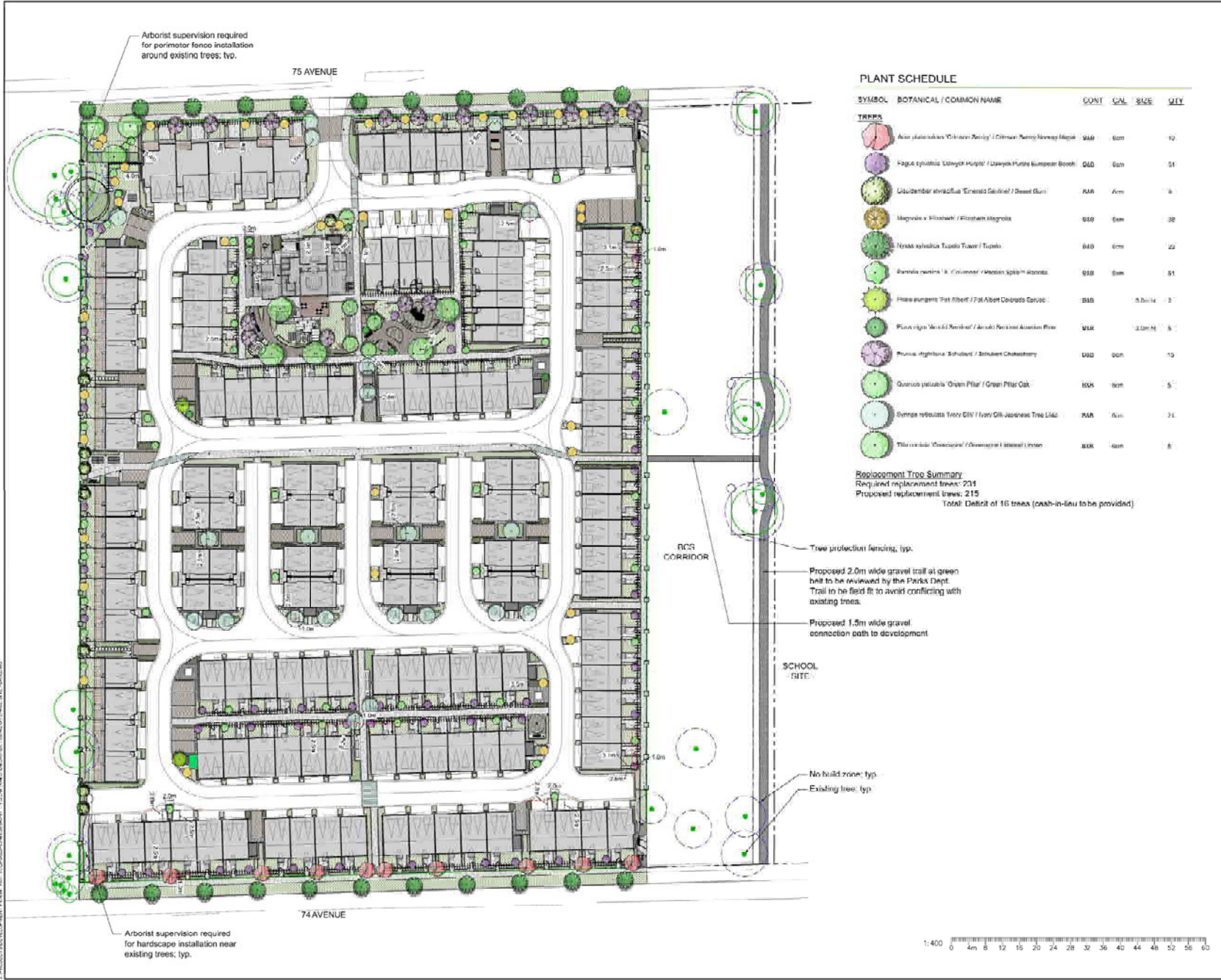
Drawn: KM	Stamp: 
Checked: KM	
Approved: MVAZ	Original Sheet Date: 24/08/2024
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND INSPECTION TO THE RESIDENTIAL PROPERTY OF THE OWNER IMMEDIATELY UPON THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

COVER PAGE

PROJECT #11  
**DP2022-80**

Drawing #  
**L-01**

7 PROJECT LOCATION: 16589 74 AVENUE, FORT LANGLEY, BC. DRAWING NO: DP2022-80. DATE: 2022-08-10.



**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Alnus glutinosa</i> / Common Alder / Common Norway Spruce	900	600	10	
	<i>Fagus sylvatica</i> / Common Oak / Common European Beech	900	600	51	
	<i>Quercus alba</i> / White Oak / Sweet Gum	900	600	9	
	<i>Malus x Millam</i> / Millam Malus	900	600	30	
	<i>Prunus sibirica</i> / Siberian Plum / Plum	900	600	22	
	<i>Parrotia persica</i> / Parrotia / Persian Parrotia	900	600	51	
	<i>Prunus virginiana</i> / Black Cherry / Black Cherry	900	600	3	
	<i>Prunus virginiana</i> / Black Cherry / Black Cherry	900	600	10	
	<i>Quercus palustris</i> / Green Oak / Green Oak	900	600	5	
	<i>Prunus virginiana</i> / Black Cherry / Black Cherry	900	600	21	
	<i>Prunus virginiana</i> / Black Cherry / Black Cherry	900	600	6	

**Replacement Tree Summary**  
 Required replacement trees: 231  
 Proposed replacement trees: 215  
 Total: Deficit of 16 trees (cash-in-lieu to be provided)

NO.	BY	DATE	DESCRIPTION
1	SS	2022-08-10	Issue for Review
2	SS	2022-08-10	Issue for Review
3	SS	2022-08-10	Issue for Review
4	SS	2022-08-10	Issue for Review
5	SS	2022-08-10	Issue for Review
6	SS	2022-08-10	Issue for Review
7	SS	2022-08-10	Issue for Review
8	SS	2022-08-10	Issue for Review
9	SS	2022-08-10	Issue for Review
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12	SS	2022-08-10	Issue for Review
13	SS	2022-08-10	Issue for Review
14	SS	2022-08-10	Issue for Review
15	SS	2022-08-10	Issue for Review
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18	SS	2022-08-10	Issue for Review
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23	SS	2022-08-10	Issue for Review
24	SS	2022-08-10	Issue for Review
25	SS	2022-08-10	Issue for Review
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43	SS	2022-08-10	Issue for Review
44	SS	2022-08-10	Issue for Review
45	SS	2022-08-10	Issue for Review
46	SS	2022-08-10	Issue for Review
47	SS	2022-08-10	Issue for Review
48	SS	2022-08-10	Issue for Review
49	SS	2022-08-10	Issue for Review
50	SS	2022-08-10	Issue for Review

**REVISIONS TABLE FOR SHEET**

Project: 74 AVENUE TOWNHOMES

Location: 16589 74 AVENUE SURREY, B.C.

Drawn: SS RM	Stamp:
Checked: KM	
Approved: MVAZ	Original Sheet Date: 21/08/22

Scale: 1:400

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DEVELOPER AND ARCHITECT IMMEDIATELY. THE DEVELOPER AND ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THIS DRAWING. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE TAKEN TO THE FACE UNLESS OTHERWISE SPECIFIED.





WOOD CONCRETE STEPPING STUMP AND WOOD LOGS	6 LD-05
PING PONG TABLE	7 LD-05

LIGHTING	
RECORD LIGHT	1 LD-07
POST LIGHT	2 LD-07
STEP LIGHT	3 LD-07
TREE LIGHT	4 LD-07

SOFTSCAPE	
SHADE PLANTING	4/5 LD-09
SCREENING BUFFER PLANTING	4/5 LD-08
ORNA PLANTING	1/2/3 LD-06

### LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	1 LD-01	BIOMAT GRASS PAVING
[Pattern]	2 LD-01	CLAY TILE UNIT PAVING
[Pattern]	3 LD-01	PERFORATED UNIT PAVING
[Pattern]	4 LD-01	CONCRETE PAVING
[Pattern]	5 LD-01	STAMPPED ASPHALT
[Pattern]	1 LD-02	HYDROCOMPRESSED SLABS
[Pattern]	8 LD-02	WOOD FIBER SAFETY SURFACE
[Pattern]	8/7 LD-02	GRANULAR PAVING OVER STUMP
[Pattern]	1 LD-03	FRONT YARD FENCE
[Pattern]	2 LD-03	REAR YARD FENCE
[Pattern]	3 LD-03	BACK YARD FENCE

### SITE FURNISHING

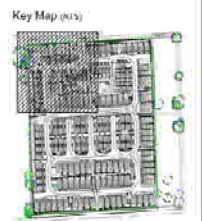
[Symbol]	1 LD-04	BERCH TYPE 1
[Symbol]	2 LD-04	BERCH TYPE 2
[Symbol]	3 LD-04	PING PONG TABLE
[Symbol]	4 LD-04	LOUNGE CHAIR
[Symbol]	5 LD-04	WASTE RECEPTACLE
[Symbol]	6 LD-04	BIKE RACK
[Symbol]	7 LD-04	LANDSCAPE BOLLARD
[Symbol]	8 LD-04	POST PIT
[Symbol]	7 LD-04	BARBECUE
[Symbol]	8 LD-04	SHADE RAIL

### PLAY EQUIPMENT

[Symbol]	1 LD-05	PLAY HOURUP
[Symbol]	2 LD-05	LOG & TRIMMED BOLLARD
[Symbol]	3 LD-05	PLAY SWING
[Symbol]	4 LD-05	SPRINKLER
[Symbol]	5 LD-05	ESC-SAW

- Mail boxes: typ.
- Dike ready: typ.
- Front yard fence / Gate to match: typ.
- Granular paving: typ.
- Bench Type 2: typ.
- Concrete sleeper: typ.
- Concrete unit covers: typ.
- Wood log: typ.
- Wood sleeper: typ.
- Shrub & Grass planting: typ.
- Bench Type 1: typ.

**VDZ+A**  
 VERTICAL DESIGN ZONING ARCHITECTURE  
 100-115 COURT RD, 2ND FLOOR  
 VANCOUVER, BC V6A 2E6, CANADA  
 TEL: 604-273-7277



NO.	DATE	BY	DESCRIPTION
1	10/15/2024	DP	ISSUED FOR PERMITTING
2	11/15/2024	DP	REVISED PER SITE PLAN
3	12/15/2024	DP	REVISED PER COMMENTS
4	01/15/2025	DP	REVISED PER COMMENTS
5	02/15/2025	DP	REVISED PER COMMENTS
6	03/15/2025	DP	REVISED PER COMMENTS
7	04/15/2025	DP	REVISED PER COMMENTS
8	05/15/2025	DP	REVISED PER COMMENTS
9	06/15/2025	DP	REVISED PER COMMENTS
10	07/15/2025	DP	REVISED PER COMMENTS
11	08/15/2025	DP	REVISED PER COMMENTS
12	09/15/2025	DP	REVISED PER COMMENTS
13	10/15/2025	DP	REVISED PER COMMENTS
14	11/15/2025	DP	REVISED PER COMMENTS
15	12/15/2025	DP	REVISED PER COMMENTS

Project: **74 AVENUE TOWNHOMES**  
 Location: **16559 74 AVENUE SURREY, B.C.**

Drawn: **SS RM**  
 Checked: **KM**  
 Approved: **Original Sheet Date: 2/1/2025**

Scale: **1:100**  
 Notes: **THIS DRAWING IS THE PROPERTY OF VDZ+A. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF VDZ+A IS STRICTLY PROHIBITED.**



	6 LD-05	WOOD CONCRETE STEPPING SLUMP AND WOOD LOGS
	7 LD-05	PAVING PAVING TABLE

LIGHTING		
	1 LD-07	BACKYARD LIGHT
	2 LD-07	FOOT LIGHT
	3 LD-07	STEP LIGHT
	4 LD-07	TREE LIGHT

SOFTSCAPE		
	4/5 LD-06	SHRUB PLANTING
	4/5 LD-06	CONCENTRIC BUFFER PLANTING
	1/2/3 LD-06	TREE PLANTING

### LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	1 LD-01	GRASS
	2 LD-01	CONCRETE UNIT PAVING
	3 LD-01	PERFORATED UNIT PAVING
	4 LD-01	CONCRETE PAVING
	5 LD-01	HYDRA-PRESSED SLABS
	6 LD-02	WOOD RIBBON SAFETY SURFACE
	7 LD-02	GRANULAR PAVING
	8 LD-03	FRONT YARD FENCE
	9 LD-03	REAR YARD FENCE
	10 LD-03	SIDE YARD FENCE

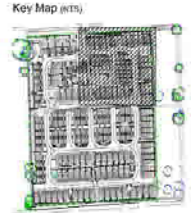
### SITE FURNISHING

	11 LD-04	BERCH TYPE 1
	12 LD-04	BERCH TYPE 2
	13 LD-04	ROUND TABLE
	14 LD-04	LOUNGE CHAIR
	15 LD-04	WASTE RECEPTACLE
	16 LD-04	BIKE RACK
	17 LD-04	LANDSCAPE BOLLARD
	18 LD-02	POST PIT
	19 LD-04	RAILROAD
	20 LD-04	SHARP KILL

### PLAY EQUIPMENT

	21 LD-05	PLAY HOUSE
	22 LD-05	LOG STEPPED STRUCTURE
	23 LD-05	PLAY BENCH
	24 LD-05	SPINNET
	25 LD-05	REF. SAW

**VDZ+A**  
 PORT LANGLEY STUDIO / HUNTSVILLE PLANNING STUDIO  
 150-1511 Columbia St. | 100-1000 Kingsway  
 Port Langley, BC | Vancouver, BC  
 V3M 2M6 | 604.737.1177  
 www.vdz.ca | 604-697-9248



No.	By	Description	Date
1	LD	Issued for O.C. Treatment	Jan. 12, 2022
2	LD	Issued for O.P. Resolution	Dec. 05, 2023
3	LD	Issued for O.P. Resolution	Aug. 28, 2024
4	LD	Issued for O.P. Resolution	Jan. 16, 2025
5	LD	Issued for O.P. Resolution	Mar. 15, 2024
6	LD	Issued for O.P. Resolution	Mar. 15, 2024
7	LD	Issued for O.P. Resolution	Mar. 15, 2024
8	LD	Issued for O.P. Resolution	Mar. 15, 2024
9	LD	Issued for O.P. Resolution	Mar. 15, 2024
10	LD	Issued for O.P. Resolution	Mar. 15, 2024

Project: 74 AVENUE TOWNHOMES  
 Location: 15559 74 AVENUE SURREY, B.C.

Drawn: DC  
 Checked: DM  
 Approved: MVAZ  
 Scale: 1:100  
 Stamp: [Professional Engineer Stamp]  
 Original Sheet Size: 24" x 36"



A:\PROJECTS\LANDSCAPE\PERMANENT\CONCEPT\LANDSCAPE\1-2-LANDSCAPE\CONCEPT\LANDSCAPE\_1-2-03A.DWG



	WOOD/CONCRETE STOPPING SLUMP AND WOOD LOOK
	BRICK PAVING TABLE

LIGHTING	
	1 (LD-01) BOLLARD LIGHT
	2 (LD-U) POST LIGHT
	3 (LD-07) STEP LIGHT
	4 (LD-07) TRAFFIC LIGHT

SOFTSCAPE	
	1 SOO See Schedule Item for Annotations
	4/5 (LD-08) SPINER PLANTING
	4/5 (LD-09) MICHIGAN SPINER PLANTING 2' x 2' x 2' 1' x 1' x 1' 1.0m x 1.0m x 1.0m PLANTING
	1/2/3 (LD-06) TRAFFIC PLANTING

**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
	1 (LD-01)	ANTWERP LIGHT PAVING
	2 (LD-01)	CONCRETE UNIT PAVING
	3 (LD-01)	PERFORATED UNIT PAVING
	4 (LD-01)	CONCRETE PAVING
	5 (LD-01)	STAMPAFFORD PAVING
	6 (LD-02)	HYDRAPRESSED SLAB
	8 (LD-02)	WOOD GRAB SAFETY SURFACE
	8/7 (LD-02)	GRANULAR PAVING OVER SLAB
	1 (LD-03)	BRICK YARD FINISH
	2 (LD-03)	RAIN YARD FINISH
	3 (LD-03)	GRASS YARD FINISH

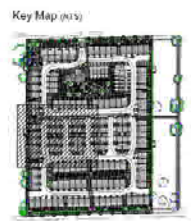
**SITE FURNISHING**

	1 (LD-04)	BENCH TYPE 1
	2 (LD-04)	BENCH TYPE 2
	3 (LD-04)	ROUND TABLE
	4 (LD-04)	LOUNGE CHAIR
	5 (LD-04)	WASTE BICOFFRAC P
	6 (LD-04)	BIRD FEEDER
	7 (LD-04)	WATERING SYSTEM
	8 (LD-02)	TRIP PIN
	9 (LD-04)	RAILPOST
	10 (LD-04)	SHADE RAIL

**PLAY EQUIPMENT**

	1 (LD-05)	PLAY HOURP
	2 (LD-05)	LOG & TRIMMED CLUSTER
	3 (LD-05)	PLAY SWING
	4 (LD-05)	SPINNER
	5 (LD-05)	SEE-SAW

**VDZ+A**  
 FORT LANGLEY STUDIO / MOUNT PLEASANT STUDIO  
 150-1511, Columbia St. | 250-555-4444  
 Fort Langley, BC | Vancouver, BC  
 1-888-286-1237 | 604-661-2222



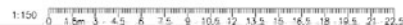
NO.	DATE	DESCRIPTION	BY	CHKD.
1	08/11/2022	Issued for 0% Re-submission	JM	SS
2	08/23/2022	Revised for 0% Re-submission	JM	SS
3	07/15/2024	Revised for 0% Re-submission	JM	SS
4	07/15/2024	Revised for 0% Re-submission	JM	SS
5	07/15/2024	Revised for 0% Re-submission	JM	SS
6	07/15/2024	Revised for 0% Re-submission	JM	SS
7	07/15/2024	Revised for 0% Re-submission	JM	SS
8	07/15/2024	Revised for 0% Re-submission	JM	SS
9	07/15/2024	Revised for 0% Re-submission	JM	SS
10	07/15/2024	Revised for 0% Re-submission	JM	SS

NO.	DATE	DESCRIPTION	BY	CHKD.
1	08/11/2022	Issued for 0% Re-submission	JM	SS
2	08/23/2022	Revised for 0% Re-submission	JM	SS
3	07/15/2024	Revised for 0% Re-submission	JM	SS
4	07/15/2024	Revised for 0% Re-submission	JM	SS
5	07/15/2024	Revised for 0% Re-submission	JM	SS
6	07/15/2024	Revised for 0% Re-submission	JM	SS
7	07/15/2024	Revised for 0% Re-submission	JM	SS
8	07/15/2024	Revised for 0% Re-submission	JM	SS
9	07/15/2024	Revised for 0% Re-submission	JM	SS
10	07/15/2024	Revised for 0% Re-submission	JM	SS

Project: 74 AVENUE TOWNHOMES  
 Location: 15559 74 AVENUE SURREY, B.C.

Drawn: SS	Stamp:
Checked: KM	Original Sheet Size: 24" x 36"
Approved: MVLAC	Scale: 1:150

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. FOR TOWNHOMES CONSTRUCTION.



CENTRAL WEST SITE PLAN



DP2022-80

L-03C



KEY	REF.	DESCRIPTION
	6 LD-05	WOODCHIP STRIPING STUMP AND WOOD LOGS
	7 LD-05	PAVING TABLE

LIGHTING	
	1 LD-07
	2 LD-07
	3 LD-07
	4 LD-07

SOFTSCAPE	
	4/C LD-06
	4/S LD-06
	1/2/3 LD-06

KEY	REF.	DESCRIPTION
	1 LD-01	STONE UNIT PAVING
	2 LD-01	SOUL/SEAL GULLY PAVING
	3 LD-01	PORCELAIN GULLY PAVING
	4 LD-01	CONCRETE PAVING
	5 LD-01	STAMPED ASPHALT
	1 LD-02	INTERLOCKING SLABS
	R LD-02	WOOD DECK SAFETY SURFACE
	E7 LD-02	GRANULAR PAVING (SOFT ENTRY)
	1 LD-03	BRICK YARD FENCE
	2 LD-03	CHAIN LINK FENCE
	3 LD-03	PVC WOOD FENCE

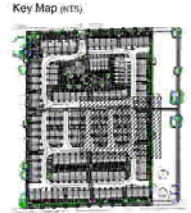
  

SITE FURNISHING	
	1 LD-04
	2 LD-04
	3 LD-04
	4 LD-04
	5 LD-04
	6 LD-04
	7 LD-02
	8 LD-02
	7 LD-04
	8 LD-04

PLAY EQUIPMENT	
	1 LD-05
	2 LD-05
	3 LD-05
	4 LD-05
	5 LD-05

**VDZ+A**  
 VANCE DESIGN GROUP  
 100-11511 COURTNEY RD. UNIT 301 ANIMUS  
 VAN COVING, BC V9A 4G6  
 TEL: 604-261-1111 FAX: 604-261-1112

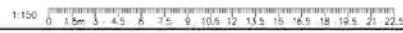


NO.	BY	DATE	DESCRIPTION
1	MM	2022-07-15	Issued for 0% Re-submission
2	MM	2022-08-25	Based on 0% Re-submission
3	MM	2022-07-15	Issued for 0% Re-submission
4	MM	2022-05-15	Based on 0% Re-submission
5	MM	2022-05-15	Based on 0% Re-submission
6	MM	2022-05-15	Based on 0% Re-submission
7	MM	2022-05-15	Based on 0% Re-submission
8	MM	2022-05-15	Based on 0% Re-submission
9	MM	2022-05-15	Based on 0% Re-submission
10	MM	2022-05-15	Based on 0% Re-submission

REVISIONS TABLE FOR DRAWINGS  
 REVISIONS TABLE FOR SHEET  
 Project: 74 AVENUE TOWNHOMES  
 Location: 18599 74 AVENUE SURREY, B.C.

Drawn: SS KM  
 Checked: KM  
 Approved: MVLAC  
 Stamp: [Stamp]  
 Original Sheet Size: 24" x 36"  
 Scale: 1:150  
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND INDICATE ON THE DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED AT THE CONSULTANT'S OFFICE. ALL DIMENSIONS SHALL BE MEASURED FROM THE FACE UNLESS OTHERWISE NOTED. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ON THE PART OF THE CONTRACTOR.

Drawing Title: CENTRAL EAST SITE PLAN  
 Drawing #: L-03D  
 Project #: DP2022-80  
 Scale: 1:150





	6 LD-05	WOOD CONCRETE STEPPING STONES AND WOOD LOGS
	7 LD-05	PAVING STONE TABLE

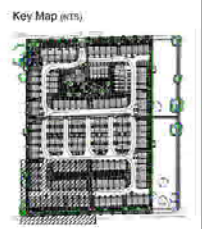
LIGHTING		
	1 LD-01	BOLLARD LIGHT
	2 LD-01	POST LIGHT
	3 LD-07	STEP LIGHT
	4 LD-07	TREE UPLIGHT

SOFTSCAPE		
	4/5 LD-08	SHRUB PLANTING
	4/5 LD-09	SEASONAL SHADE PLANTING (Min. 7' root ball, 1" caliper, 10% min. 1.0m ht.)
	1/2/3 LD-06	GRASS PLANTING
	1/2/3 LD-06	TURF PLANTING

**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
<b>HARDSCAPE</b>		
	1 LD-01	INTERLOCK PAVING
	2 LD-01	CONCRETE UNIT PAVING
	3 LD-01	PERMEABLE UNIT PAVING
	4 LD-01	CONCRETE PAVING
	5 LD-01	STAMPED ASPHALT
	1 LD-02	HYDRO-PRESSED SLAB
	6 LD-02	WOOD DECK SAFETY SURFACE
	8/7 LD-00	GRANULAR PAVING WITH STONE
	1 LD-03	FRONT YARD FENCE
	2 LD-03	REAR YARD FENCE
	3 LD-03	BACK YARD FENCE
<b>SITE FURNISHING</b>		
	1 LD-04	BENCH TYPE 1
	2 LD-04	BENCH TYPE 2
	3 LD-04	PICNIC TABLE
	4 LD-04	LOUNGE LOUNGE
	5 LD-04	WASTE RECEPTACLE
	6 LD-04	BIKE RACK
	7 LD-02	LANDSCAPE BOLLARD
	8 LD-02	FIRE PIT
	7 LD-04	BARBECUE
	8 LD-04	SHADOW BOX
<b>PLAY EQUIPMENT</b>		
	1 LD-05	PLAY HOOP
	2 LD-05	LOG STEPPED SLUDGER
	3 LD-05	PLAY SWING
	4 LD-05	SPINNER
	5 LD-05	SEE-SAW

**VDZ+A**  
 LANSING, MICHIGAN  
 200 S. LANGLEY AVENUE, SUITE 200  
 ANN ARBOR, MI 48106  
 TEL: 734.769.1234  
 WWW.VDZ.A



NO.	BY	DATE	DESCRIPTION
1	MM	15/2022	Issued for O.P. Resolution
2	MM	22/2022	Revised for O.P. Resolution
3	MM	22/2022	Revised for O.P. Resolution
4	MM	19/2022	Revised for O.P. Resolution
5	MM	19/2022	Revised for O.P. Resolution
6	MM	19/2022	Revised for O.P. Resolution
7	MM	19/2022	Revised for O.P. Resolution
8	MM	19/2022	Revised for O.P. Resolution
9	MM	19/2022	Revised for O.P. Resolution
10	MM	19/2022	Revised for O.P. Resolution
11	MM	19/2022	Revised for O.P. Resolution
12	MM	19/2022	Revised for O.P. Resolution
13	MM	19/2022	Revised for O.P. Resolution
14	MM	19/2022	Revised for O.P. Resolution
15	MM	19/2022	Revised for O.P. Resolution
16	MM	19/2022	Revised for O.P. Resolution
17	MM	19/2022	Revised for O.P. Resolution
18	MM	19/2022	Revised for O.P. Resolution
19	MM	19/2022	Revised for O.P. Resolution
20	MM	19/2022	Revised for O.P. Resolution
21	MM	19/2022	Revised for O.P. Resolution
22	MM	19/2022	Revised for O.P. Resolution
23	MM	19/2022	Revised for O.P. Resolution
24	MM	19/2022	Revised for O.P. Resolution
25	MM	19/2022	Revised for O.P. Resolution
26	MM	19/2022	Revised for O.P. Resolution
27	MM	19/2022	Revised for O.P. Resolution
28	MM	19/2022	Revised for O.P. Resolution
29	MM	19/2022	Revised for O.P. Resolution
30	MM	19/2022	Revised for O.P. Resolution
31	MM	19/2022	Revised for O.P. Resolution
32	MM	19/2022	Revised for O.P. Resolution
33	MM	19/2022	Revised for O.P. Resolution
34	MM	19/2022	Revised for O.P. Resolution
35	MM	19/2022	Revised for O.P. Resolution
36	MM	19/2022	Revised for O.P. Resolution
37	MM	19/2022	Revised for O.P. Resolution
38	MM	19/2022	Revised for O.P. Resolution
39	MM	19/2022	Revised for O.P. Resolution
40	MM	19/2022	Revised for O.P. Resolution
41	MM	19/2022	Revised for O.P. Resolution
42	MM	19/2022	Revised for O.P. Resolution
43	MM	19/2022	Revised for O.P. Resolution
44	MM	19/2022	Revised for O.P. Resolution
45	MM	19/2022	Revised for O.P. Resolution
46	MM	19/2022	Revised for O.P. Resolution
47	MM	19/2022	Revised for O.P. Resolution
48	MM	19/2022	Revised for O.P. Resolution
49	MM	19/2022	Revised for O.P. Resolution
50	MM	19/2022	Revised for O.P. Resolution

NO.	BY	DATE	DESCRIPTION
1	MM	15/2022	Issued for O.P. Resolution
2	MM	22/2022	Revised for O.P. Resolution
3	MM	22/2022	Revised for O.P. Resolution
4	MM	19/2022	Revised for O.P. Resolution
5	MM	19/2022	Revised for O.P. Resolution
6	MM	19/2022	Revised for O.P. Resolution
7	MM	19/2022	Revised for O.P. Resolution
8	MM	19/2022	Revised for O.P. Resolution
9	MM	19/2022	Revised for O.P. Resolution
10	MM	19/2022	Revised for O.P. Resolution
11	MM	19/2022	Revised for O.P. Resolution
12	MM	19/2022	Revised for O.P. Resolution
13	MM	19/2022	Revised for O.P. Resolution
14	MM	19/2022	Revised for O.P. Resolution
15	MM	19/2022	Revised for O.P. Resolution
16	MM	19/2022	Revised for O.P. Resolution
17	MM	19/2022	Revised for O.P. Resolution
18	MM	19/2022	Revised for O.P. Resolution
19	MM	19/2022	Revised for O.P. Resolution
20	MM	19/2022	Revised for O.P. Resolution
21	MM	19/2022	Revised for O.P. Resolution
22	MM	19/2022	Revised for O.P. Resolution
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26	MM	19/2022	Revised for O.P. Resolution
27	MM	19/2022	Revised for O.P. Resolution
28	MM	19/2022	Revised for O.P. Resolution
29	MM	19/2022	Revised for O.P. Resolution
30	MM	19/2022	Revised for O.P. Resolution
31	MM	19/2022	Revised for O.P. Resolution
32	MM	19/2022	Revised for O.P. Resolution
33	MM	19/2022	Revised for O.P. Resolution
34	MM	19/2022	Revised for O.P. Resolution
35	MM	19/2022	Revised for O.P. Resolution
36	MM	19/2022	Revised for O.P. Resolution
37	MM	19/2022	Revised for O.P. Resolution
38	MM	19/2022	Revised for O.P. Resolution
39	MM	19/2022	Revised for O.P. Resolution
40	MM	19/2022	Revised for O.P. Resolution
41	MM	19/2022	Revised for O.P. Resolution
42	MM	19/2022	Revised for O.P. Resolution
43	MM	19/2022	Revised for O.P. Resolution
44	MM	19/2022	Revised for O.P. Resolution
45	MM	19/2022	Revised for O.P. Resolution
46	MM	19/2022	Revised for O.P. Resolution
47	MM	19/2022	Revised for O.P. Resolution
48	MM	19/2022	Revised for O.P. Resolution
49	MM	19/2022	Revised for O.P. Resolution
50	MM	19/2022	Revised for O.P. Resolution

**74 AVENUE TOWNHOMES**

Location: 15559 74 AVENUE, SURREY, B.C.

Drawn: DC, KM  
 Checked: KM  
 Approved: MVLAC

Scale: 1:150

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND INDICATE ON THE DRAWINGS AND SPECIFICATIONS AND THE EXISTING PROPERTY OF THE OWNER AND/OR BE RETURNED AT THE CONSULTANT'S OFFICE. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.

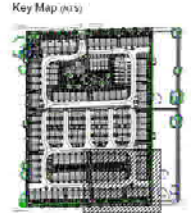
Drawing Title: **SOUTHWEST SITE PLAN**  
 Drawing #: **L-03E**  
 Project #: **DP2022-80**

ARCHITECTURAL ELEMENTS: PAVEMENT, FURNISHING, LIGHTING, PLANTING, AND LANDSCAPE DESIGN. DRAWN BY: J. L. WONG, ENGR. REG. NO. 10153, B.C. LAND SURVEYING SOCIETY.



LANDSCAPE LEGEND		KEY	REF.	DESCRIPTION
<b>HARDSCAPE</b>				
	1	LD-01		ANTWERP LIGHT PAVING
	2	LD-01		CONCRETE UNIT PAVING
	3	LD-01		PERFORATED UNIT PAVING
	4	LD-01		CONCRETE PAVING
	5	LD-01		STRENGTH 2 CONCRETE
	6	LD-02		HYDRAPRESSURE PLASTER
	7	LD-02		WOOD FIBRE SAFETY SURFACE
	8/7	LD-02		GRANULAR PAVING OVER 100mm
	1	LD-03		FRONT YARD FENCE
	2	LD-03		REAR YARD FENCE
	3	LD-03		600 YARD FENCE
<b>SITE FURNISHING</b>				
	1	LD-04		BENCH TYPE 1
	2	LD-04		BENCH TYPE 2
	3	LD-04		ROUND TABLE
	4	LD-04		LOUNGE CHAIR
	5	LD-04		WASTE RECEPTACLE
	6	LD-04		BIPOD HACK
	7	LD-04		LANDSCAPE BOLLARD
	8	LD-02		TYPE 'A'
	7	LD-04		BARBECUE
	8	LD-04		SHADY KAIL
<b>PLAY EQUIPMENT</b>				
	1	LD-05		PLAY HOURP
	2	LD-05		LOG STEPPED CLUSTER
	3	LD-05		PLAY SWING
	4	LD-05		SPINNER
	5	LD-05		SEE-SAW

**VDZ+A**  
 VISION DESIGN ZONING ARCHITECTURE  
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO  
 150-1511 Columbia | 220-1555 Kingsway  
 Fort Langley, BC | Vancouver, BC  
 604-298-1237 | 604-699-9248  
 www.vdz.ca



NO.	DATE	DESCRIPTION	BY	DATE
1	2022-08-10	Issued for 2D Treatment	JLW	2022-08-10
2	2022-08-15	Issued for 3D Presentation	JLW	2022-08-15
3	2022-08-20	Issued for 3D Presentation	JLW	2022-08-20
4	2022-08-25	Issued for 3D Presentation	JLW	2022-08-25
5	2022-08-30	Issued for 3D Presentation	JLW	2022-08-30
6	2022-09-05	Issued for 3D Presentation	JLW	2022-09-05
7	2022-09-10	Issued for 3D Presentation	JLW	2022-09-10
8	2022-09-15	Issued for 3D Presentation	JLW	2022-09-15
9	2022-09-20	Issued for 3D Presentation	JLW	2022-09-20
10	2022-09-25	Issued for 3D Presentation	JLW	2022-09-25

Project: **74 AVENUE TOWNHOMES**

Location: **15559 74 AVENUE SURREY, B.C.**

Drawn: AD KM

Checked: KM

Approved: MVLAC

Scale: 1:150

Start: [ ]

Original Sheet Size: 24" x 36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND INDICATE ON THE DRAWINGS AND SPECIFICATIONS AND THE EXISTING PROPERTY OF THE OWNER/OWNER'S REPRESENTATIVE AT THE CONSULTANT'S RISK. ALL DIMENSIONS SHALL BE MEASURED FROM THE EXISTING PROPERTY LINE OR FROM THE PROPERTY LINE OF THE EXISTING PROPERTY OF THE OWNER/OWNER'S REPRESENTATIVE AT THE CONSULTANT'S RISK.

1:150 0 1.5m 3 4.5 7.5 9 10.5 12 13.5 15 16.5 18 19.5 21 22.5

Drawing Title: **SOUTHEAST SITE PLAN**

Project: **DP2022-80**

Drawing #: **L-03F**

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer glaberrimum 'Crimson Beauty' / Crimson Beauty Honey Maple	150	50cm	10	
	Ficus virens 'Purple Platanus' / Purple Platanus Platanus Plant	150	50cm	10	
	Liquidambar styraciflua 'Imperial Sentinel' / Sweet Gum	150	50cm	10	
	Magnolia x 'Elisabeth' / Elisabeth Magnolia	AAA	4cm	18	
	Nyssa sylvatica 'Tupelo Tower' / Tupelo	150	50cm	10	
	Parrotia persica 'J.L. Colucci' / Parrotia Colucci Parrotia	AAA	4cm	15	
	Picea pungens 'Fal Albert' / Fal Albert Colorado Spruce	150	30cm H	12	
	Pinus nigra 'Arnold Gordonii' / Arnold Gordonii Austrian Pine	AAA	5.0cm H	14	
	Physalis virginiana 'Nishiki' / Nishiki Chokeberry	150	50cm	16	
	Quercus parviflora 'Green Pillar' / Green Pillar Oak	150	50cm	15	
	Liriodendron tulipifera 'Ivy Tree' / Ivy Tree American Tree Liboc	150	50cm	12	
	Tilia cordata 'Green Spruce' / Green Spruce Linden	150	50cm	18	

**TREES**



**SHRUBS, PERENNIALS, GROUNDCOVERS, AND GRASSES**



**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME
	Abies balsamea 'Nana' / Dwarf Balsam Fir
	Amelanchier canadensis / Red Currant
	Daylily 'Pardon Me'
	Lamium maculatum 'White Beauty'
	Carex oshana / Frosted Curts Sedge
	Thalictrum aquilegifolium 'Sassy Summer Tally Yarrow'
	Adiantum species / Western Sword Fern

**VDZ+A**  
 VISION DESIGN ZONE ARCHITECTURE  
 FORT LANGLEY STUDIO / MOUNT PLEASANT STUDIO  
 150-1511 Columbia / 122-1500 Kingsway  
 Fort Langley, BC / Vancouver, BC  
 491-296-1212 / 604-669-1222

No.	By	Description	Date
1	MM	Issued for O.P. Review/Issue	Jan. 15, 2022
2	MM	Revised for O.P. Review/Issue	Jul. 22, 2022
3	MM	Revised for O.P. Review/Issue	Aug. 22, 2024
4	MM	Revised for O.P. Review/Issue	July 19, 2024
5	MM	Revised for O.P. Review/Issue	May 19, 2024
6	MM	Revised for O.P. Review/Issue	Feb. 16, 2024
7	MM	Revised for O.P. Review/Issue	Dec. 10, 2023
8	MM	Revised for O.P. Review/Issue	Mar. 1, 2023

**REVISIONS TABLE FOR DRAWING**

NO. BY DATE DESCRIPTION

No.	By	Description	Date

**REVISIONS TABLE FOR SHEET**

Project: 74 AVENUE TOWNHOMES

Location: 15559 74 AVENUE SURREY, B.C.

Drawn: AD	Stamp:
Checked: AD	Original Sheet Date: 24/1/2022
Approved: MVD	Scale: 1:300

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND SPACING OF ALL PLANTS AND MATERIALS TO BE INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL LABEL ALL PLANTS TO BE INSTALLED WITH PLANT TAGS.

Drawing Title: **PLANTING PALETTE**  
 North Arrow: NORTH

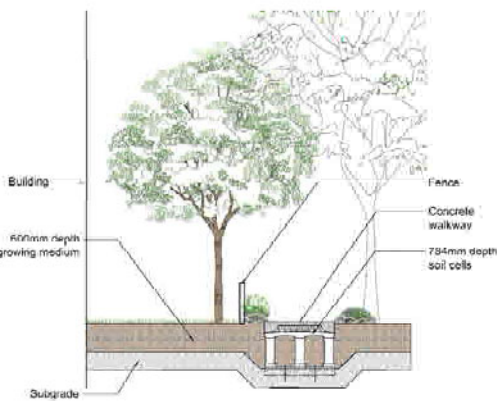
VZD Project ID: **DP2022-80**

Drawing ID: **L-04**

Z:\PROJECTS\2022\DP2022-80\DRAWING\L-04\_VZD\04-PLANTING\_PALETTE.DWG

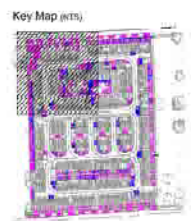
75 AVENUE Property Line

MATCHLINE - SEE SHEET L-03B



1 SECTION A Scale 1:50

**VDZ+A**  
 VERTICAL DESIGN ZONING ARCHITECTURE  
 DRIFT LANGLEY STUDIO MOUNT PLEASANT STUDIO  
 100-1151 Court St. 227-3511 Arroyo  
 Park Langley BC, Vancouver BC  
 V3M 2M6, V2T 2Z9  
 www.vdz.ca 604-607-1242



REVISIONS TABLE FOR DRAWINGS

No.	Date	Description	By	Check
1	10/15/2024	Issued for DC Treatment	Jan	JL (JL)
2	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
3	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
4	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
5	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
6	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
7	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
8	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
9	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
10	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
11	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
12	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
13	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
14	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
15	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
16	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
17	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
18	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
19	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
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23	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
24	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
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26	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
27	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
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29	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
30	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
31	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
32	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
33	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
34	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
35	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
36	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
37	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
38	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
39	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
40	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
41	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
42	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
43	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
44	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
45	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
46	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
47	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
48	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
49	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)
50	10/15/2024	Issued for DP Review/Issue	Jan	JL (JL)

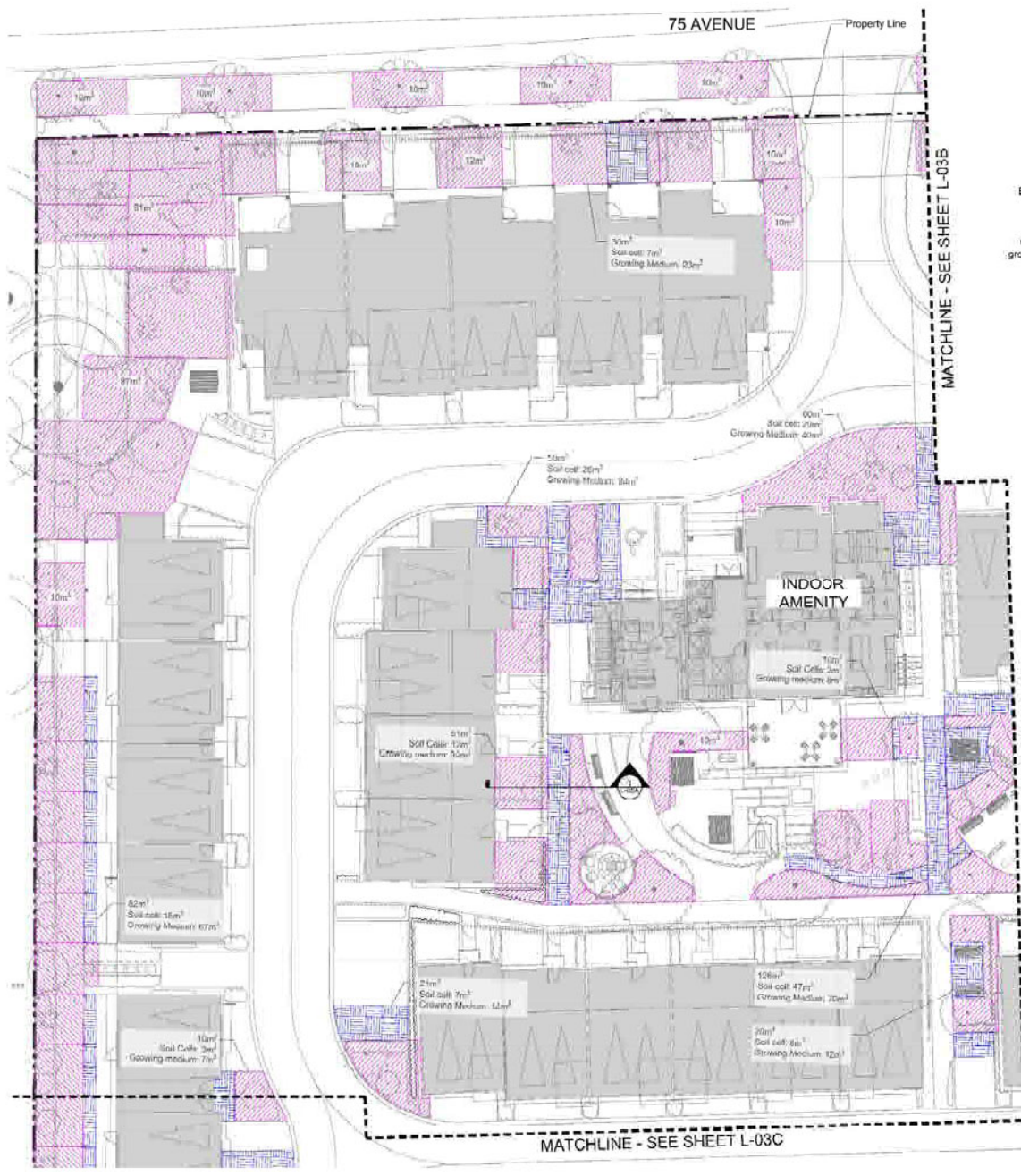
REVISIONS TABLE FOR SHEET

No.	Date	Description	By	Check
1	10/15/2024	DP Issue	Jan	JL (JL)

Project: 74 AVENUE TOWNHOMES  
 Location: 18599 74 AVENUE SURREY, B.C.

Drawn: JC  
 Checked: JM  
 Approved: MVA  
 Original Sheet Size: 21x36

Scale: 1:150



SOIL DEPTH LEGEND

KEY	DEPTH
	80mm Depth for growing medium
	150mm Depth for growing medium
	210mm Depth for growing medium

MATCHLINE - SEE SHEET L-03D

MATCHLINE - SEE SHEET L-03C



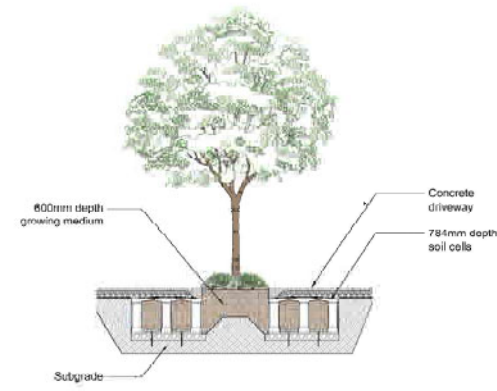
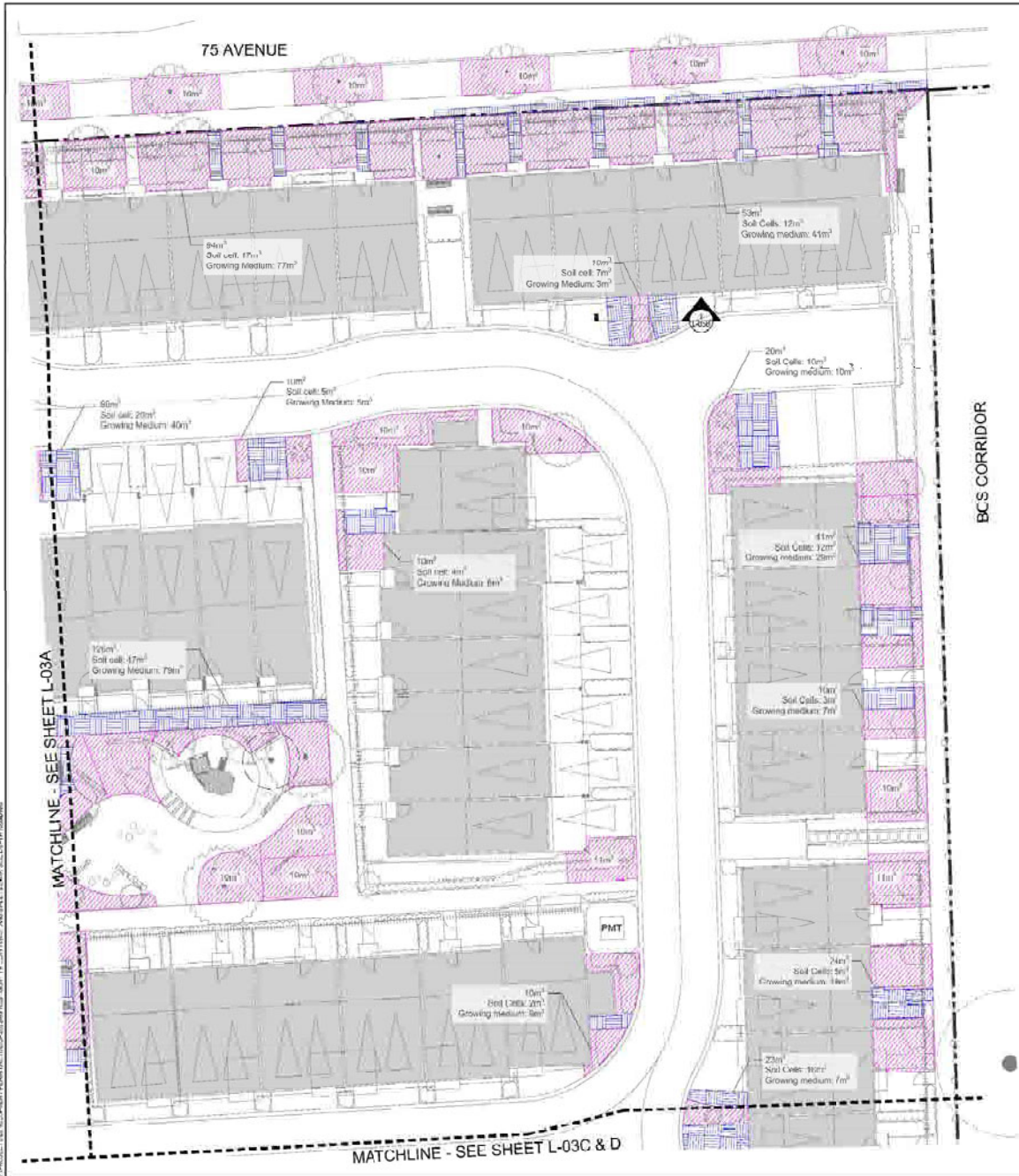
DRAWING PRODUCED FROM AUTOCAD/REVIT FILES BY CIVIL3D/ARCHITECTURE/PLANNING/DESIGN/ENGINEERING/CONSTRUCTION

Drawing Title: NORTHWEST SOIL VOLUME PLAN



Project: DP2022-80

Drawing #: L-05A



1 SECTION B  
Scale 1:50

SOIL DEPTH LEGEND

KEY	DEPTH
	600mm Depth for growing medium
	784mm Depth Soil Cells to detail SLD-01

**VDZ+A**  
 VENTURE DESIGN ZONING ARCHITECTURE  
 100-115 COURT RD. UNIT 301 ANGELO  
 FORT LANGLEY, BC V3R 2G2  
 604-897-1241



NO.	BY	DESCRIPTION	DATE
1	VDZ	Issued for 2D Treatment	Jan. 12, 2022
2	VDZ	Issued for 2D Review/Revised	Dec. 05, 2022
3	VDZ	Issued for 2D Review/Revised	Aug. 28, 2022
4	VDZ	Issued for 2D Review/Revised	July 19, 2022
5	VDZ	Issued for 2D Review/Revised	May 15, 2022
6	VDZ	Issued for 2D Review/Revised	May 15, 2022
7	VDZ	Issued for 2D Review/Revised	Mar. 15, 2022
8	VDZ	Issued for 2D Review/Revised	Mar. 15, 2022
9	VDZ	Issued for 2D Review/Revised	Mar. 15, 2022

REVISIONS TABLE FOR SHEET

Project: 74 AVENUE TOWNHOMES

Location: 18599 74 AVENUE SURREY, B.C.

Drawn: DC

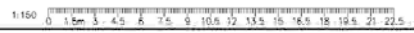
Checked: AM

Approved: MVA/...

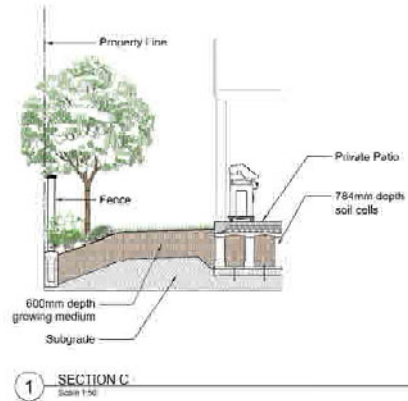
Scale: 1:50

Stamp:

Drawing Title: **NORTHEAST SOIL VOLUME PLAN**  
 Drawing No: **DP2022-80**  
 Drawing No: **L-05B**



A:\PROJECTS\LANDSCAPE\PERMANENT\CONCEPT\DP2022-80\174-22\DWG\LANDSCAPE\SOIL VOLUME PLAN.dwg



**SOIL DEPTH LEGEND**

KEY	DEPTH
	800mm Depth for growing medium
	Soil Call (Refer to detail SLD-01)



**VDZ+A**  
 LANDSCAPE ARCHITECTS  
 2007 LANGLEY STUDIO MOUNT PLEASANT STUDIO  
 100-1151 Clough St. Suite 301  
 Vancouver, BC V6E 2E6  
 (604) 278-1111  
 www.vdz.ca



NO.	DATE	DESCRIPTION	BY
1	2022-01-10	Issued for DC Treatment	JM
2	2022-01-10	Issued for DP Review	JM
3	2022-01-10	Issued for DP Review	JM
4	2022-01-10	Issued for DP Review	JM
5	2022-01-10	Issued for DP Review	JM
6	2022-01-10	Issued for DP Review	JM
7	2022-01-10	Issued for DP Review	JM
8	2022-01-10	Issued for DP Review	JM
9	2022-01-10	Issued for DP Review	JM
10	2022-01-10	Issued for DP Review	JM
11	2022-01-10	Issued for DP Review	JM
12	2022-01-10	Issued for DP Review	JM
13	2022-01-10	Issued for DP Review	JM
14	2022-01-10	Issued for DP Review	JM
15	2022-01-10	Issued for DP Review	JM
16	2022-01-10	Issued for DP Review	JM
17	2022-01-10	Issued for DP Review	JM
18	2022-01-10	Issued for DP Review	JM
19	2022-01-10	Issued for DP Review	JM
20	2022-01-10	Issued for DP Review	JM

**REVISIONS TABLE FOR DRAWINGS**

REVISIONS TABLE FOR SHEET

NO.	DATE	DESCRIPTION	BY
1	2022-01-10	Issued for DP Review	JM

Project: 74 AVENUE TOWNHOMES

Location: 18599 74 AVENUE SURREY, B.C.

Drawn: CC

Checked: KM

Approved: MVAC

Scale: 1:50

Original Sheet Size: 24" x 36"

CONTRACTOR SHALL CHECK DRAWINGS FOR WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND INDICATE ON THE DRAWING THE PROPERTY OF THE OWNER AND BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS SHALL BE MADE BY THE CONSULTANT AND INDICATED ON THE DRAWING BY THE CONTRACTOR.

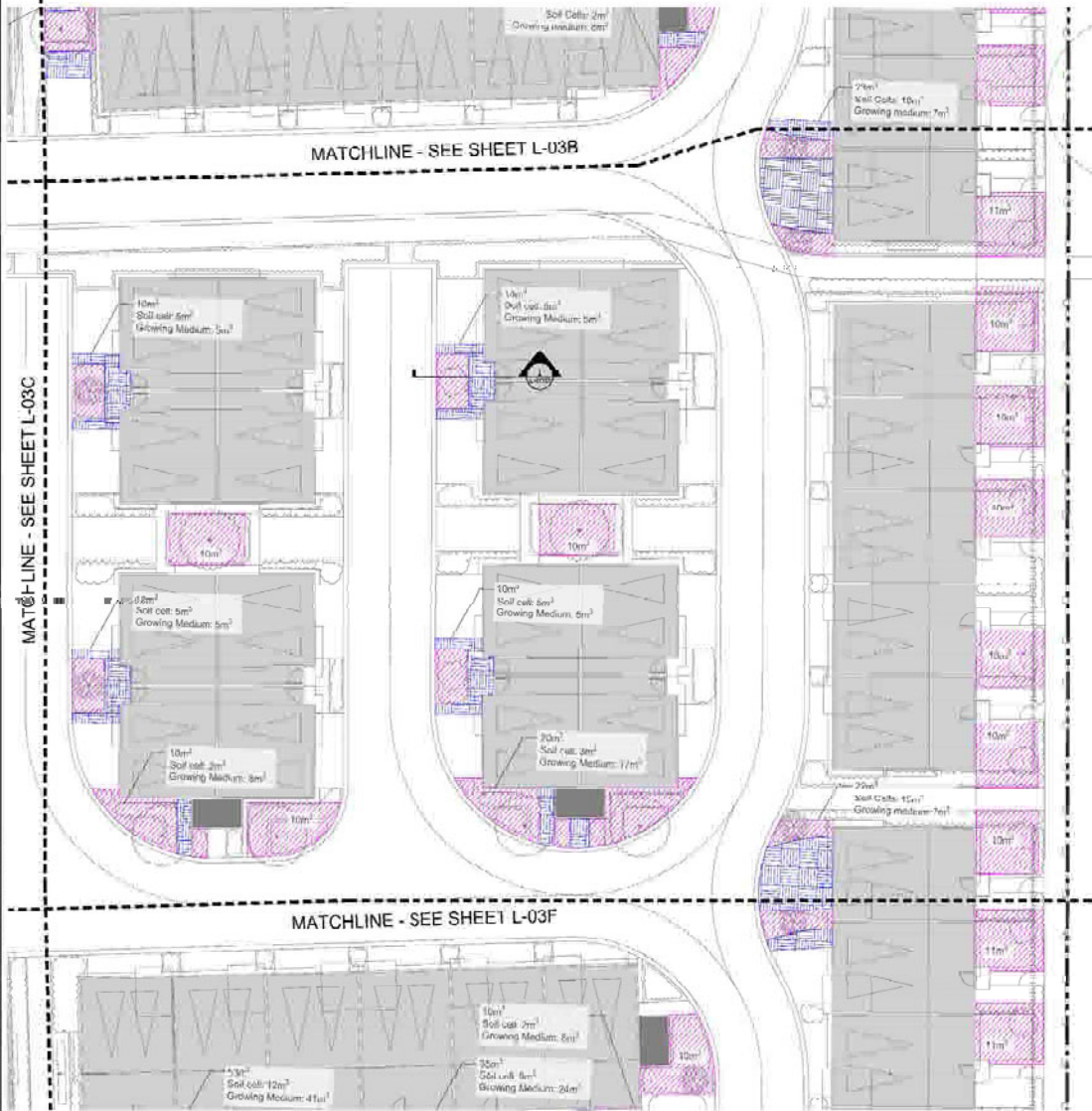
Drawing Title: **CENTRAL WEST SOIL VOLUME PLAN**



Project #: **DP2022-80**

Drawing #: **L-05C**





1 SECTION D  
Scale 1:50

BCS CORRIDOR

SOIL DEPTH LEGEND

KEY	DEPTH
	600mm Depth for growing medium
	784mm Depth for growing medium



No.	By	Description	Date
1	MM	Issued for DC Treatment	Jan. 12, 2021
2	MM	Issued for DP Re-submission	Dec. 22, 2021
3	MM	Issued for DP Re-submission	Aug. 26, 2022
4	MM	Issued for DP Re-submission	Jan. 19, 2023
5	MM	Issued for DP Re-submission	Mar. 13, 2024
6	MM	Issued for DP Re-submission	Mar. 19, 2024
7	MM	Issued for DP Re-submission	Mar. 19, 2024
8	MM	Issued for DP Re-submission	Mar. 19, 2024
9	MM	Issued for DP Re-submission	Mar. 19, 2024
10	MM	Issued for DP Re-submission	Mar. 19, 2024
11	MM	Issued for DP Re-submission	Mar. 19, 2024
12	MM	Issued for DP Re-submission	Mar. 19, 2024
13	MM	Issued for DP Re-submission	Mar. 19, 2024
14	MM	Issued for DP Re-submission	Mar. 19, 2024
15	MM	Issued for DP Re-submission	Mar. 19, 2024
16	MM	Issued for DP Re-submission	Mar. 19, 2024
17	MM	Issued for DP Re-submission	Mar. 19, 2024
18	MM	Issued for DP Re-submission	Mar. 19, 2024
19	MM	Issued for DP Re-submission	Mar. 19, 2024
20	MM	Issued for DP Re-submission	Mar. 19, 2024
21	MM	Issued for DP Re-submission	Mar. 19, 2024
22	MM	Issued for DP Re-submission	Mar. 19, 2024
23	MM	Issued for DP Re-submission	Mar. 19, 2024
24	MM	Issued for DP Re-submission	Mar. 19, 2024
25	MM	Issued for DP Re-submission	Mar. 19, 2024
26	MM	Issued for DP Re-submission	Mar. 19, 2024
27	MM	Issued for DP Re-submission	Mar. 19, 2024
28	MM	Issued for DP Re-submission	Mar. 19, 2024
29	MM	Issued for DP Re-submission	Mar. 19, 2024
30	MM	Issued for DP Re-submission	Mar. 19, 2024
31	MM	Issued for DP Re-submission	Mar. 19, 2024
32	MM	Issued for DP Re-submission	Mar. 19, 2024
33	MM	Issued for DP Re-submission	Mar. 19, 2024
34	MM	Issued for DP Re-submission	Mar. 19, 2024
35	MM	Issued for DP Re-submission	Mar. 19, 2024
36	MM	Issued for DP Re-submission	Mar. 19, 2024
37	MM	Issued for DP Re-submission	Mar. 19, 2024
38	MM	Issued for DP Re-submission	Mar. 19, 2024
39	MM	Issued for DP Re-submission	Mar. 19, 2024
40	MM	Issued for DP Re-submission	Mar. 19, 2024
41	MM	Issued for DP Re-submission	Mar. 19, 2024
42	MM	Issued for DP Re-submission	Mar. 19, 2024
43	MM	Issued for DP Re-submission	Mar. 19, 2024
44	MM	Issued for DP Re-submission	Mar. 19, 2024
45	MM	Issued for DP Re-submission	Mar. 19, 2024
46	MM	Issued for DP Re-submission	Mar. 19, 2024
47	MM	Issued for DP Re-submission	Mar. 19, 2024
48	MM	Issued for DP Re-submission	Mar. 19, 2024
49	MM	Issued for DP Re-submission	Mar. 19, 2024
50	MM	Issued for DP Re-submission	Mar. 19, 2024

REVISIONS TABLE FOR DRAWINGS

REVISIONS TABLE FOR SHEET

Project:  
74 AVENUE TOWNHOMES  
Location:  
18599 74 AVENUE  
SURREY, B.C.

Drawn:  
JC  
KM  
Checked:  
KM  
Approved:  
MVLAC  
Scale:  
1:150



CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER AND INDICATE ON THE EXISTING PROPERTY OF THE OWNER AND BE RESPONSIBLE AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE THE BASIS FOR THE CONSTRUCTION.

Drawing Title: **CENTRAL EAST SOIL VOLUME PLAN**

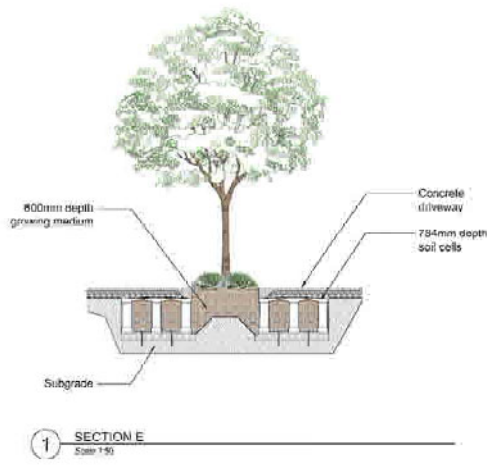


Project ID: **DP2022-80**

Drawing ID: **L-05D**



ARCHITECTURAL PLAN MANUFACTURING SOFTWARE: DESKTOP TO CLOUD. INTER-NETWORKS. SOIL DATA. 04.2020



1 SECTION E  
Scale: 1:50

### SOIL DEPTH LEGEND

KEY	DEPTH
	600mm Depth for growing medium
	Soil Cells Fill to original Surface to detail DLD-87

# VDZ+A

DRPT LANGLEY STUDIO MOUNT PLEASANT STUDIO  
100-9135 Courtway 100-3507 Arroyo Way  
Fort Langley, BC Vancouver, BC  
V3M 2M6 T47 2M7  
www.vdz.ca 604-659-1261

### Key Map (RTS)



No.	By	Description	Date
1	CM	Issued for DC Treatment	Jun. 1, 2021
2	CM	Issued for DP Re-submission	Dec. 22, 2021
3	CM	Issued for DP Re-submission	Aug. 26, 2022
4	CM	Issued for DP Re-submission	Jul. 19, 2022
5	CM	Issued for DP Re-submission	Mar. 15, 2024
6	CM	Revised for L17 Hacking	Feb. 19, 2024
7	CM	Issued for L17 Hacking	Dec. 8, 2023
8	CM	Issued for L17 Hacking	Mar. 1, 2024
9	CM	Issued for L17 Hacking	2024

### REVISIONS TABLE FOR DRAWINGS

\* Approval required for L17 Hacking in the separate DLD-87 drawing for the attached use for other sheets without comment.

### REVISIONS TABLE FOR SHEET

Project  
**74 AVENUE TOWNHOMES**  
  
Location  
**18599 74 AVENUE  
SURREY, B.C.**

Drawn: JC/CM  
Checked: KM  
Approved: MV/LAC  
Scale: 1:150  
Starts:  
Original Sheet Size:  
24"x36"  
  
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONTRACTOR AND INDICATE ON THE DRAWINGS THE RESPONSIBILITY OF THE CONTRACTOR TO BE RETAINED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHOWN ON THESE DRAWINGS SHALL BE TO FACE UNLESS OTHERWISE NOTED ON THE DRAWINGS.  
FOR TENDER CONSTRUCTION.

Drawing Title: **SOUTHWEST SOIL VOLUME PLAN**

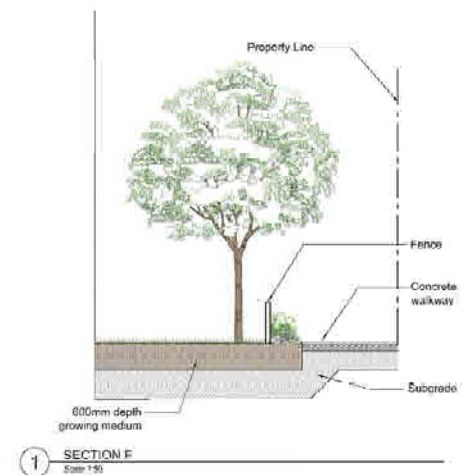


4432 Project #: **DP2022-80**

Drawing #: **L-05E**



PROJECT: 74 AVENUE TOWNHOMES, PROJECT NO. 247017, DRAWING NO. L-05F, DATE: 2024-08-08



SECTION F  
Scale: 1:50

**SOIL DEPTH LEGEND**

KEY	DEPTH
(Pink hatched)	800mm Depth for growing medium
(Light blue hatched)	Soil Cells (To be set-as) Refer to detail SLD-07

**VDZ+A**  
 CONSULTANTS ARCHITECTS LANDSCAPE ARCHITECTS  
 2007 LANGLEY AVENUE MOUNT RAINIER STUDIO  
 100-1161 CLYDEFRY RD. STE. 301 ANIMAY  
 FERN LEAVEY B.C. V5A 2M8  
 TEL: 604-553-2262 FAX: 604-553-2263



REVISIONS TABLE FOR DRAWINGS

Revisions are made to drawings and design in the project at VDZ+A and may not be represented in work for other projects without comment.

No.	By	Description	Date
1	MM	Issued for L1* Review/Marking	June 11, 2024
2	MM	Issued for L1* Review/Marking	Dec. 03, 2024
3	MM	Issued for L1* Review/Marking	Aug. 20, 2024
4	MM	Issued for L1* Review/Marking	July 19, 2024
5	MM	Issued for L1* Review/Marking	Mar. 11, 2024
6	MM	ISSUED FOR L1* REVIEW/MARKING	MAR. 19, 2024
7	MM	ISSUED FOR L1* REVIEW/MARKING	Dec. 9, 2023
8	MM	ISSUED FOR L1* REVIEW/MARKING	Mar. 1, 2021

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
-----	----	-------------	------

Project: **74 AVENUE TOWNHOMES**  
 Location: **18599 74 AVENUE SURREY, B.C.**

Drawn: AD / KM	Stamp:
Checked: KM	
Approved: MV/LAC	
Scale: 1:150	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK FOR DIMENSIONS AND MATERIALS AND REPORT TO THE CONSULTANT. THE CONSULTANT'S RESPONSIBILITY IS TO VERIFY AND INDICATE ANY AND ALL DIMENSIONS AND MATERIALS AT THE CONSULTANT'S OWN RISK. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED OR INDICATED BY THE CONTRACTOR. FOR REVIEW/CONSTRUCTION.



Drawing Title: **SOUTHEAST SOIL VOLUME PLAN**

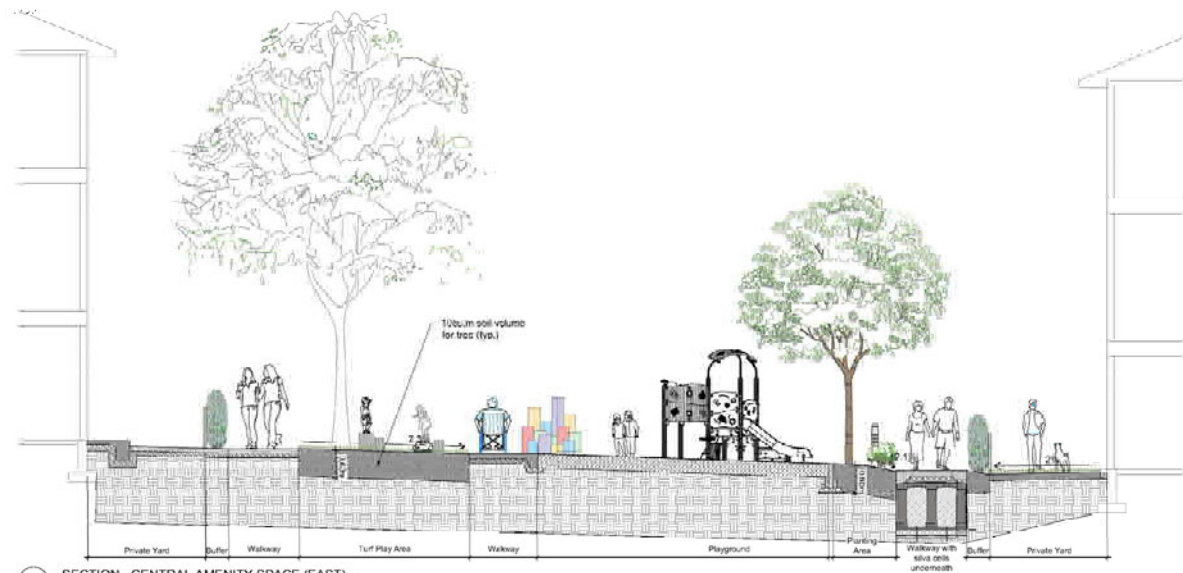


Project #: **DP2022-80**

Drawing #: **L-05F**



**0 KEY MAP**  
 Scale 1:1000



**1 SECTION - CENTRAL AMENITY SPACE (EAST)**  
 Scale 1:50



**2 SECTION - CENTRAL AMENITY SPACE (WEST)**  
 Scale 1:50

No.	By	Description	Date
1	MM	Issued for DP Reassessment	Jan. 12, 2020
2	JM	Issued for DP Reassessment	Dec. 02, 2020
3	MM	Issued for DP Reassessment	Aug. 20, 2023
4	JM	Issued for DP Reassessment	July 19, 2023
5	MM	Issued for DP Reassessment	May 15, 2024
6	JM	ISSUED FOR DP REASSESSMENT	MAY 15, 2024
7	JM	Issued for DP Reassessment	Dec. 8, 2024
8	JM	Issued for DP Reassessment	Mar. 1, 2025
9	JM	Revised	2025

**REVISIONS TABLE FOR DRAWINGS**  
 \* All drawings are to be checked and approved by the designer. All drawings are to be checked and approved by the designer. All drawings are to be checked and approved by the designer.

**REVISIONS TABLE FOR SHEET**  
 Project:  
**74 AVENUE TOWNHOMES**  
 Location:  
**16589 74 AVENUE  
 SURREY, B.C.**

Drawn: JM  
 Checked: MM  
 Approved: MVLAC  
 Scale: Original Sheet Size: 24"x36"

Scale: AS NOTED  
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

Drawing Title: **SECTIONS**

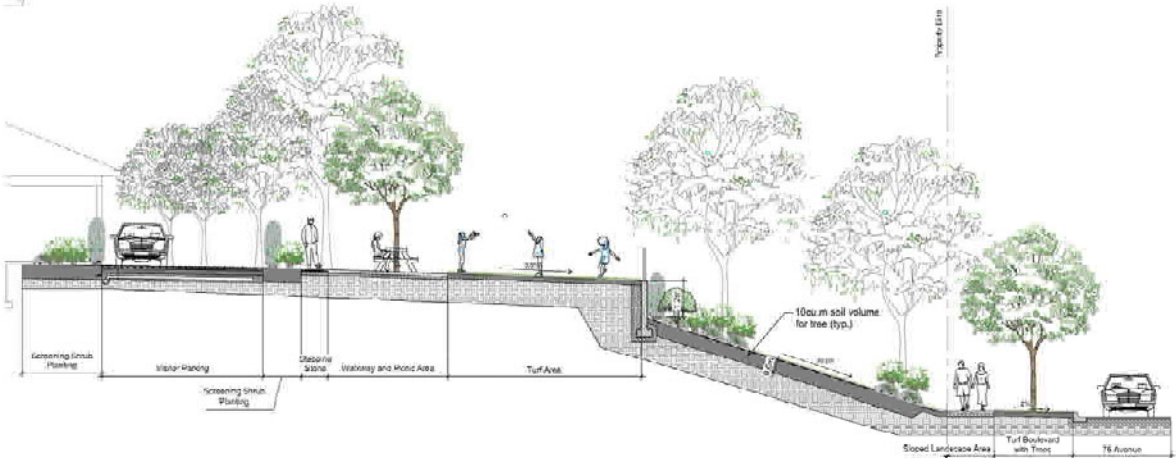


Project #: **DP2022-80**

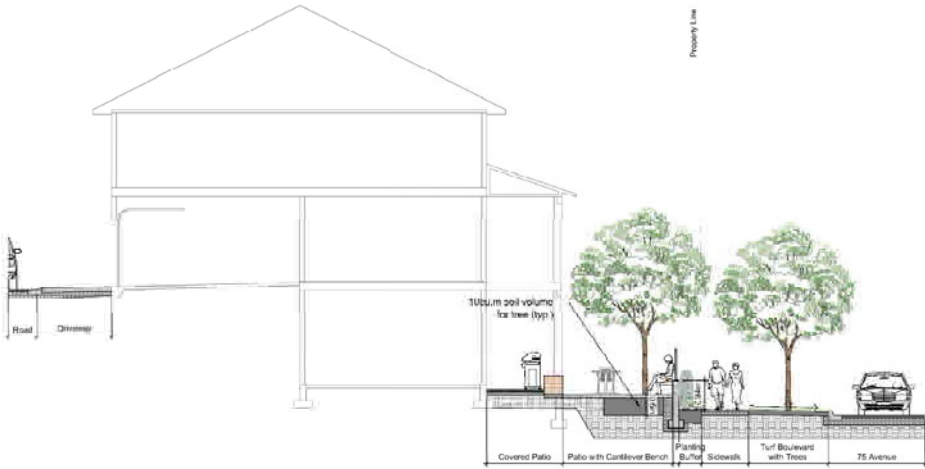
Drawing #: **LS-01**



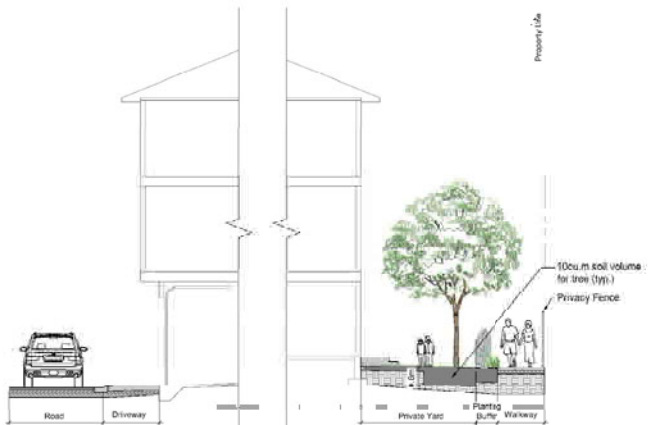
**0 KEY MAP**  
 Scale 1:1000



**3 SECTION - NORTHWEST AMENITY SPACE**  
 Scale 1:75



**4 SECTION - NORTH TOWNHOME YARD**  
 Scale 1:75



**5 SECTION - EAST TOWNHOME YARD**  
 Scale 1:75

No.	By	Description	Date
1	HM	Issued for DP Reassessment	Jan. 12, 2020
2	JM	Issued for DP Reassessment	Dec. 02, 2020
3	HM	Issued for DP Reassessment	Aug. 20, 2024
4	JM	Issued for DP Reassessment	July 19, 2024
5	HM	Issued for DP Reassessment	May 15, 2024
6	HM	Issued for DP Reassessment	Feb. 16, 2024
7	HM	Issued for DP Reassessment	Dec. 8, 2023
8	JD	Issued for DP Reassessment	Mar. 1, 2023

**REVISIONS TABLE FOR DRAWINGS**  
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No.	By	Description	Date
1	HM	DP Reassessment Coordination	May 24, 2024

**REVISIONS TABLE FOR SHEET**

**Project**  
 74 AVENUE TOWNHOMES  
 Location:  
 16589 74 AVENUE  
 SURREY, B.C.

Drawn: HM	Startp:
Checked: HM	Original Sheet Size: 24" x 36"
Approved: MVLAC	

Scale:  
 AS NOTED  
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND INDICATIONS ARE THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES TO THE DRAWING SHALL BE MADE BY THE CONSULTANT AND SHALL BE MADE BY THE CONSULTANT. FOR REVISIONS CONTACT US.

Drawing Title  
**SECTIONS**

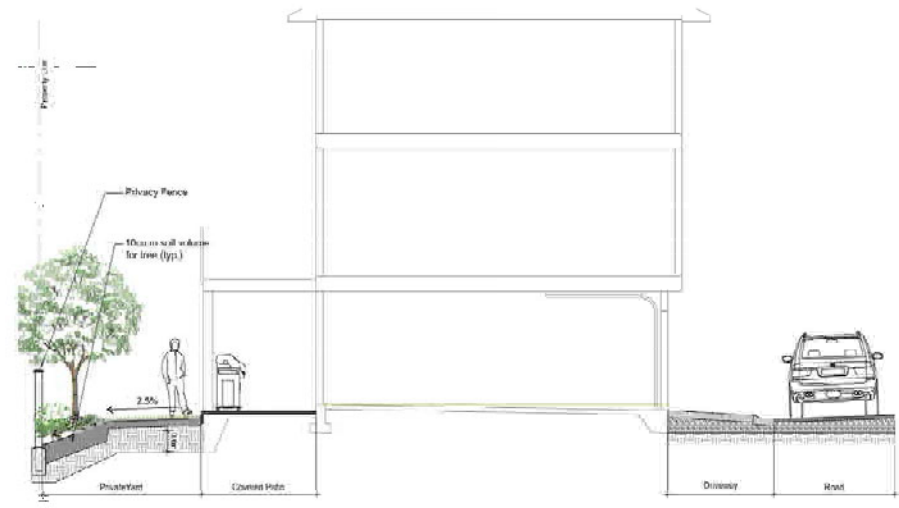


Project ID:  
**DP2022-80**

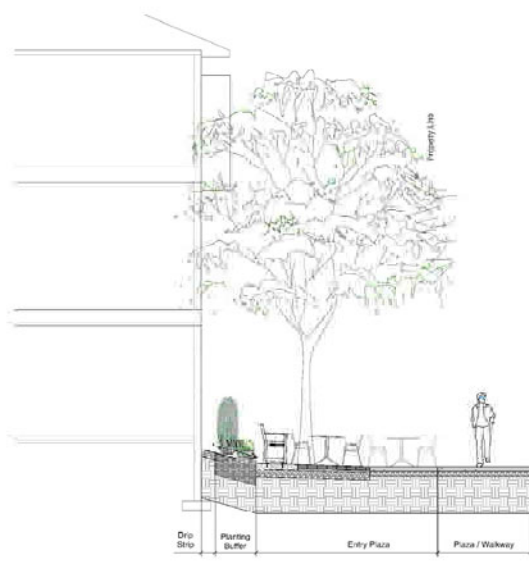
Drawing ID:  
**LS-02**



**0 KEY MAP**  
 Scale 1:1000



**5 SECTION - WEST TOWNHOME YARD**  
 Scale 1:50



**6 SECTION - NORTHEAST ENTRY PLAZA**  
 Scale 1:50



**7 SECTION - SOUTH TOWNHOME YARD**  
 Scale 1:50

No.	By	Description	Date
8	KM	Issued for DP Re-submission	Jan. 15, 2025
7	KM	Issued for DP Re-submission	Dec. 03, 2024
6	KM	Issued for DP Re-submission	Aug. 20, 2024
5	KM	Issued for L1* Re-submission	July 19, 2024
4	KM	Issued for DP Re-submission	May 15, 2024
3	KM	Notified for L1* Re-submission	May 15, 2024
2	KM	Issued for L1* Re-submission	Oct. 8, 2023
1	KM	Issued for L1* Re-submission	Mar. 1, 2021
0	BM	Issued for L1* Re-submission	2020

**REVISIONS TABLE FOR DRAWINGS**  
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No.	By	Description	Date
1	KM	20% Re-submission (Coordinate)	May 14, 2024

**REVISIONS TABLE FOR SHEET**  
 Project:  
**74 AVENUE TOWNHOMES**  
 Location:  
**18599 74 AVENUE  
 SURREY, B.C.**

Drawn JM	Stamp
Checked KM	
Approved MVLAC	
Scale: AS NOTED	Original Sheet Size: 24" x 36"

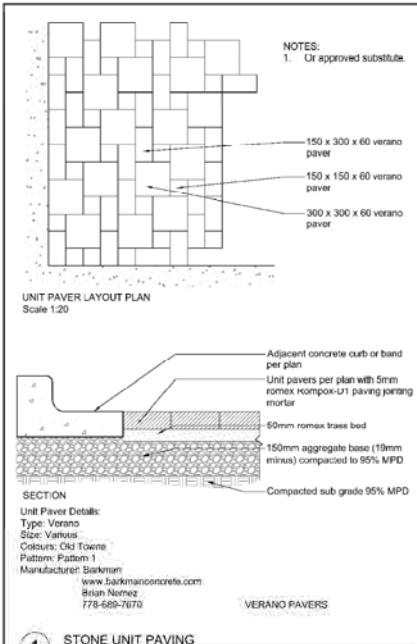
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DEVELOPER AND ARCHITECT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE DEVELOPER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

Drawing Title: **SECTIONS**

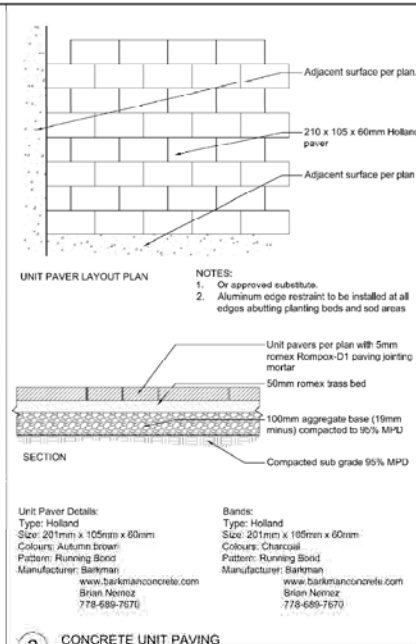


Project: **DP2022-80**

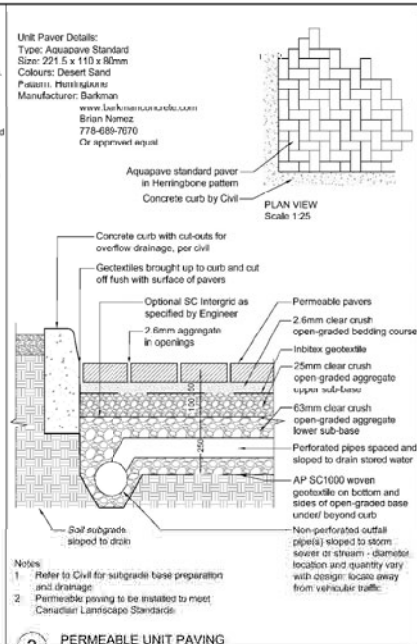
Drawing #: **LS-03**



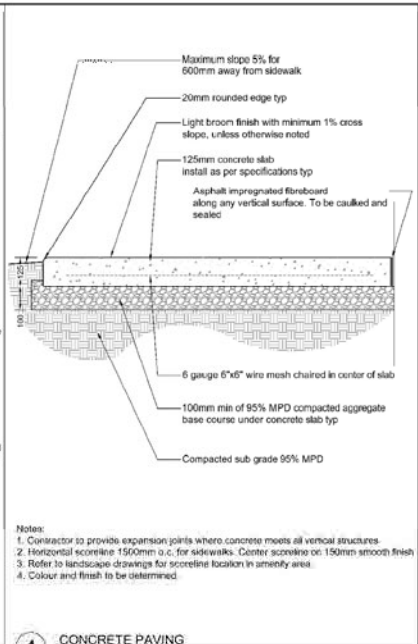
**1 STONE UNIT PAVING**  
Scale 1:10



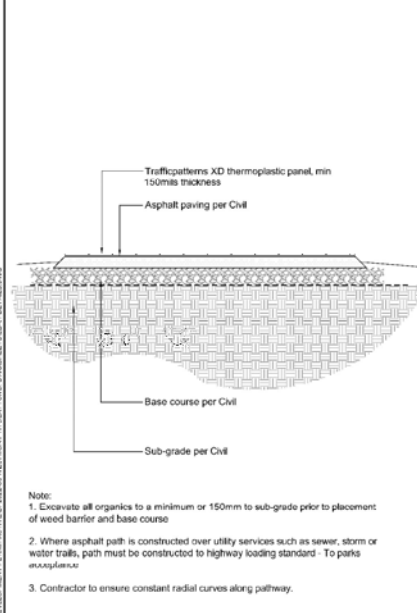
**2 CONCRETE UNIT PAVING**  
Scale 1:10



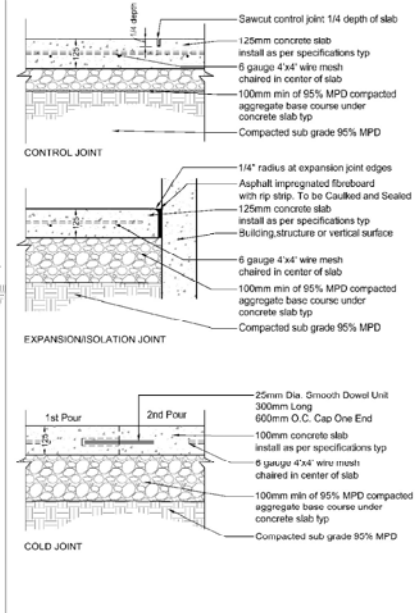
**3 PERMEABLE UNIT PAVING**  
Scale 1:10



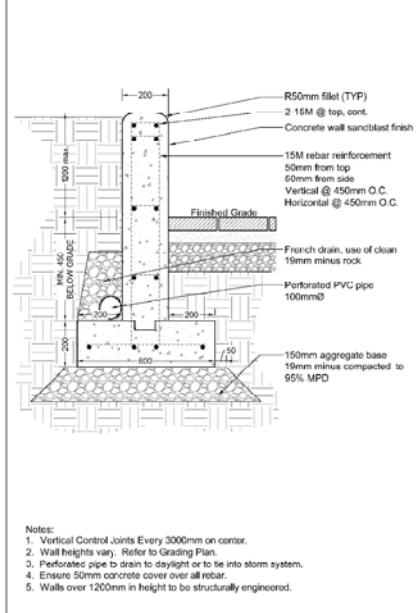
**4 CONCRETE PAVING**  
Scale 1:10



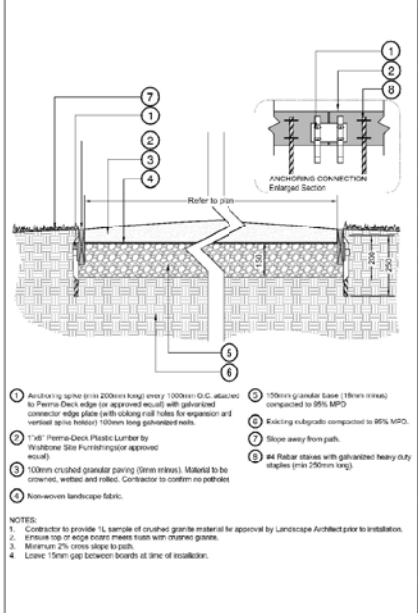
**5 STAMPED ASPHALT**  
Scale 1:20



**6 CONCRETE JOINTS**  
Scale 1:10



**7 CONCRETE RETAINING WALL**  
Scale 1:10



**8 CRUSHED GRAVEL PATH**  
Scale 1:10

No.	By	Description	Date
8	HM	Issued for DP Re-submission	Jan. 15, 2025
7	HM	Issued for DP Re-submission	Dec. 03, 2024
6	HM	Issued for DP Re-submission	Aug. 20, 2024
5	HM	Issued for LP Re-submission	July 19, 2024
4	HM	Issued for DP Re-submission	May 15, 2024
3	HM	Issued for DP Re-submission	Feb. 16, 2024
2	HM	Issued for DP Re-submission	Dec. 8, 2023
1	AD	Issued for DP Re-submission	Mar. 1, 2023

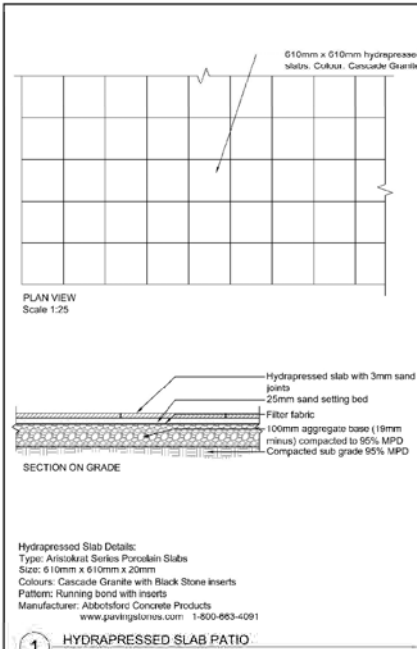
No.	By	Description	Date
1	AD	Issued for DP Re-submission	Mar. 1, 2023

REVISIONS TABLE FOR SHEET

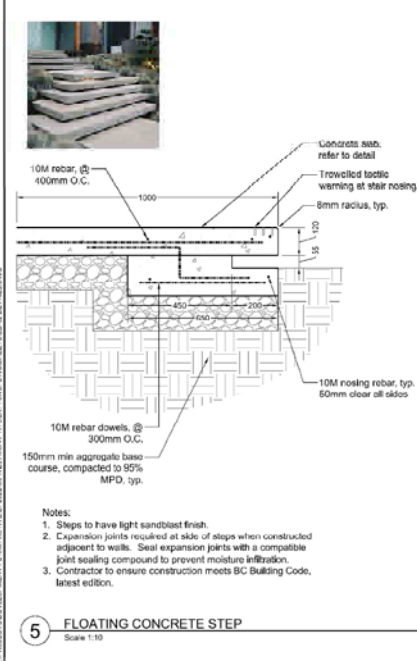
Project: 74 AVENUE TOWNHOMES

Location: 18599 74 AVENUE SURREY, B.C.

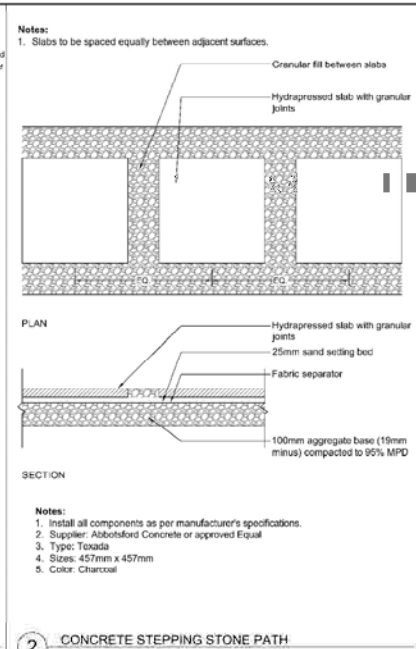
Drawn: SS	Stamp:
Checked: KM	
Approved: MVLAC	
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWING AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND SPECIFICATIONS AND THE RESPECTIVE PROPERTY OF THE CONSULTANT OF THE DRAWING. ALL DIMENSIONS SHALL BE RETURNED AT THE CONSULTANT OF THE DRAWING. ALL DIMENSIONS SHALL BE RETURNED AT THE CONSULTANT OF THE DRAWING. ALL DIMENSIONS SHALL BE RETURNED AT THE CONSULTANT OF THE DRAWING.



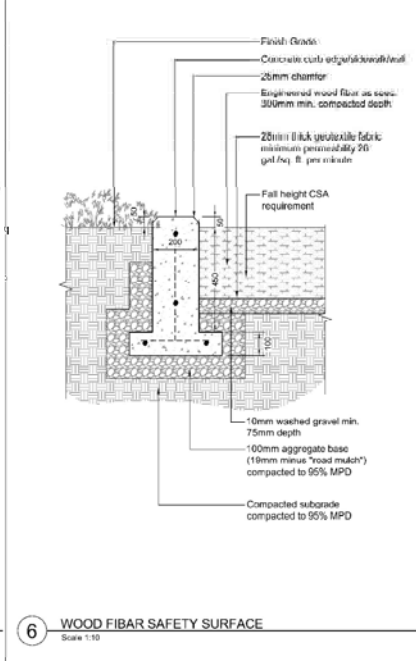
**1 HYDRAPRESSED SLAB PATIO**  
Scale 1:10



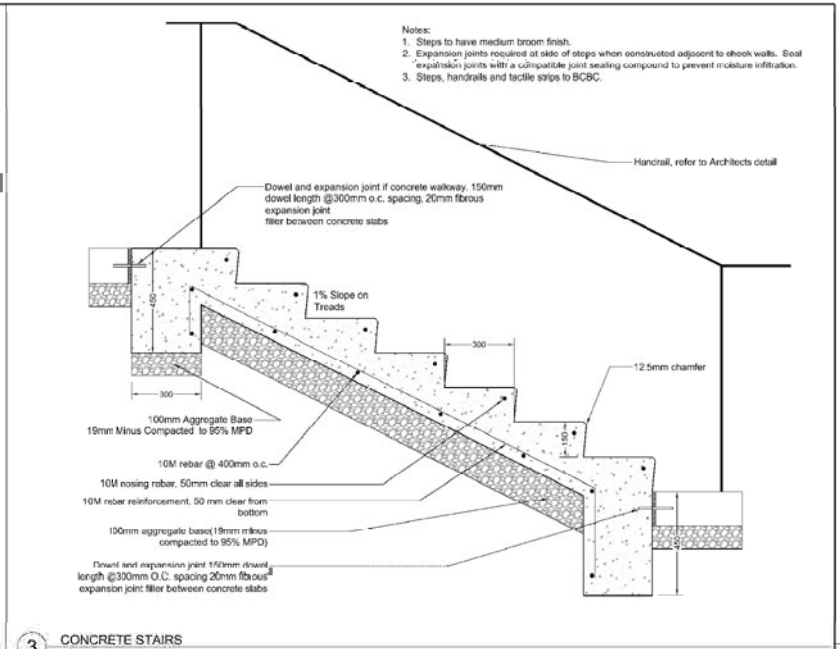
**5 FLOATING CONCRETE STEP**  
Scale 1:10



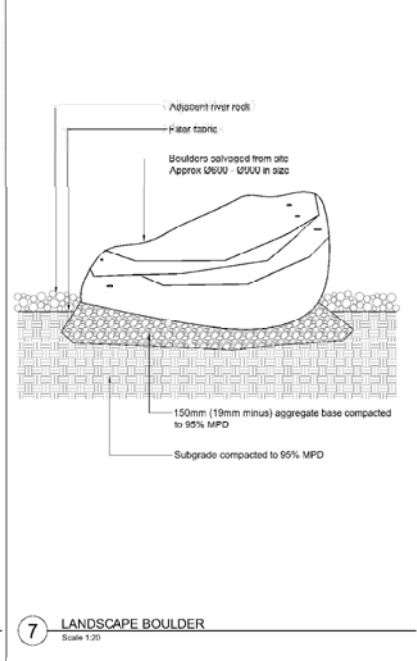
**2 CONCRETE STEPPING STONE PATH**  
Scale 1:10



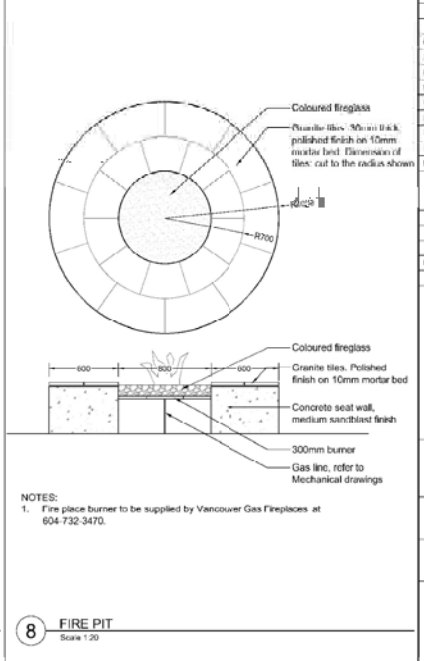
**6 WOOD FIBAR SAFETY SURFACE**  
Scale 1:10



**3 CONCRETE STAIRS**  
Scale 1:10



**7 LANDSCAPE BOULDER**  
Scale 1:20



**8 FIRE PIT**  
Scale 1:20

No.	By	Description	Date
1	SS	Issue for Construction	Jan. 15, 2022
2	HM	Revised for 02' Re-submission	Jul. 22, 2022
3	HM	Revised for 02' Re-submission	Aug. 22, 2024
4	HM	Revised for 02' Re-submission	July 19, 2024
5	HM	Revised for 02' Re-submission	May 16, 2024
6	HM	Revised for 02' Re-submission	Mar. 16, 2024
7	HM	Revised for 02' Re-submission	Mar. 16, 2024
8	HM	Revised for 02' Re-submission	Mar. 16, 2024
9	HM	Revised for 02' Re-submission	Mar. 16, 2024
10	HM	Revised for 02' Re-submission	Mar. 16, 2024
11	HM	Revised for 02' Re-submission	Mar. 16, 2024
12	HM	Revised for 02' Re-submission	Mar. 16, 2024
13	HM	Revised for 02' Re-submission	Mar. 16, 2024
14	HM	Revised for 02' Re-submission	Mar. 16, 2024
15	HM	Revised for 02' Re-submission	Mar. 16, 2024
16	HM	Revised for 02' Re-submission	Mar. 16, 2024
17	HM	Revised for 02' Re-submission	Mar. 16, 2024
18	HM	Revised for 02' Re-submission	Mar. 16, 2024
19	HM	Revised for 02' Re-submission	Mar. 16, 2024
20	HM	Revised for 02' Re-submission	Mar. 16, 2024

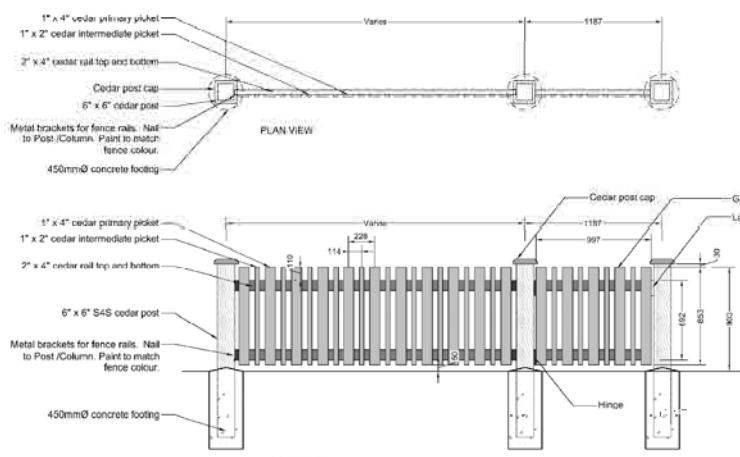
**REVISIONS TABLE FOR DRAWING**  
This drawing is the property of VDZ+A. It is to be used only for the project specified on this drawing. It is not to be used for any other project without the written consent of VDZ+A.

**REVISIONS TABLE FOR SHEET**

Project: **74 AVENUE TOWNHOMES**  
Location: **18599 74 AVENUE SURREY, B.C.**

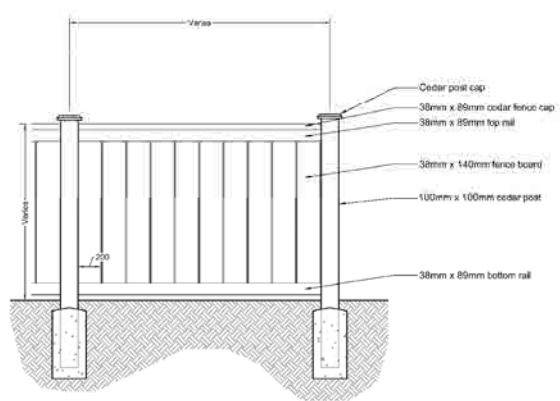
Drawn: **SS** Stamp: **VDZ+A**  
Checked: **HM**  
Approved: **MVLAC** Original Sheet Size: **24" x 36"**  
Scale: **AS SHOWN**  
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE CONSULTANT OF THE WORK. ALL DIMENSIONS SHALL BE MEASURED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE MEASURED TO THE FACE UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE MEASURED TO THE FACE UNLESS OTHERWISE SPECIFIED.





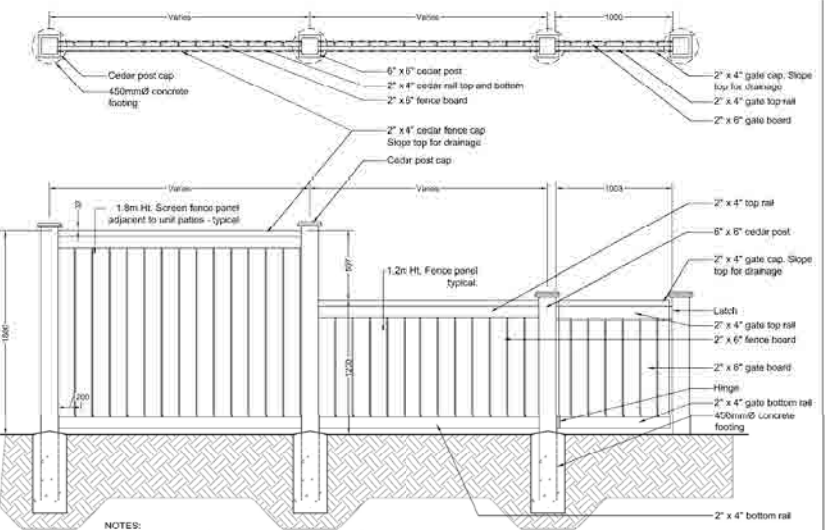
- NOTES:**
1. All hardware to be hot dipped galvanized and painted to match fence.
  2. All wood to be S4S western red cedar.
  3. All wood to be sealed and painted charcoal (2 coats).
  4. Amenity area gate to be compliant with sentence 3.3.1.13 (2) and (10) respectively.
  5. Min. 4 screws per board.

**1 FRONT YARD FENCE**  
 Scale 1:20



- NOTES:**
1. All hardware to be hot dipped galvanized and painted to match fence.
  2. All wood to be S4S western red cedar.
  3. All wood to be sealed and painted charcoal (2 coats).

**2 REAR YARD FENCE**  
 Scale 1:20



- NOTES:**
1. All hardware to be hot dipped galvanized and painted to match fence.
  2. All wood to be S4S western red cedar.
  3. All wood to be sealed and painted charcoal (2 coats).
  4. Spacing between wooden boards to be 13mm (1/2").
  5. Min. 4 screws per board.

**3 SIDE YARD FENCE**  
 Scale 1:20

No.	By	Description	Date
11	KM	Issued by GP Reassessment	Jan. 15, 2020
7	JM	Issued by GP Reassessment	Dec. 02, 2019
6	KM	Issued by GP Reassessment	Aug. 20, 2018
5	JM	Issued by GP Reassessment	July 19, 2018
4	KM	Issued by GP Reassessment	May 18, 2018
3	KM	Issued by GP Reassessment	Feb. 16, 2018
2	KM	Issued by GP Reassessment	Dec. 8, 2015
1	AD	Issued by GP Reassessment	Mar. 1, 2011
10	By	Drawn	Scale

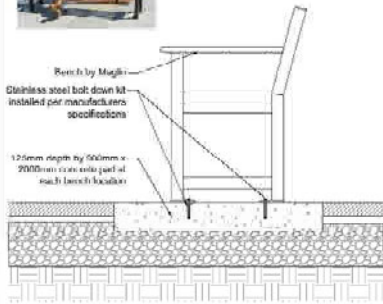
**REVISIONS TABLE FOR DRAWINGS**

Project:  
**74 AVENUE TOWNHOMES**

Location:  
**18599 74 AVENUE  
 SURREY, B.C.**

Drawn: SS	Stamp:
Checked: KM	
Approved: MVLAC	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

- NOTES:**
1. Install bench to manufacturers specifications.
  2. Concrete pad to be included at all bench locations.
  3. Size of concrete pad as noted on details unless shown otherwise on plans.

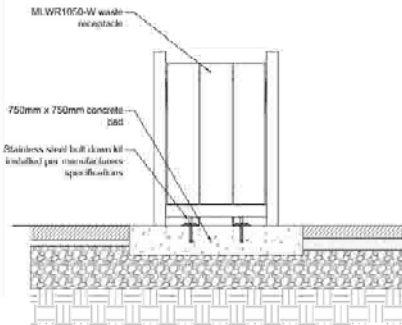


**Bench Type 1**  
Model Number: MBE-0400-00048  
Size: L:1848 W:6320 H:8510mm  
Options: Center Arm, Backed  
Wood Colour: IPE Wood  
Metal Colour: Gloss Black

Manufacturer: Maglin  
maglin.com  
Note: or approved equal

**1 BENCH TYPE 1**  
Scale: 1:10

- NOTES:**
1. Install to manufacturers specifications.
  2. Concrete pad to be included at all waste receptacle locations.
  3. Size of concrete pad as noted on details unless shown otherwise on plans.
  4. Or approved substitute.
  5. Or approved substitute.
  6. Refer to concrete paving detail for additional information on concrete pad.



**WASTE RECEPTACLE**  
Model Number: MLWR1050-W  
Size: 756mm x 637mm x 637mm  
Wood Colour: IPE Wood  
Metal Colour: Gloss Black

Manufacturer: Maglin  
maglin.com  
Note: or approved equal

**5 WASTE RECEPTACLE**  
Scale: 1:10

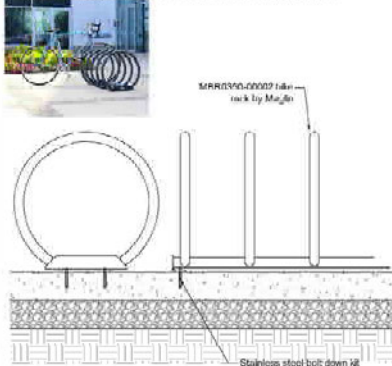


**Bench Type 2: Long Concrete Bench**  
Model Number: LCO110  
Size: L:2625 W:450 H:470mm  
Options: Backless and armless  
Material: HPC Concrete  
Colour: White

Manufacturer: Maglin  
maglin.com  
Note: or approved equal

**2 BENCH TYPE 2**  
Scale: 1:10

- NOTES:**
1. Install to manufacturers specifications.
  2. Concrete pad to be included at all waste receptacle locations.
  3. Size of concrete pad as noted on details unless shown otherwise on plans.
  4. Or approved substitute.
  5. Or approved substitute.
  6. Refer to concrete paving detail for additional information on concrete pad.



**Bike Rack**  
Model Number: MBR0350-00002  
Size: 1226mm x 625mm  
Metal Colour: Gloss Black

Manufacturer: Maglin  
maglin.com  
Note: or approved equal

**6 BIKE RACK**  
1:10



**Bench Type 3: Picnic Bench**  
Model Number: MTB-0210-00042  
Size: L:1778 W:1688 H:7520mm  
Options: Center Arm, Backed  
Wood Colour: IPE Wood table top, attached backless benches(2)  
Metal Colour: Gloss Black

Manufacturer: Maglin  
maglin.com  
Note: or approved equal

**3 PICNIC TABLE**  
Scale: 1:10



**FREESTANDING BARBECUE**  
Model: Char-Broil 3200 BTU 4 burners  
Mount: Surface mount  
Colour: Stainless steel  
Manufacturer: Rona  
www.rona.ca

- NOTES:**
1. Install to manufacturers specifications.
  2. Or approved equal

**7 BARBECUE**  
1:10



**LOUNGE CHAIR**  
Model Number: MCH-0720-00001  
Size: L:857 W:768 H:970 mm  
Material: Metal and IPE Wood  
Metal Color: Silver

Manufacturer: Maglin  
Maglin.com  
Note: or approved equal

**4 LOUNGE CHAIR**  
N.T.S.



**Shade Sail**  
Model Number: xxxx  
Size:  
Material: Fade & tear-resistant UV stabilized shade fabric  
Fabric Colour: Natural

Manufacturer: Shade Sail Canada  
shadesailcanada.com  
Note: or approved equal

**8 SHADE SAIL**  
1:10

#	Rev	Description	Date
1	1M	Issued for O.P. Re-submission	Jan. 15, 2022
2	1M	Revised for O.P. Re-submission	Jul. 22, 2024
3	1M	Revised for O.P. Re-submission	Aug. 25, 2024
4	1M	Revised for O.P. Re-submission	Jul. 19, 2024
5	1M	Revised for O.P. Re-submission	Jul. 19, 2024
6	1M	Revised for O.P. Re-submission	Feb. 16, 2023
7	1M	Revised for O.P. Re-submission	Dec. 9, 2024
8	1M	Revised for O.P. Re-submission	Mar. 1, 2025

REVISIONS TABLE FOR DRAWING  
\*Changes to drawings shall be made by the original author or as directed by the project manager.

#	Rev	Description	Date
REVISIONS TABLE FOR SHEET			
Project: 74 AVENUE TOWNHOMES			
Location: 16589 74 AVENUE SURREY, B.C.			

Drawn: SS	Stamp:
Checked: KM	Original Sheet Size: 24" x 36"
Approved: MVLAC	Scale: AS SHOWN





Notes:  
 1. Kompan play house.  
 Model: NR0418-1021  
 2. Install per manufacturers specifications.

1 PLAY HOUSE  
 Scale 1:10



Notes:  
 1. Earthscape log steppers  
 Model: Log Stepper Cluster 52  
 2. Install per manufacturers specifications.

2 LOG STEPPED CLUSTER  
 Scale 1:10



Notes:  
 1. Landscape Structures Swing  
 Model: Fox den Hangouts #307431  
 2. Install per manufacturers specifications.

3 PLAY SWING  
 Scale 1:10



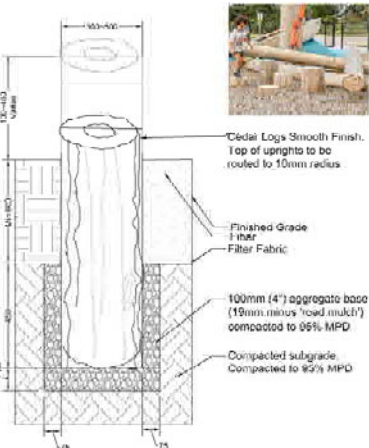
Notes:  
 1. Kompan Spinner  
 Model: Spica 3 (GXY8016)  
 2. Install per manufacturers specifications.

4 SPINNER  
 Scale 1:10



Notes:  
 1. See-saw  
 Supplier: Landscape Structures  
 Model: Seesaw 4-seats (148637)  
 Maximum Fall Height : 36" (0.91 m)  
 Minimum Area Required : 21' 8" x 12' 11" (6,6 m x 3,94 m)  
 Color: Orange, Limon and Peacock (ProShield Finish)

5 SEE-SAW  
 Scale 1:10



Notes:  
 1. Logs to be sealed with Sikkins Cetol SRD - Colour 077-Cedar or approved equal. End sealer to be used on all areas below grade. Apply as per manufacturers specifications.  
 2. Size of log uprights as per plan.  
 3. All branches and trunk splits to be cut flush, routed and sealed. Bark to remain intact.

6 STEPPING STUMP  
 Scale 1:10



Ping-Pong table  
 Model Number: xxxx  
 Size:  
 Material:  
 Metal Colour : Orange

7 PING PONG TABLE  
 Scale 1:10

No.	Dr.	Description	Date
1	MM	Issue for DP Resubmission	Jan. 13, 2024
2	MM	Issue for DP Resubmission	Jul. 22, 2024
3	MM	Issue for DP Resubmission	Aug. 20, 2024
4	MM	Issue for DP Resubmission	Jul. 19, 2024
5	MM	Issue for DP Resubmission	May 19, 2024
6	MM	Issue for DP Resubmission	Feb. 16, 2024
7	MM	Issue for DP Resubmission	Feb. 16, 2024
8	MM	Issue for DP Resubmission	Mar. 1, 2023

REVISIONS TABLE FOR DRAWING

NO. DR. DESCRIPTION DATE

No.	Dr.	Description	Date
1	MM	Use Mass Resolution 1/2024/001	May 19, 2024
2	MM	Submission	04/04

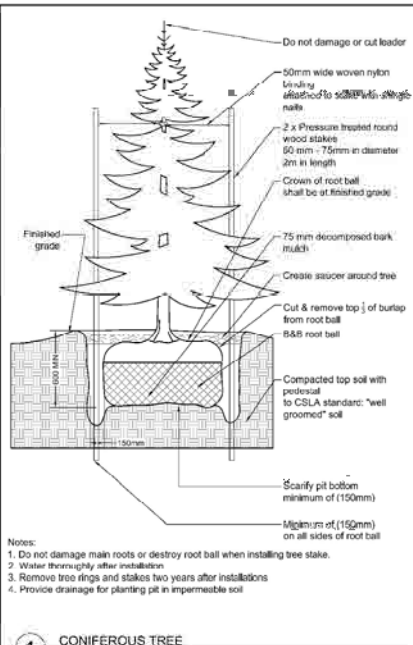
Project:  
 74 AVENUE TOWNHOMES

Location:  
 16589 74 AVENUE  
 SURREY, B.C.

Drawn: SS  
 Checked: SS  
 Approved: MVLAC  
 Scale: AS SHOWN

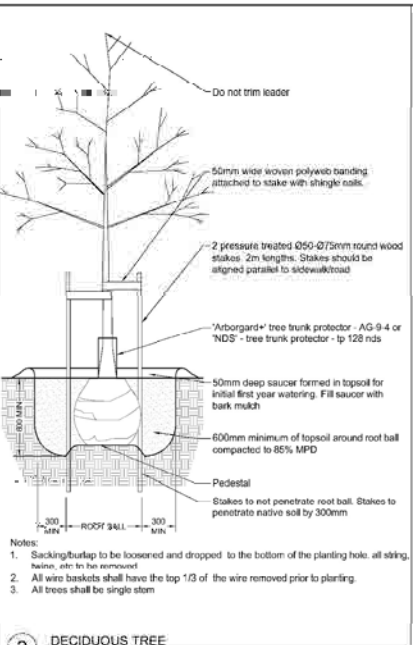
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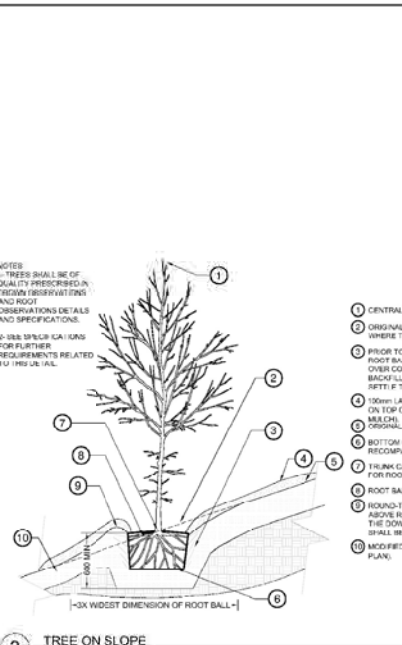
- Notes:  
 1. Do not damage main roots or destroy root ball when installing tree stake.  
 2. Water thoroughly after installation.  
 3. Remove tree rings and stakes two years after installation.  
 4. Provide drainage for planting pit in impermeable soil.

1 CONIFEROUS TREE  
 Scale: 1:25



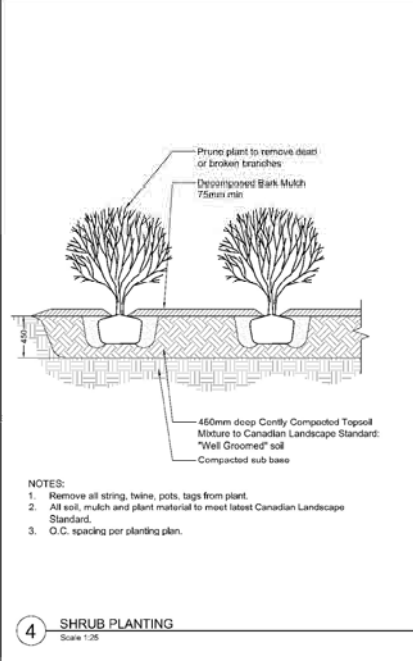
- Notes:  
 1. Sacking/burlap to be loosened and dropped to the bottom of the planting hole. All string, twine, etc. to be removed.  
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.  
 3. All trees shall be single stem.

2 DECIDUOUS TREE  
 Scale: 1:25



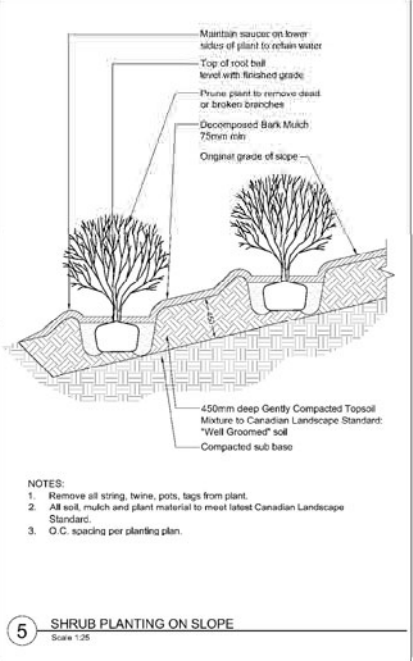
- NOTES:  
 1. TREES SHALL BE OF QUALITY PRESCRIBED IN FRESH OBSERVATIONS AND ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS.  
 2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO TREE INSTALLATION.

3 TREE ON SLOPE  
 Scale: 1:25



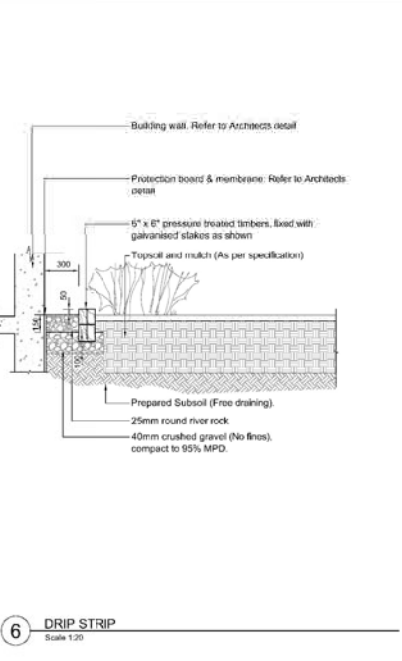
- NOTES:  
 1. Remove all string, twine, pots, tags from plant.  
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.  
 3. O.C. spacing per planting plan.

4 SHRUB PLANTING  
 Scale: 1:25

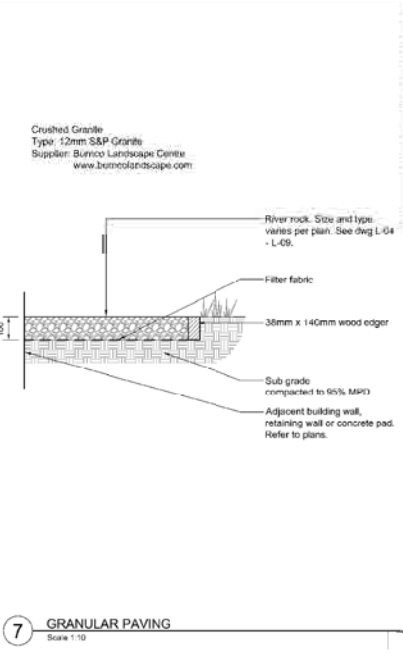


- NOTES:  
 1. Remove all string, twine, pots, tags from plant.  
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.  
 3. O.C. spacing per planting plan.

5 SHRUB PLANTING ON SLOPE  
 Scale: 1:25



6 DRIP TRIP  
 Scale: 1:25



7 GRANULAR PAVING  
 Scale: 1:10

No.	By	Description	Date
1	AD	Issued for GP Requisition	Jan. 11, 2020
2	YJM	Issued for GP Requisition	Dec. 02, 2020
3	KSA	Issued for GP Requisition	Aug. 20, 2024
4	YJM	Issued by GP Requisition	July 19, 2024
5	KSA	Issued by GP Requisition	May 16, 2024
6	KSA	Issued by GP Requisition	Feb. 16, 2024
7	KSA	Issued for GP Requisition	Dec. 8, 2023
8	AD	Issued for GP Requisition	May 1, 2023
9	AD	Revised	May 1, 2023

REVISIONS TABLE FOR DRAWINGS

\* Any drawing revision, including any change in the project or VDC-14, may only be distributed to other project parties without approval.

No.	By	Description	Date
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REVISIONS TABLE FOR SHEET

Project: 74 AVENUE TOWNHOMES

Location: 18599 74 AVENUE SURREY, B.C.

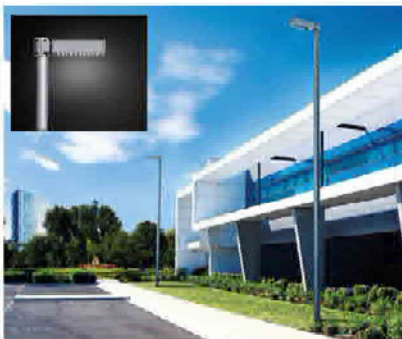
Drawn: AD	Stamp:
Checked: AD	
Approved: MV/LAC	
Scale: AS SHOWN	Original Sheet Size: 24" x 36"



**BOLLARD LIGHT**  
 Name: Mini Blinker bollard  
 Model: S6006 (120x120x800 mm high)  
 Finish: Aluminium Dark Gray  
 Mount: Fasten to ground  
 Manufacturer: Systemax

Note: Final light fixture selection to be coordinated with Electrical.

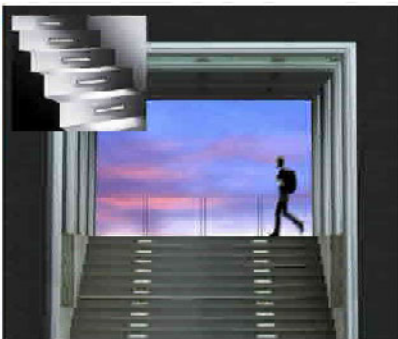
**1 BOLLARD LIGHT**  
 Scale: 1/10



**POLE LIGHT**  
 Name: Park Pole Luminaires  
 Finish: Aluminium Dark Gray  
 Height: 5000mm  
 Manufacturer: Systemax

Note: Final light fixture selection to be coordinated with Electrical.

**2 POST LIGHT**  
 Scale: 1/10



**STEP LIGHT**  
 Type: Marker wall recessed light  
 Finish: Aluminium Dark Gray  
 Manufacturer: Systemax

Note: Final light fixture selection to be coordinated with Electrical.

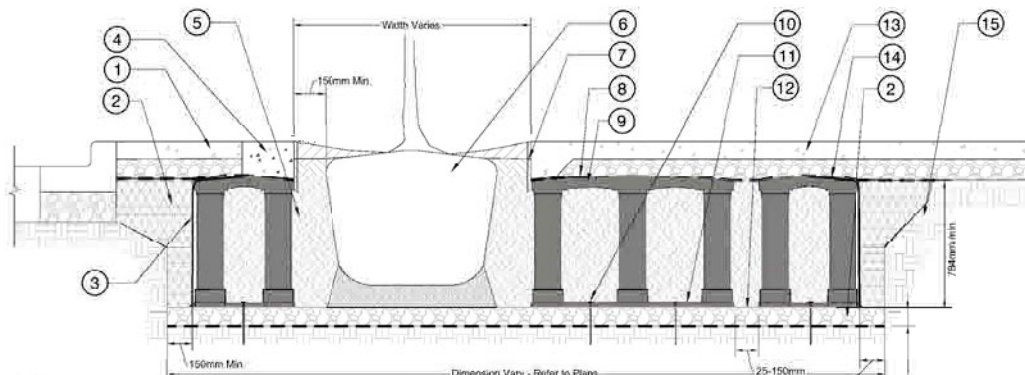
**3 STEP LIGHT**  
 Scale: 1/10



**TREE UPLIGHTER**  
 Name: Placo InOut (40mm dia)  
 Model: E-061  
 Colour: Black  
 Manufacturer: Iguzzini

Note: Final light fixture selection to be coordinated with Electrical.

**4 TREE UPLIGHT**  
 Scale: 1/10



- 1 Adjacent pavement - Refer to site plan and hardscape details
- 2 100mm granular base (19mm minus) compacted to 95% MPD
- 3 Geogrid, wrapped around perimeter of system, with 150mm toe (outward from base) and 300mm excess (over top of deck)
- 4 Ribbon curb at tree opening (to be used with pavers or asphalt)
- 5 Planting soil below root ball. Compacted well to prevent settling.
- 6 Install tree as per Tree Planting - Deciduous Tree detail
- 7 Install approved root barrier system - 'Deeproot' model UB 18-2; 'Vespro' model RS-18; or 'NDS' model
- 8 Geotextile fabric to edge of excavation
- 9 Silva Cell (deck, base, and posts)
- 10 Anchoring spikes
- 11 Silva cell base slope 10% Max.
- 12 25 to 150 mm spacing between Silva Cell bases
- 13 Adjacent surface - Refer to plans
- 14 Cable tie, attaching geogrid to Silva Cell at base of upper log flare, as needed.
- 15 Silva cell depth based on model and number of stacked units. Refer to plans for layout and depth.

**5 SILVA CELLS**  
 Scale: 1:20

No.	By	Description	Date
6	KM	Issued for O/P Requisition	Jan. 11, 2022
7	JM	Issued for O/P Requisition	Dec. 02, 2021
8	KM	Issued for O/P Requisition	Aug. 20, 2021
9	JM	Issued for O/P Requisition	July 19, 2021
4	NA	Issued for O/P Requisition	May 15, 2019
3	KM	Issued for O/P Requisition	Feb. 11, 2018
2	KM	Issued for O/P Requisition	Dec. 8, 2017
1	AD	Issued for O/P Requisition	Mar. 1, 2017

**REVISIONS TABLE FOR DRAWINGS**  
 \*Geogrid covered. The quantity and size of the supply of geogrid may vary for the amount used in other sheets without comment.

No.	By	Description	Date

**REVISIONS TABLE FOR SHEET**

No.	By	Description	Date

Project:  
**74 AVENUE TOWNHOMES**

Location:  
**18599 74 AVENUE  
 SURREY, B.C.**

Drawn: SS	Stamp:
Checked: KM	
Approved: MVLAC	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND INDICATE ON THE DRAWINGS AND SPECIFICATIONS AND THE RESPECTIVE PROPERTY OF THE OWNER AND/OR BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND QUANTITIES SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR OBTAINING ANY PERMITS OR APPROVALS.



## INTER-OFFICE MEMO

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TO: **Director, Development Planning, Planning and Development Department**

FROM: **Director, Land Development, Engineering Department**

DATE: **February 18, 2025**

PROJECT FILE: **7823-0139-00**

---

RE: **Engineering Requirements**  
**Location: 18599 74 Ave**

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 1.942m along 74 Ave.
- Dedicate 10m along 75 Ave.
- Register 0.5m SRW along all development frontages.

#### *Works and Services*

- Construct north side of 74 Ave.
- Construct south side of 75 Ave.
- Construct new water main along 75 Ave.
- Provide adequately sized storm, sanitary and water service connection to each lot.
- Register RC for on-site sustainable drainage features.

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/  
 Development Variance Permit.

### NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

Jeff Pang, P.Eng.  
 Director, Land Development

DYC

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**  
Date: **July 30, 2024**  
Report For: **City of Surrey**

**Development Impact Analysis on Schools For:**

Application #: **23-0139**

The proposed development of **152** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

<b>School-aged children population projection</b>	136
---	-----

<b>Projected Number of Students From This Development In:</b>	
Elementary School =	73
Secondary School =	40
<b>Total Students =</b>	<b>113</b>

<b>Current Enrolment and Capacities:</b>	
<b>Regent Road Elementary</b>	
Enrolment	335
Operating Capacity	612
# of Portables	0
<b>Ecole Salish Secondary</b>	
Enrolment	1473
Operating Capacity	1500
# of Portables	0

**Summary of Impact and Commentary**

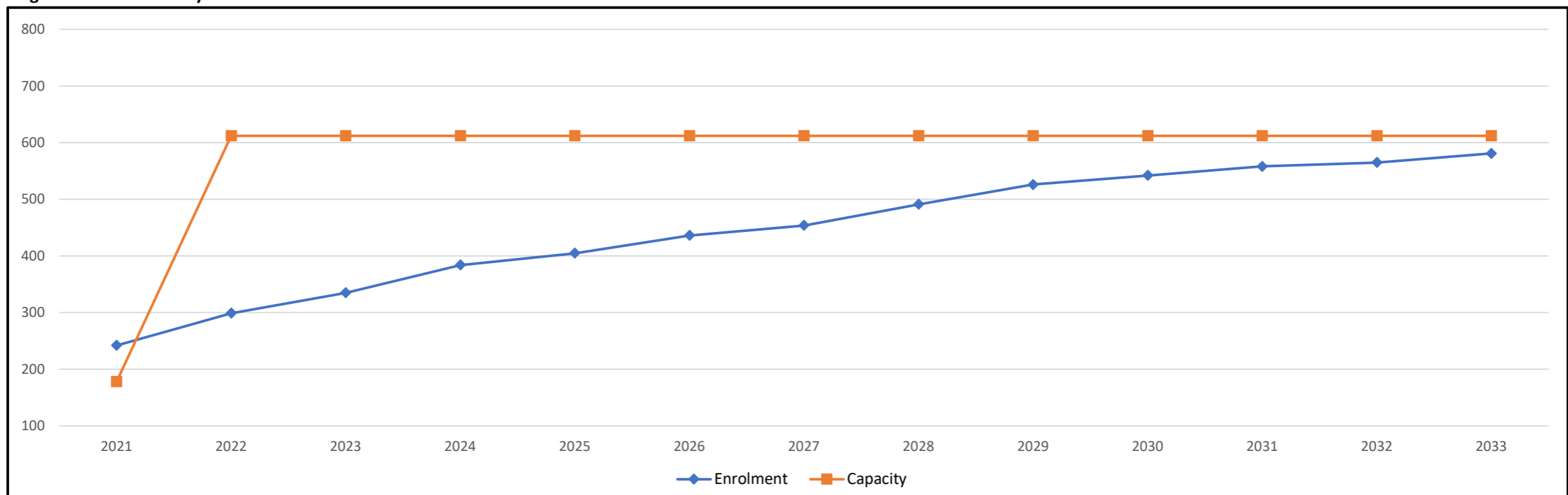
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, Regent Road is at 55% capacity. Currently, both Regent Road and Maddaugh Elementary that opened in the beginning of 2021 can handle student population growth over the coming years.

The enrolment projections will need to be updated with the coming changes to the Clayton Corridor plan and the Provincial legislation. Future schools will be required to accommodate build out of the area.

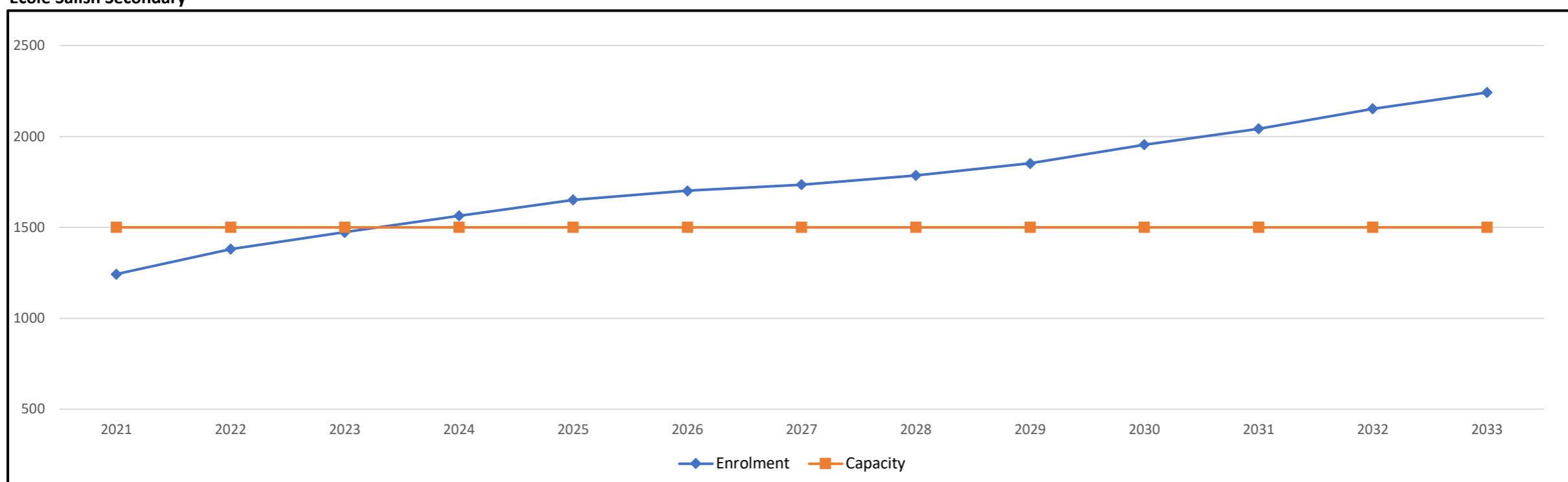
As of September 2023, E'cole Salish is at 99% capacity. This school was built to relieve enrolment pressure at both Lord Tweedsmuir and Clayton Heights Secondary. Salish is projected to continue to grow because of the strong in-migration of new secondary students moving into the community. The growth trend will surpass capacity in 2024; the enrolment will continue to grow in this school well beyond 2024.

**Regent Road Elementary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Ecole Salish Secondary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Population** : The projected population of children aged 0-17 impacted by the development.  
**Enrolment**: The number of students projected to attend the Surrey School District ONLY.

## 4.0 Tree Preservation Summary

Surrey File Number:

Date of Report/Revision:

November 20, 2024

Address: 18599 74 Ave

Arborist Signature



Arborist: Morgan Sullivan

\*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

<u>ON-SITE TREES</u>				Number of Trees
Existing Bylaw Trees				<u>170</u>
Proposed Removed Bylaw Trees				<u>169</u>
Proposed Retained Bylaw Trees				<u>1</u>
<b>Total Replacement Trees Required</b>				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
	Removed			Subtotal
	107	x 1		107
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
	Removed			Subtotal
	0	x 2		0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
	Removed			Subtotal
	62	x 2		124
Required Replacement Trees				<u>231</u>
Proposed Replacement Trees				<u>213</u>
Deficit of Replacement Trees				<u>18</u>
<b>Total Onsite Retained and Replacement Trees</b>				<u>219</u>

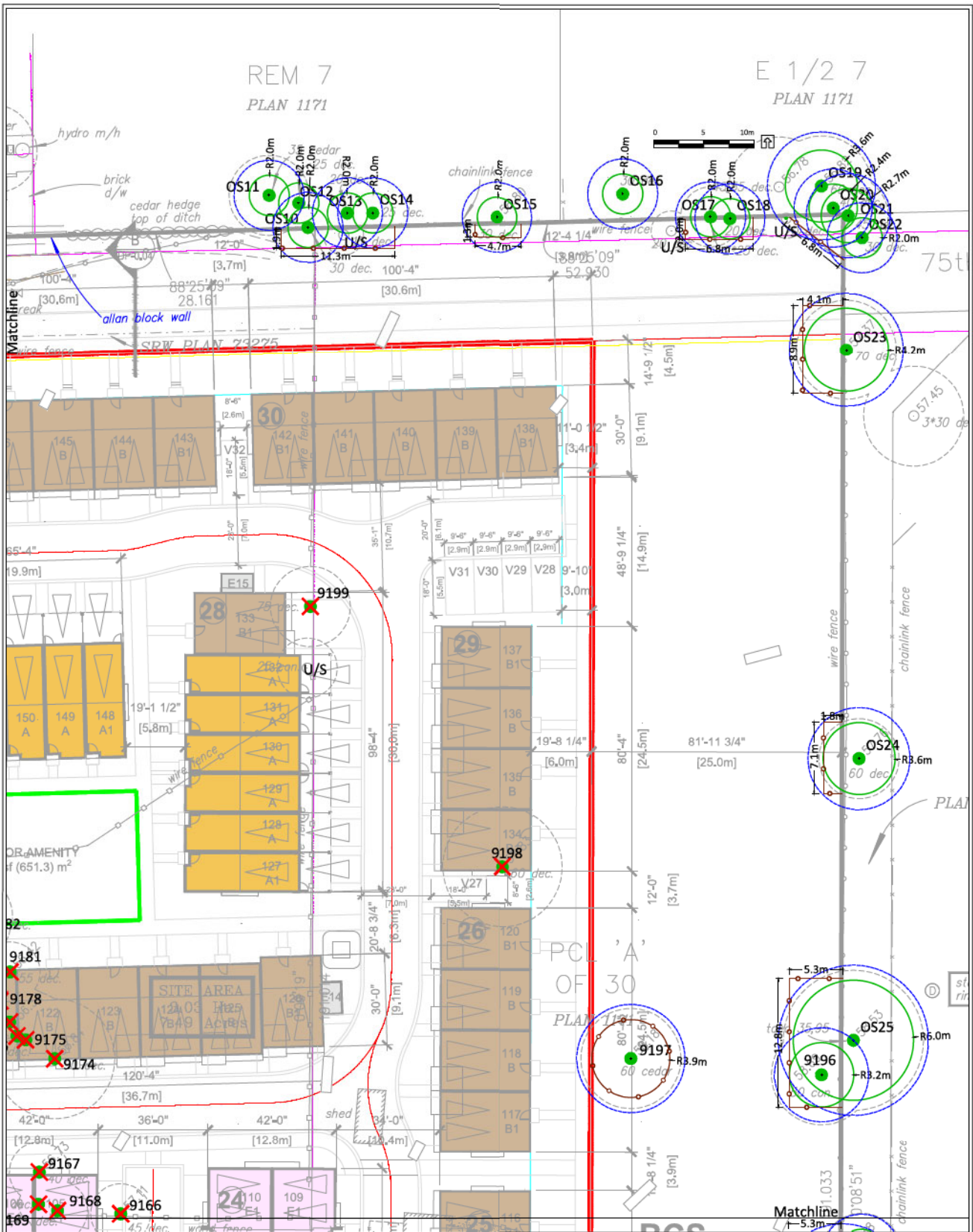
<u>OFF-SITE TREES</u>				Number of Trees
Existing Bylaw Trees				<u>27</u>
Proposed Removed Bylaw Trees				<u>0</u>
Proposed Retained Bylaw Trees				<u>27</u>
<b>Total Replacement Trees Required</b>				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
	Removed			Subtotal
	0	x 1		0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
	Removed			Subtotal
	0	x 2		0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
	Removed			Subtotal
	0	x 2		0
Required Replacement Trees (To be taken as cash-in-lieu)				<u>0</u>
<b>Total Off-site Retained Trees</b>				<u>0</u>

<u>CITY TREES</u>	<u>Existing</u>	<u>Removed</u>	<u>Retained</u>
Park/City Lot Trees	20	9	11
Boulevard Trees	0	0	0
<b>Total</b>	<b>20</b>	<b>9</b>	<b>11</b>



REM 7  
PLAN 1171

E 1/2 7  
PLAN 1171



LEGEND	
	CRITICAL ROOT ZONE
	NO BUILD ZONE
	TREE PROTECTION ZONE AND FENCING
	SURVEYED TREE TO BE RETAINED
	UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)
	TREE TO BE REMOVED

- REFERENCE DRAWINGS
1. Base Survey by: Ouderwater Land Surveying  
Dated August 17, 2023

- NOTES
1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
  2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
  3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
  4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
  5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
  6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
  7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
  8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

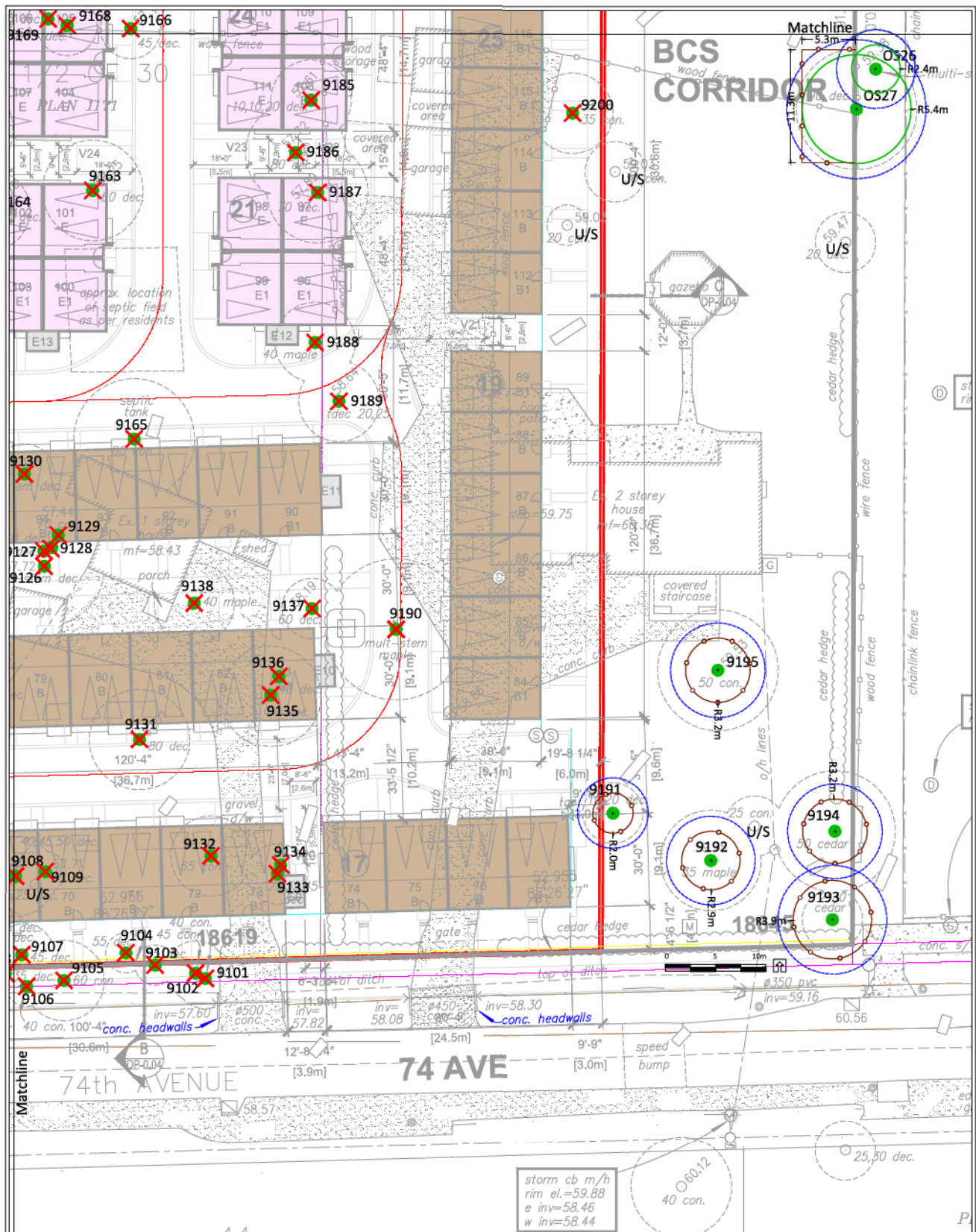


3559 COMMERCIAL STREET  
VANCOUVER BC V5N 4E8  
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Management Plan, Northeast  
Project address: 18599 74th Ave, Surrey  
Client: Wesmont Homes

Drawing No: 001  
Date: 2024/11/20  
Drawn by: CL/MS  
Page Size: TABLOID 11"x17"

Page #  
4 of 5



LEGEND		REFERENCE DRAWINGS	
	CRITICAL ROOT ZONE		UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)
	NO BUILD ZONE		TREE TO BE REMOVED
	TREE PROTECTION ZONE AND FENCING		SURVEYED TREE TO BE RETAINED

- NOTES**
- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
  - All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
  - The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
  - No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
  - The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
  - Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
  - This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
  - This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

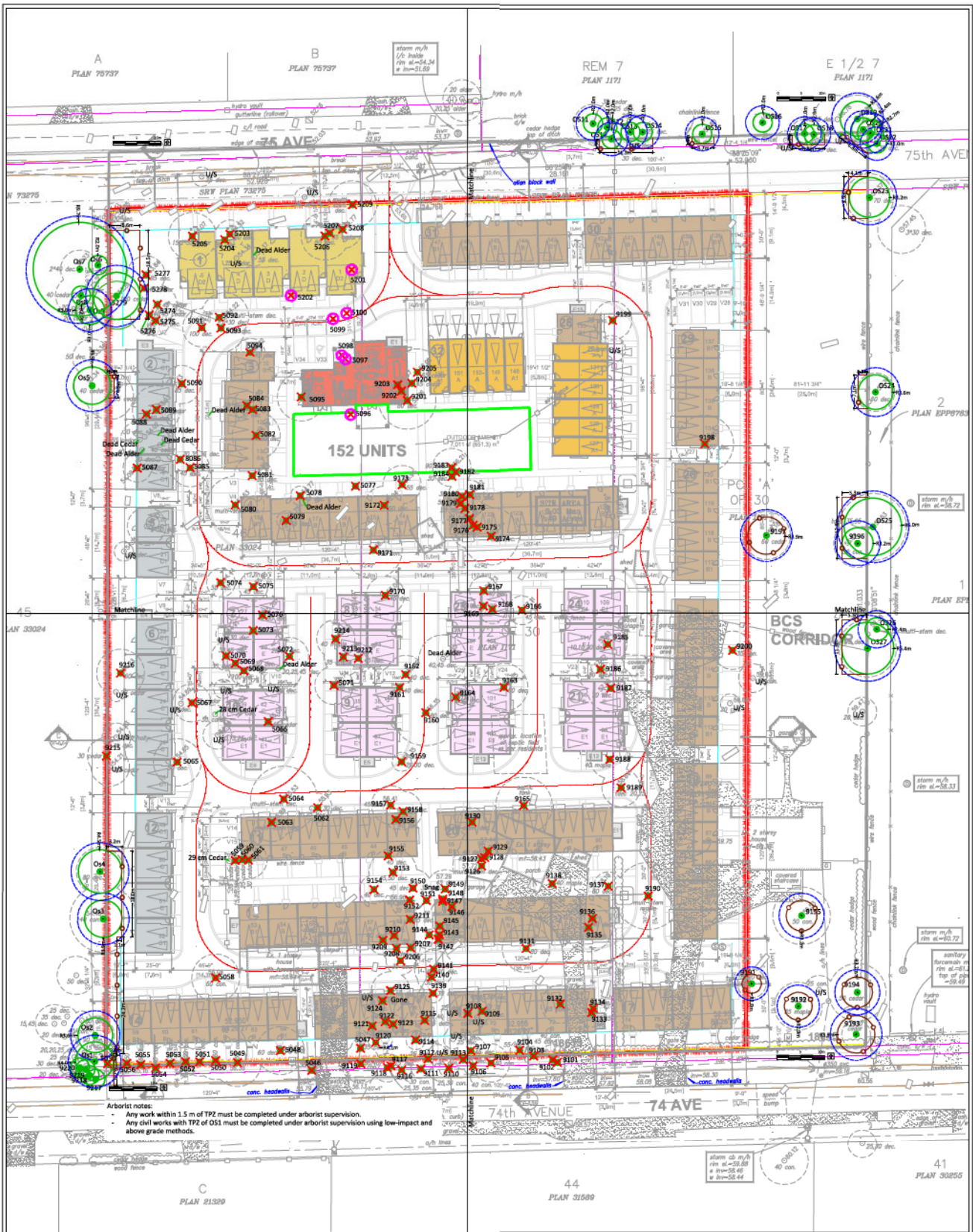


3559 COMMERCIAL STREET  
VANCOUVER BC | V5N 4E8  
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Management Plan, Southeast  
Project address: 18599 74th Ave, Surrey  
Client: Wesmont Homes

Drawing No: 001  
Date: 2024/11/20  
Drawn by: CL/MS  
Page Size: TABLOID 11"x17"

Page #  
5 of 5



Arborist notes:  
 - Any work within 1.5 m of TPZ must be completed under arborist supervision.  
 - Any civil works with TPZ of OS1 must be completed under arborist supervision using low-impact and above grade methods.

LEGEND	
	CRITICAL ROOT ZONE
	TREE PROTECTION ZONE AND FENCING
	NO BUILD ZONE
	SURVEYED TREE TO BE RETAINED
	UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)
	TREE TO BE REMOVED

REFERENCE DRAWINGS	
1.	Base Survey by: Ouderwater Land Surveying Dated August 17, 2023

- NOTES**
- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
  - All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
  - The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
  - No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
  - The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
  - Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
  - This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
  - This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

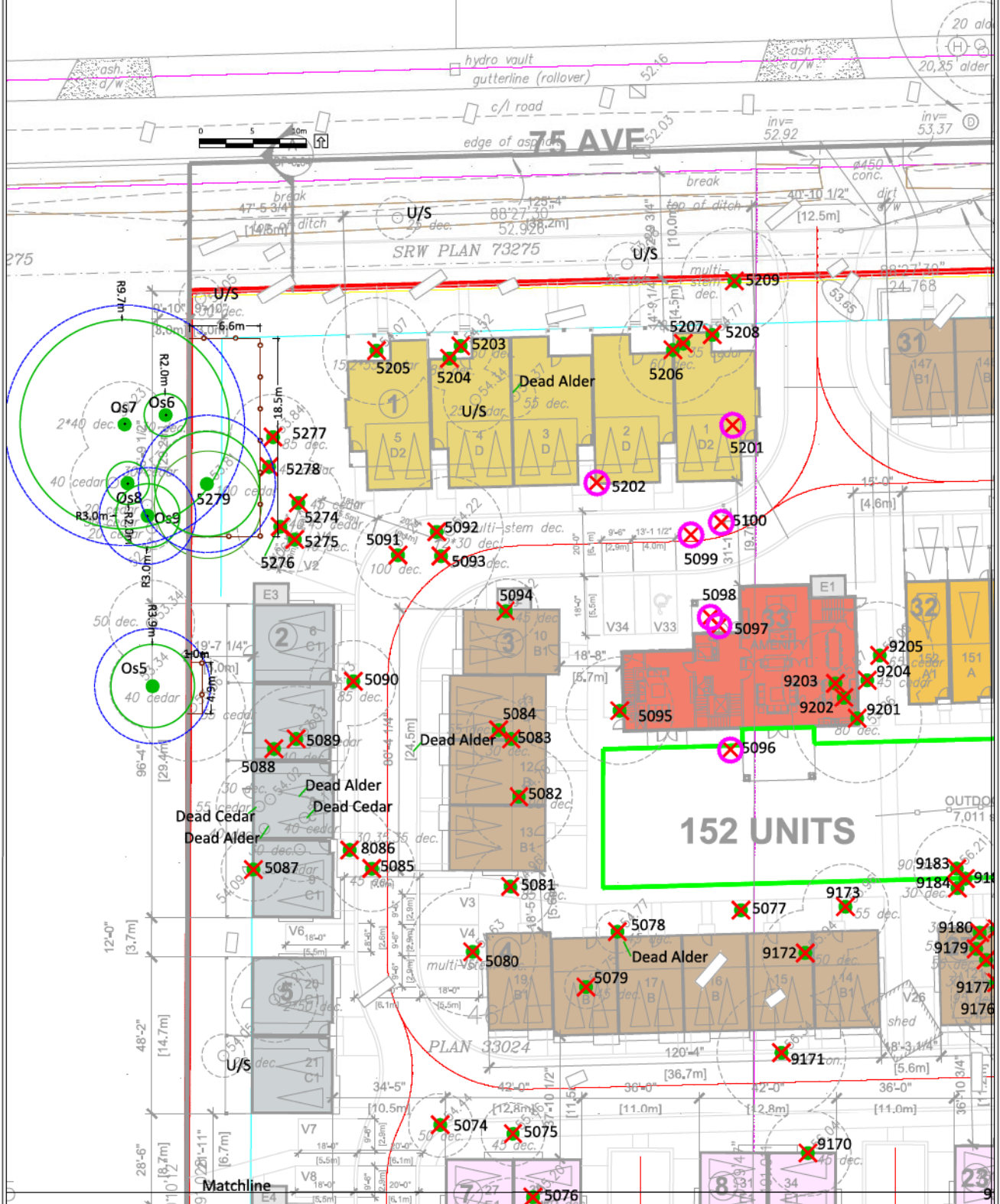


3559 COMMERCIAL STREET  
 VANCOUVER BC | V6N 4E8  
 T 604.733.4886 | F 604.733.4879

Drawing title: Tree Management Plan  
 Project address: 18599 74th Ave, Surrey  
 Client: Wesmont Homes

Drawing No: 001  
 Date: 2024/11/20  
 Drawn by: CL/MS  
 Page Size: TABLOID 11"x17"

Page #  
 1 of 5



- LEGEND**
- CRITICAL ROOT ZONE
  - NO BUILD ZONE
  - TREE PROTECTION ZONE AND FENCING
  - SURVEYED TREE TO BE RETAINED
  - UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)
  - ✗ TREE TO BE REMOVED

- REFERENCE DRAWINGS**
1. Base Survey by: Underwater Land Surveying  
Dated August 17, 2023

- NOTES**
1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
  2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
  3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the

4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.

6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

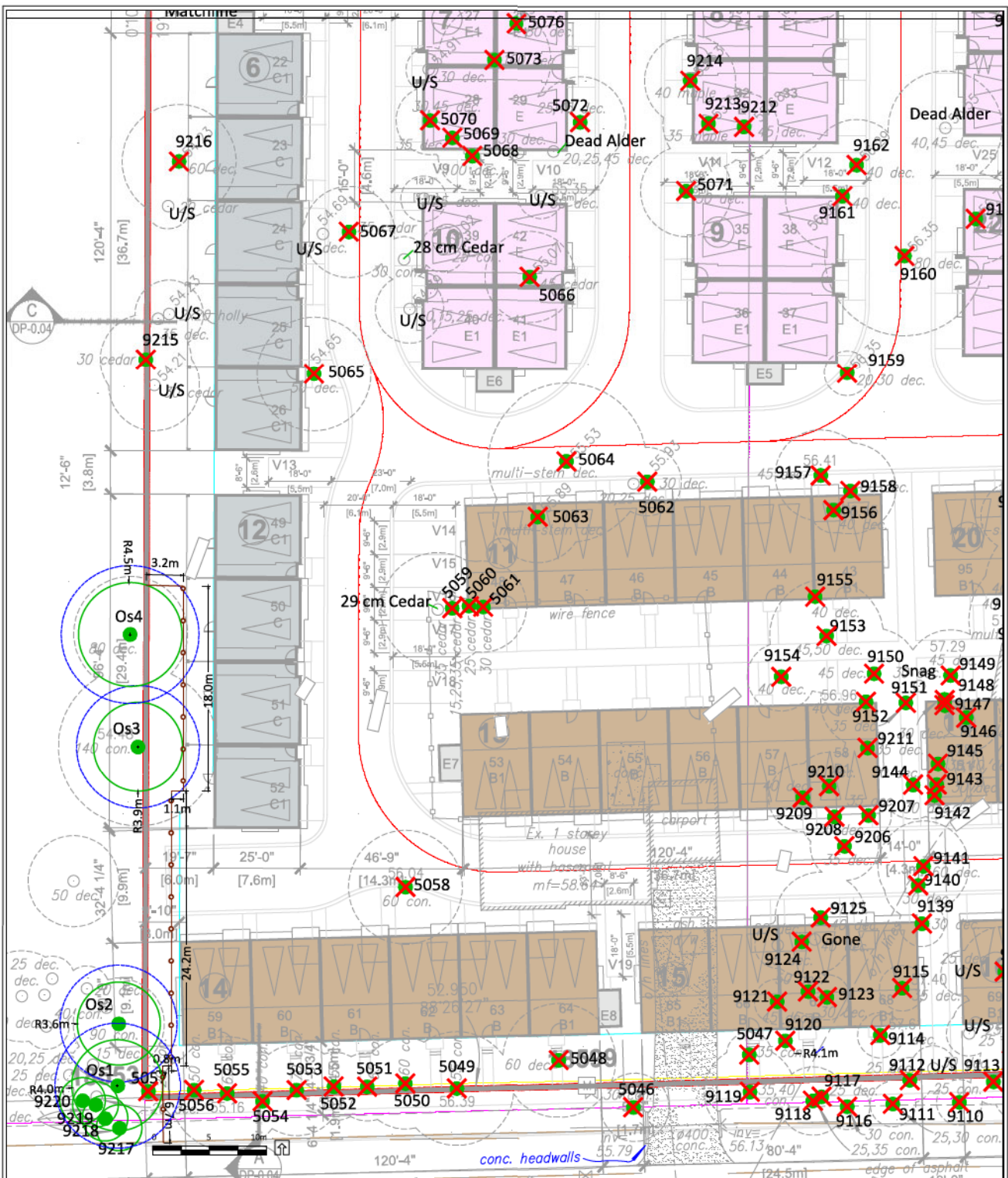


3559 COMMERCIAL STREET  
VANCOUVER BC | V5N 4E8  
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Management Plan, Northwest  
Project address: 18599 74th Ave, Surrey  
Client: Wesmont Homes

Drawing No: 001  
Date: 2024/11/20  
Drawn by: CL/MS  
Page Size: TABLOID 11"x17"

Page #  
3 of 5



**Arborist notes:**

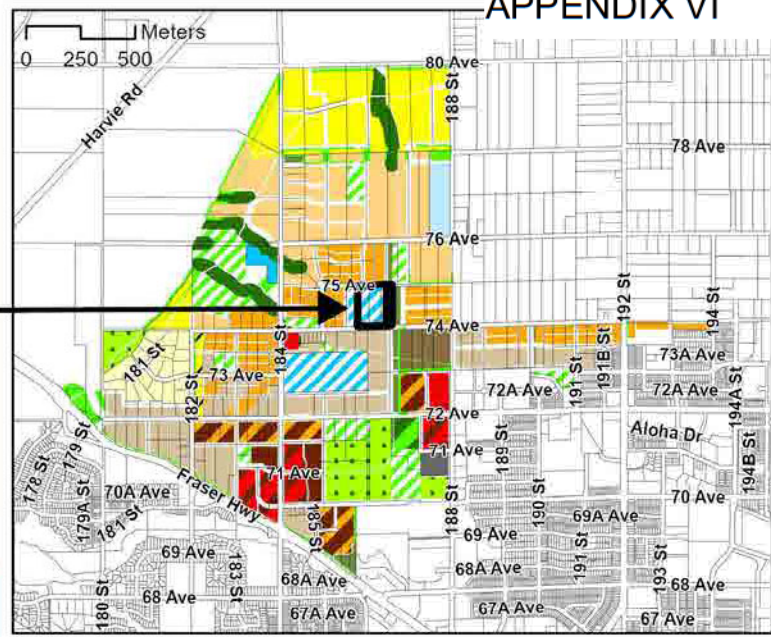
- Any work within 1.5 m of TPZ must be completed under arborist supervision.
- Any civil works with TPZ of OS1 must be completed under arborist supervision using low-impact and above grade methods.

<b>LEGEND</b>	<ul style="list-style-type: none"> <li>CRITICAL ROOT ZONE</li> <li>TREE PROTECTION ZONE AND FENCING</li> <li>NO BUILD ZONE</li> <li>SURVEYED TREE TO BE RETAINED</li> <li>UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)</li> <li>TREE TO BE REMOVED</li> </ul>	<b>REFERENCE DRAWINGS</b>
		<ol style="list-style-type: none"> <li>Base Survey by: Onderwater Land Surveying Dated August 17, 2023</li> </ol>

<b>NOTES</b>	<ol style="list-style-type: none"> <li>The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.</li> <li>All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.</li> <li>The tree protection zone shown is a graphical representation of the critical root zone, measured from the</li> </ol>	<ol style="list-style-type: none"> <li>outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)</li> <li>No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.</li> <li>The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.</li> </ol>	<ol style="list-style-type: none"> <li>Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.</li> <li>This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).</li> <li>This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.</li> </ol>
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**Block A:** NCP Amendment from "Proposed Elementary School" to "High Density Cluster".

**Block B:** NCP Amendment from "Green Density Transfer" to "Wildlife Corridor".



- West Clayton**
- Suburban Residential (2 UPA)
  - Urban Transition (6 UPA)
  - Low Density Cluster
  - Medium Density Cluster
  - Urban Residential (10+4 UPA Bonus)
  - Townhouse Residential (22+5 UPA Bonus)
  - High Density Cluster
  - Townhouse Residential (22+5 UPA Bonus) Transition
  - Urban/Townhouse Flex
  - Townhouse/Apartment Flex
  - Stacked Townhouse/Apartment
  - Mixed Use Commercial/Residential
  - Neighbourhood Commercial
  - Care Facility (Approved)
  - Green Density Transfer (Forest Preservation/Restoration)
  - Existing Park
  - Landscape Buffer
  - Proposed Park
  - Proposed Public Recreational Facility
  - Existing Elementary School
  - School District Property
  - Proposed Elementary School
  - Future School/Park
  - Creek Buffer Class A and Class AO
  - Day-Lighted Creek Buffer
  - Wildlife Corridor
  - Storm Water Facility (Location, size of stormwater facility are subject to Engineering)
  - 23-0139-00

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0139-00

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 001-343-921

Parcel "A" (G77008e) Of Lot 30 Section 21 Township 8 New Westminster District Plan 1171  
18645 74 Ave

Parcel Identifier: 012-027-791

West Half Lot 30 Section 21 Township 8 New Westminster District Plan 1171  
18619 74 Ave

Parcel Identifier: 006-764-657

Lot 46 Section 21 Township 8 New Westminster District Plan 33024  
18599 74 Ave

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

- 
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
    - (a) to vary Section F.1. "Yards and Setbacks" of Part 22 "Multiple Residential 30 Zone (RM-30)" to reduce the rear yard setback from 6.0 metres to 4.4 metres to the principal building face;
    - (b) to vary Section F.1. "Yards and Setbacks" of Part 22 "Multiple Residential 30 Zone (RM-30)" to reduce the east side yard setback for Buildings 17 and 30 from 6.0 metres to 3.0 metres to the principal building face;
    - (c) to vary Section F.1. "Yards and Setbacks" of Part 22 "Multiple Residential 30 Zone (RM-30)" to reduce the west side yard setback for Building 14 from 6.0 metres to 3.0 metres to the principal building face; and,
    - (d) to vary Section J.4. "Special Regulations – Back-to-Back Ground-Oriented Dwelling Units" of Part 22 "Multiple Residential 30 Zone (RM-30)" to vary the maximum number of back to back townhouse units, from a maximum of 20% of units to 21% units.
  5. This development variance permit applies to only the portion of the Land OR that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
  6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF           , 20 .

ISSUED THIS    DAY OF           , 20 .

---

Mayor – Brenda Locke

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City Clerk and Director Legislative Services  
Jennifer Ficocelli



