

City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7924-0159-01

Planning Report Date: February 24, 2025

PROPOSAL:

• **Development Variance Permit**

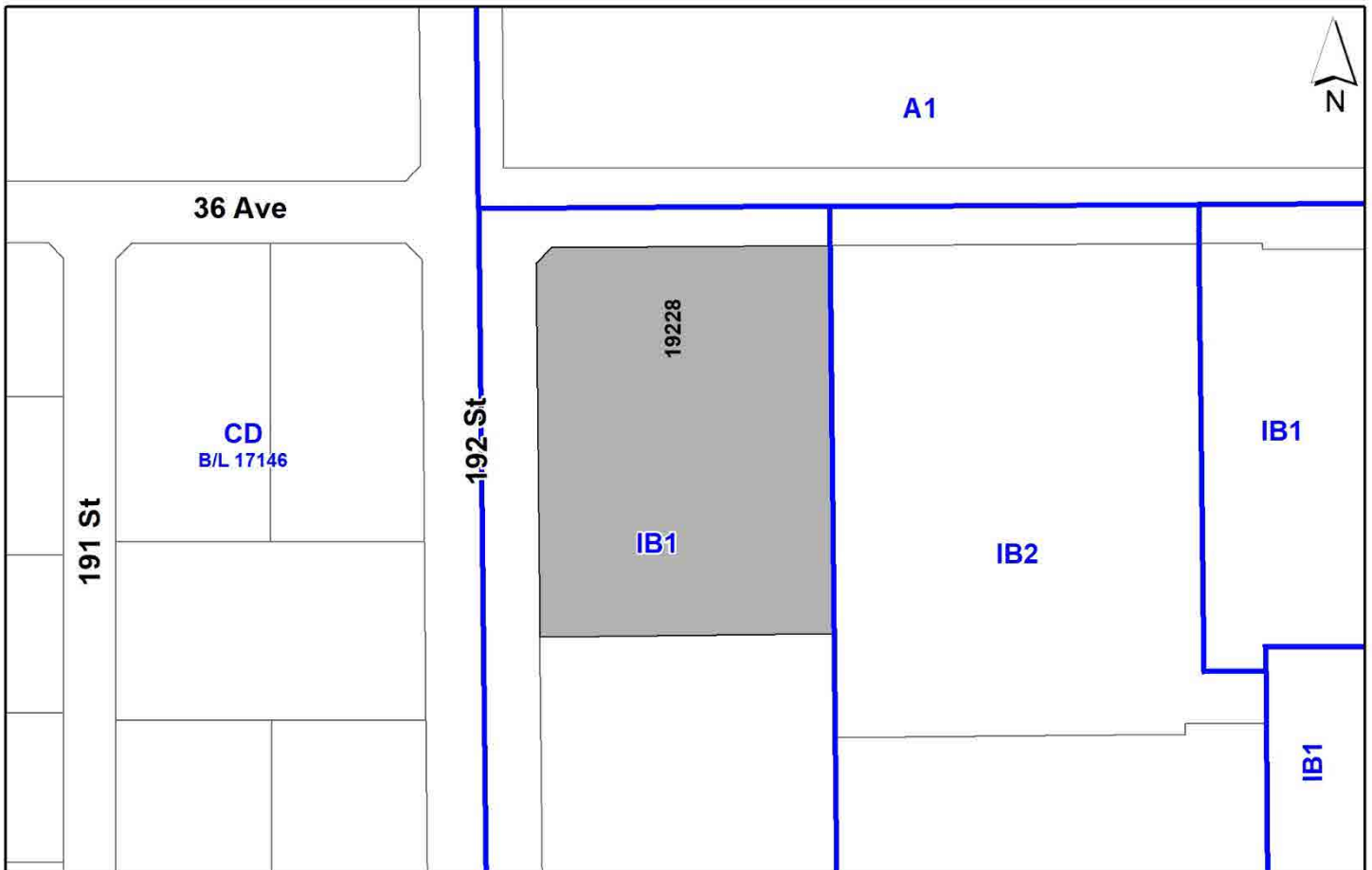
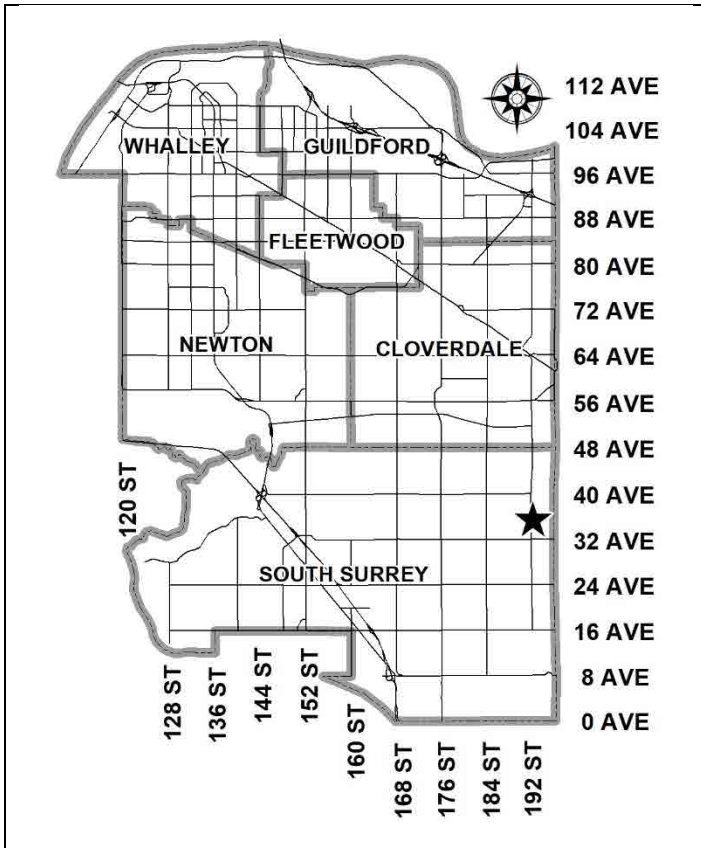
to permit the development of a multi-tenant industrial building with a daycare facility for 260 children.

LOCATION: 19228 – 36 Avenue

ZONING: IB-1

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park, Business Park (Office) and Landscape Strip



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to increase the lot coverage and building height, and to reduce the building setback requirements of the IB-1 Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Park, Business Park (Office) and Landscape Strip designation in the Campbell Heights Local Area Plan (LAP).
- The proposal complies with the Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building setback reduction is adjacent to a proposed drive aisle on the adjacent site and will have no impact on their operation.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposal is comprised of one large multi-tenant building, with two street interfaces and loading along the east setback.
- On November 4, 2024, Council granted approval to draft for the Development Permit for Form and Character, and supported variances on November 18, 2024, to increase lot coverage, increase building height and reduce rear yard setbacks. Adjustments have been made to the drawings, and the building height has been increased to 18 metres, requiring an additional variance, as the original variance request was for 16 metres. Development Variance Permit 7924-0159-00 will be closed, and the applicant will proceed with Development Variance Permit 7924-0159-01, as outlined in this report.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7924-0159-01 (Appendix III) varying the following, to proceed to Public Notification:
 - (a) to increase the maximum lot coverage of the IB-1 Zone from 60% to 64%;
 - (b) to reduce the minimum rear yard (south) setback of the IB-1 Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (c) to increase the maximum building height of the IB-1 Zone allowed from 14 metres to 18 metres for the principal building.
2. The applicant address the following prior to Development Variance Permit No. 7924-0159-01 being considered for issuance:
 - (a) all Conditions of Approval identified in the Planning Report dated November 04, 2024 are to be addressed.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Vacant treed lot	Business Park, Business Park (Office) and Landscape Strip	IB-1
North (Across 36 Avenue):	Farmland	Technology Park/Business Park (Office) and Landscape Strip	A-1
East:	Sumitomo Drive Technology (industrial building)	Business Park and Landscape Strip	IB-2
South:	Vacant treed lot, under Development Application No. 7923-0212-00 for a multi-tenant industrial site.	Business Park, Business Park (Office) and Landscape Strip	IB-1
West (Across 92 Street):	Hayer Business Centre	Business Park and Landscape Strip	CD (By-law Nos. 17146 and 17934)

Context & Background

- The subject property is 1.69 hectares (4.18 acres), designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park", "Business Park (Office)" and "Landscape Strips" in the Campbell Heights Local Area Plan (LAP) and zoned "Business Park 1 Zone (IB-1)". The property is located at the southeast corner of the intersection of 192 Street and 36 Avenue.
- The site was rezoned and subdivided, with a General Development Permit as part of previous Development Applications No. 7907-0326-00 and 7918-0139-00.

- The site is currently vacant and heavily treed. The site is mainly flat with minimal slope.
- On November 4, 2024, Council granted approval to draft for the Development Permit for Form and Character, and supported variances on November 18, 2024, to increase lot coverage, increase building height and reduce rear yard setbacks. Adjustments have been made to the drawings, and the building height has been increased to 18 metres, requiring another variance, as the original variance request was for 16 metres. Development Variance Permit 7924-0159-00 will be closed, and the applicant will proceed with Development Variance Permit 7924-0159-01, as outlined in this report.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to develop a multi-tenant industrial building with a daycare facility, under the existing "Business Park 1 Zone (IB-1)". The proposal includes 10,689 square metres of industrial facility, with a 3,352 square metres of daycare. The total Floor Area Ratio (FAR) is 0.83, with 63.22% lot coverage.
- The daycare is proposed on the second and third floors of the corner unit, with the outdoor play space on the rooftop. The capacity of the daycare is 260 children. The outdoor play area can accommodate 130 children at a time, with a total space of 882 square metres of outdoor play area. There is no operator yet, so once an operator is selected, they will propose a Tenant Improvement and will provide the details of the programming.
- For parking calculation purposes, the applicant has assumed 4 classes of 25 children (3-5 years old), 4 classes of 16 (3-5 years old), 4 classes of 12 (1-3 years old) and 4 classes of 12 (0-1 year old). This would require 46 staff, which is the number used for the parking calculation.
- No road dedication is required, and the site is proposed to be accessed from 36 Avenue.

	Proposed
Lot Area	
Gross/Net Site Area:	16,901.16 square metres (4.18 acres)
Number of Lots:	1
Building Height:	15.85 metres
Floor Area Ratio (FAR):	0.83
Floor Area	
Commercial:	3,352 square metres
Industrial:	10,689 square metres
Total:	14,042 square metres

Referrals

Engineering: The Engineering Department has no objection to the proposed variance.

Parks, Recreation & Culture: Latimer Park is the closest active park with amenities, including dog off-leash area, trails, and natural areas. It is 1,455 metres walking distance from the development.

Surrey Fire Department: No concerns.

Transportation Considerations

- The application required no road dedication. Access is proposed from 36 Avenue to the north, with a small parking lot at grade, some tandem employee parking between loading bays, and the majority of the parking as a roof top parking lot accessed by a ramp.
- The proposed truck loading bays are located on the eastern portion of the site, and are screened from 192 Street by the building, and from 36 Avenue by the parking ramp behind the surface parking.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Secondary Plans

Land Use Designation

- The proposal complies with the Business Park, Business Park (Office) and Landscape Strip designation in the Campbell Heights Local Areas Plan (LAP).

Zoning By-law

- The applicant proposes to develop the site under the existing "Business Park 1 Zone (IB-1)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 1 Zone (IB-1)" and parking requirements.

IB-1 Zone (Part 47A)	Permitted and/or Required	Proposed
Floor Area Ratio:	1.0	0.83
Lot Coverage:	60%	64% (DVP)
Yards and Setbacks		
North:	7.5 metres	7.5 metres
East:	3.6 metres	22 metres
South:	7.5 metres	0.0 metres (DVP)
West:	7.5 metres	7.5 metres
Height of Buildings		
Principal buildings:	14 metres	17.68 metres (DVP)
Accessory buildings:	6 metres	n/a
Parking (Part 5)		
Required		
Proposed		
Number of Stalls		
Commercial:	62	62
Industrial:	107	105
Total:	205	203 (no variance required, alternate hours of operation)

Setback/Height/Lot Coverage Variances

- The applicant is requesting the following variances:
 - (a) to increase the maximum lot coverage of the IB-1 Zone from 60% to 64%
 - (b) to reduce the minimum rear yard (south) setback of the IB-1 Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (c) to increase the maximum building height of the IB-1 Zone allowed from 14 metres to 18 metres.
- The proposal includes rooftop parking, and a denser utilization of the site. Staff support densification of mixed employment lands, and the proposed increase in lot coverage from 60% to 64%.
- The proposed rear yard setback variance has no interface impact on adjacent use (future industrial), and allows for more efficient use of employment land.
- The increased building height supports the access to the roof top parking and the elevator access. This also allows access to the rooftop daycare outdoor play area, as well as two floor of daycare facility. The proposed height increase from 14 metre to 18 metres is supported by staff.
- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- Development Proposal Signs were installed on October 16, 2024. Staff received no responses.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- No significant changes have been made to the proposed Development Permit, other than the building height and some enhancements to landscaping and staff amenity space.
- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The general site design consists of one large multi-tenant industrial building, with a daycare facility. Landscaping is described in the report section below.
- The longitudinal length of the building along 192 Street softened by the corner feature where three-storey offices are proposed, and the building height is increased with expansive use of spandrel glass. There are also details in green to break up the large grey scale of the building.
- Signage is proposed for each individual unit, as well as one free-standing sign with the complex name and address is proposed adjacent to the driveway on 36 Avenue.

Landscaping

- The proposed landscaping consists of 7.5 metre wide landscape buffers along 192 Street and a 7.5 metre landscape buffer along 36 Ave fronting the building, and 6.0 metre wide landscape buffer along 36 Avenue, fronting the surface parking.
- A publicly accessible plaza with seating is proposed at the northwest corner of the site.
- Rooftop parking is proposed with additional landscaping along the western edge, facing 192 Street, as well as along the walkways within the parking area. A reduction from typical surface parking landscape was allowed on the rooftop, in consideration of the additional soil and landscaping would add to the roof.
- When a childcare facility operator is selected, detailed design of the rooftop outdoor play area will be provided.

Outstanding Items

- All design comments have been addressed by the applicant.

TREES

- Alexander Groenewold, ISA Certified Arborist of KM Civil Urban Forestry prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix III):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood	12	12	0
Deciduous Trees	5	5	0
Coniferous Trees	308	308	0
Onsite Tree Totals	325	325	0
Onsite Replacement Trees Proposed	54		
Total Onsite Retained and Replacement Trees	54		

- The Arborist Assessment states that there are a total of 325 bylaw protected trees on the site. Additionally, there are 5 bylaw protected offsite trees and 72 bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain all 77 offsite trees, and remove all 325 trees onsite. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 638 replacement trees on the site. Since only 54 replacement trees can be accommodated on the site, the proposed deficit of 584 replacement trees will require an estimated cash-in-lieu payment of \$172,425, to the Green City Program, in accordance with the City’s Tree Protection By-law, based on a maximum payment of \$41,250 per gross acre.
- The new trees on the site will consist of a variety of trees including Sun Valley Red Maple, Japanese Zelkova, Sourwood, Japanese Emperor Maple, Pink Lobner Magnolia, Serbian Spruce and a variety of shrubs and grasses.
- In summary, a total of 54 trees are proposed to be retained or replaced on the site with an estimated contribution of \$172,425 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix III. Development Variance Permit No. 7924-0159-01
- Appendix IV. Initial Planning Report No. 7924-0159-00, dated November 04, 2024

approved by Shawn Low

Ron Gill
General Manager
Planning and Development

LFM/cb



POLLYCO GROUP - CAMPBELL HEIGHTS

19228 - 36 AVENUE, SURREY, BC



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SHEET LIST

ARCHITECTURE
 A0 COVER
 A1 PERISPECTIVES
 A2 PERISPECTIVES
 A3 RENDERINGS
 A4 RENDERINGS
 A5 RENDERINGS
 A6 RENDERINGS
 A7 RENDERINGS
 A8 SITE PLAN
 A11 SITE DETAILS
 A12 SITE PLAN - BASE
 A13 CONTEXT PLAN
 A14 MAIN FLOOR
 A15 SECOND FLOOR
 A16 THIRD & FOURTH FLOORS
 A17 ROOF PLAN
 A18 BUILDING ELEVATIONS
 A19 BUILDING ELEVATIONS
 A20 BUILDING SECTIONS
 A21 BUILDING SECTIONS

C1 COVER SHEET
 C2 SITE GRADING PLAN
 C3 STORM WATER FLOW DRAINAGE PLAN
 C4 WRITING PLAN & DETAILS
 C5 HOTEL LOGGERS & DETAILS

LANDSCAPE
 L0 COVER SHEET
 L1 OVERALL LANDSCAPE PLAN
 L1.1 ENLARGEMENTS
 L1.2 ENLARGEMENTS
 L1.3 ENLARGEMENTS
 L2 DETAILS
 L2.1 DETAILS

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3	2024.05.05	RE	ISSUED FOR DEVELOP. PREPARE
4	2024.05.05	RE	ISSUED FOR DEVELOP. PREPARE
5	2024.05.05	RE	ISSUED FOR DEVELOP. PREPARE
6	2024.05.19	RE	ISSUED FOR PERMITS
7	2024.05.21	RE	ISSUED FOR DEVELOP. PREPARE

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
**19228 - 36 AVENUE
SURREY, BC V8S 0L5**

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COVER

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NORTHWEST AERIAL PERSPECTIVE



NORTHEAST AERIAL PERSPECTIVE



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3	2024.03.02	FE	ISSUED FOR DEVELOP. PERMIT
2	2024.06.19	SB	ISSUED FOR REVIEW
1	2024.05.14	SB	ISSUED FOR DEVELOP. PERMIT

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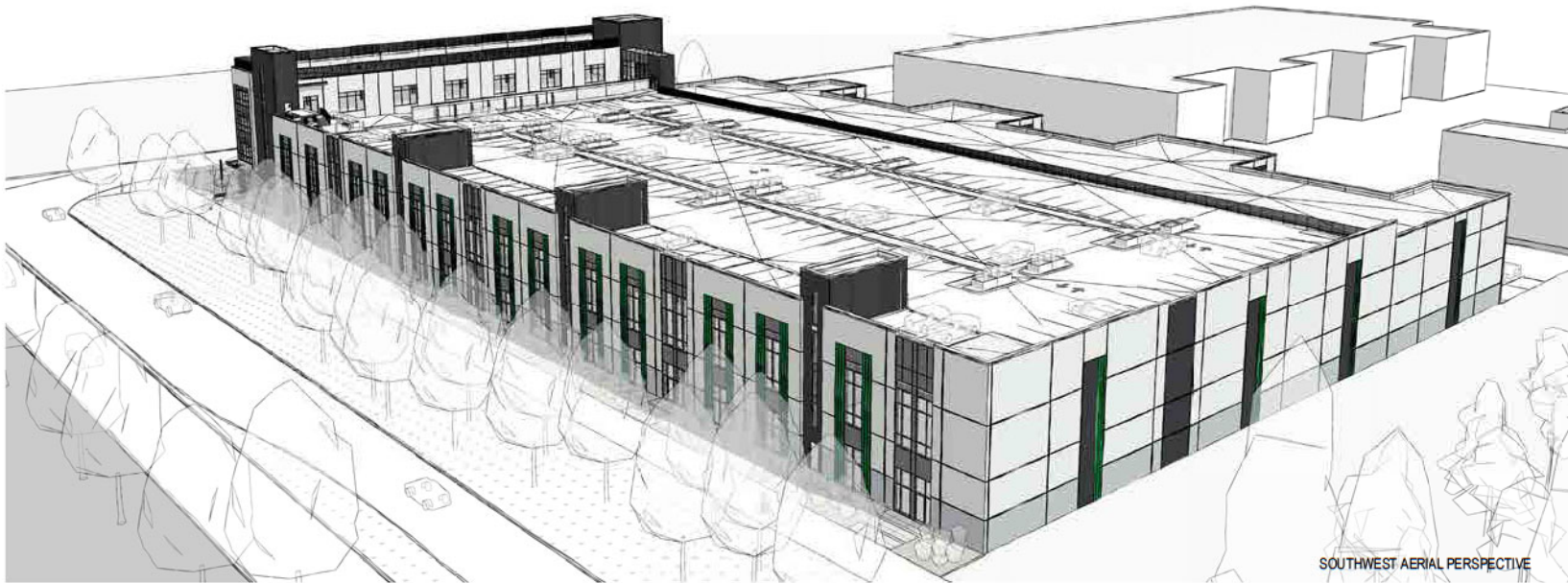
DESIGNER

PROJECT NAME:
POLLYCO GROUP
CAMPBELL HEIGHTS

PROJECT ADDRESS:
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SOUTHWEST AERIAL PERSPECTIVE



SOUTHEAST AERIAL PERSPECTIVE



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NO. DATE BY DESC. / TO

ISSUE AND REVISIONS

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 CAMPBELL HEIGHTS**

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3	2024.03.02	FE	ISSUED FOR DEVELOP. PERMIT
2	2024.06.19	MD	ISSUED FOR REVIEW
1	2024.05.31	MD	ISSUED FOR DEVELOP. PERMIT

ISSUES AND REVISIONS

SCALE

PROJECT NAME
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A04

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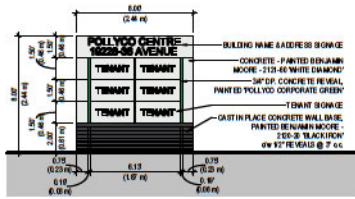
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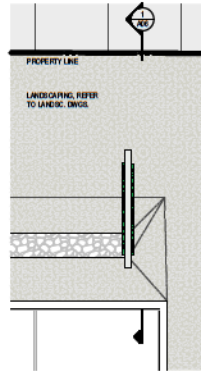


CITY OF SURREY SIGN BYLAW

- FREESTANDING SIGN
- SIGN TOP TO MINIMUM 2.0m (6' 6")
- SIGN WIDTH - MAX SIGN W: 30 m, m (100 sq. ft.) DOUBLE FACED SIGN
- MAXIMUM HEIGHT = 4.9m (16' 1")
- MAX. 2.5m (8' 2") PER CANOPY HEIGHTS LOCAL AREA PLAN

1 FREESTANDING SIGN - NORTH ELEVATION

SCALE 1/8" = 1'-0"



2 FREESTANDING SIGN PLAN

SCALE 1/8" = 1'-0"



3 INDUSTRIAL TENANT SIGNAGE

SCALE 1/8" = 1'-0"

NO.	DATE	BY/AC	DESCRIPTION
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ISSUES AND REVISIONS

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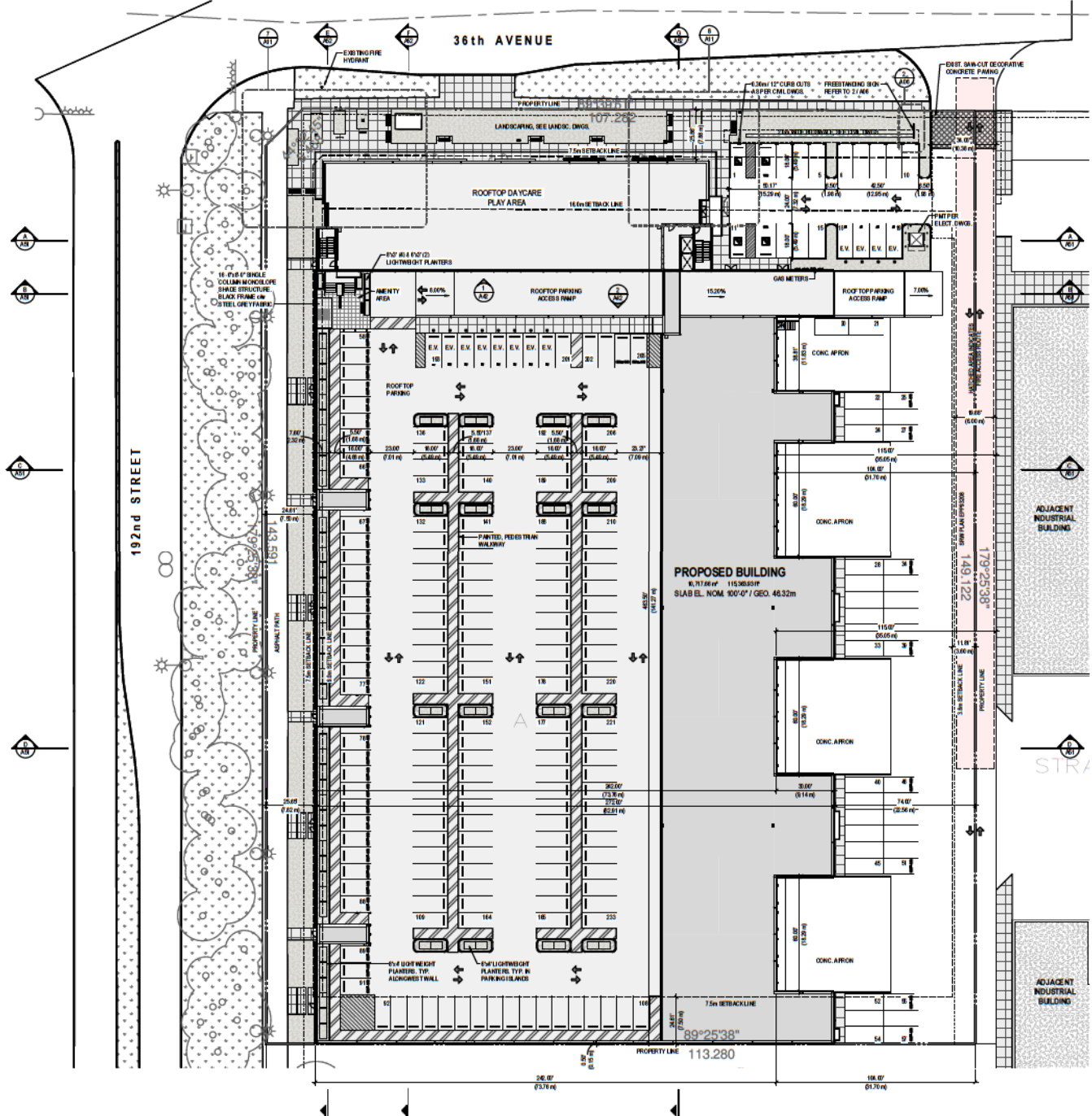
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ZONING BY-LAW ANALYSIS

PROJECT DATA
 OWNER ADDRESS: 1122-38 AVENUE, SURREY, BC BLDG. USE: LIGHT INDUSTRIAL
 LEGAL ADDRESS: K, 717.66 SF 115,363.93 CF

IB-1 - ZONING BYLAW ANALYSIS (CITY OF SURREY)

1 ZONING: IB-1 INDUSTRIAL BUSINESS PARK ONE
2 SITE AREA: 8,717.66 SF (199.66m²) 115,363.93 CF (3264.4m³)
3 SITE COVERAGE - BUILDING AREA:
 BUILDING FOOTPRINT AREA CALCULATIONS

LEVEL	FLOOR AREA	BUILDING AREA	MINIMUM SITE COVERAGE
SOB	90 FT	90M	%
16,014.16 SF	116,257.87 SF	16,717.66 SF	14.38%
		10,146.70 SF	11.64%

4 BUILDING HEIGHT:
 MAXIMUM HEIGHT: 14.66m (48'5")
 PROPOSED HEIGHT: 17.68m (58'0") EWP REQUIRED

5 REQUIRED SETBACKS:
 REQUIRED: 7.5m (24'6")
 PROVIDED: 7.5m (24'6")
 SIDEYARD (WEST): 7.5m (24'6")
 SIDEYARD (EAST): 7.5m (24'6")
 REAR YARD (SOUTH): 7.5m (24'6")

6 LANDSCAPING REQUIREMENTS:
 LANDSCAPING AREA, LANDSCAPING SYSTEMS, AND PERENNIALS COMPLIANT WITH CITY OF SURREY BY-LAW REQUIREMENTS.

7 VEHICLE PARKING AND LOADING:
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

VEHICLE PARKING REQUIREMENT CALCULATIONS

LEVEL	CLASSIFICATION	BY-LAW DEFINITION USED	CALCULATION METHOD	GROSS AREA (SQM)	PERCENTAGE OF GROSS AREA (SQM)	SPACES REQUIRED
MAIN FLOOR	INDUSTRIAL	1 SPACE FOR EACH 100.00 M ² (276.80 SF)	GROSS AREA	8,717.66	13.34%	1
MAIN FLOOR	OFFICE	2 SPACES FOR EACH 100.00 M ² (276.80 SF)	GROSS AREA	8,717.66	13.34%	2
MEZZANINE	OFFICE	2 SPACES FOR EACH 100.00 M ² (276.80 SF)	GROSS AREA	1,174.41	13.34%	2
SECOND FLOOR	OFFICE	2 SPACES FOR EACH 100.00 M ² (276.80 SF)	GROSS AREA	1,084.70	12.44%	2
TOTAL PARKING SPACES PROVIDED:				6,887.77	79.00%	18.00

CHILD CARE FACILITY (SECOND FLOOR FLOOR)

TYPE	STALLS PER EMPLOYEE	EMPLOYEES	STALLS
CHILD CARE FACILITY	6	6	36
TOTAL			36

10% PARKING REDUCTION = 207 STALLS REQUIRED

VEHICLE PARKING PROVIDED

PARKING TYPE	No. OF SPACES
SMALL CAR	44
STANDARD PARKING	135
STANDARD PARKING - EV	12
TOTAL PARKING SPACES PROVIDED:	231

LOADING CALCULATION:
 LONGING SPACE ADJACENT TO EACH OVERHEAD DOOR OF THE BUILDING

TYPE	STALLS	DRIVE AHEAD	LOADING
TANDEM PARKING STALL	230	5.50m (18'0")	1265
PARALLEL STANDING STALL	230	6.00m (19'8")	1380
ACCESSIBLE STALL	230	6.00m (19'8")	1380
SMALL CAR STALL MAX. 10%	230	4.00m (13'1")	1150
TOTAL	720		5175

8 BICYCLE PARKING:
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

INDUSTRY LIGHT IMPACT - BICYCLE PARKING REQUIREMENTS NOT APPLICABLE AS PER TABLE D.1 OF SECTION 5

1 SITE PLAN
 SCALE: 1:50



- 11 2024.02.12 RE-DESIGNED FOR DEVELOPMENT PERMIT
- 10 2024.01.10 RE-DESIGNED FOR DEVELOPMENT PERMIT
- 9 2024.01.04 RE-DESIGNED FOR DEVELOPMENT PERMIT
- 8 2024.01.28 RE-DESIGNED FOR DEVELOPMENT PERMIT
- 7 2024.01.05 RE-DESIGNED FOR DEVELOPMENT PERMIT
- 6 2024.01.02 RE-DESIGNED FOR DEVELOPMENT PERMIT
- 5 2024.01.19 RE-DESIGNED FOR DEVELOPMENT PERMIT
- 4 2024.01.11 RE-DESIGNED FOR DEVELOPMENT PERMIT

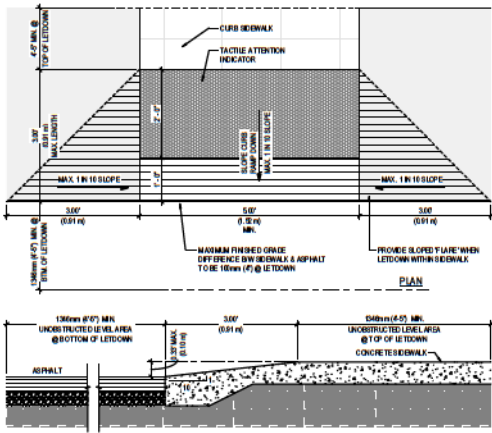
PROJECT NAME:
 POLLYCO GROUP
 CAMPBELL HEIGHTS

PROJECT ADDRESS:
 1922-38 AVENUE
 SURREY, BC V3S 0S 5

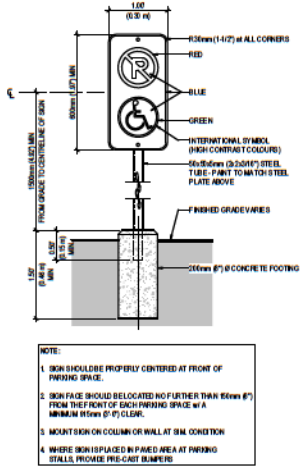
DRAWING TITLE:
 SITE PLAN

SCALE: As Indicated
DRAWN: MB
REVIEWED:
PROJECT NO.: 24021A
DRAWING NO.:

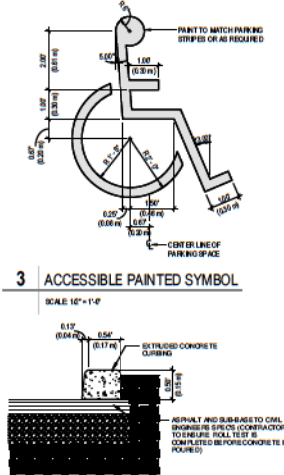




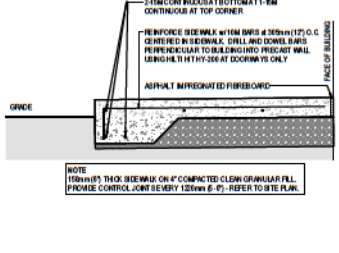
1 ACCESSIBLE LETDOWN
SCALE 3/4" = 1'-0"



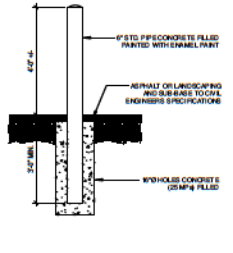
2 ACCESSIBLE POST MOUNTED SIGN
SCALE 1" = 1'-0"



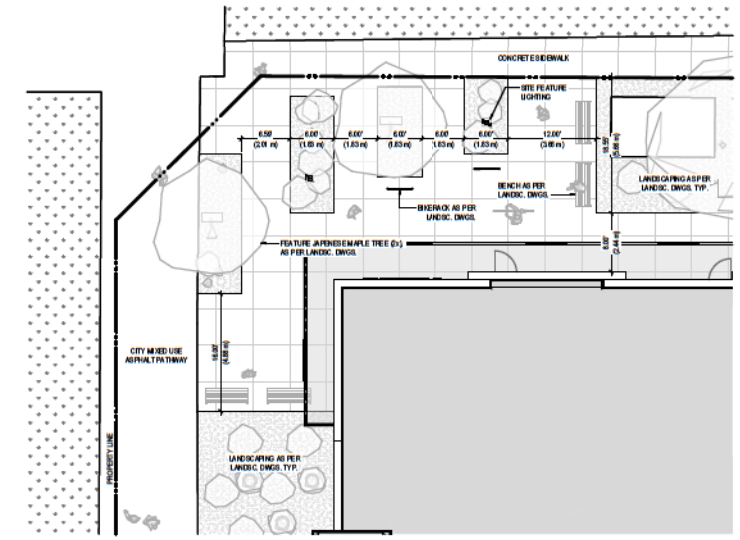
3 ACCESSIBLE PAINTED SYMBOL
SCALE 10" = 1'-0"



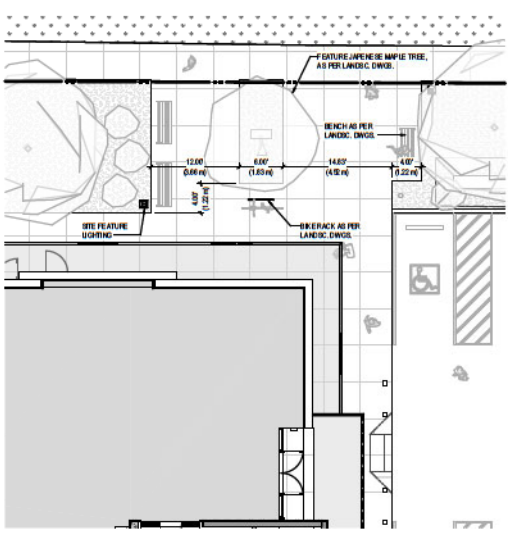
5 SIDEWALK DETAIL
SCALE 1" = 1'-0"



6 BOLLARD DETAIL
SCALE 1" = 1'-0"



7 NORTHWEST PLAZA DETAIL PLAN
SCALE 1/8" = 1'-0"



8 NORTH PEDESTRIAN PLAZA PLAN
SCALE 1/8" = 1'-0"

11	2024.02.12	REVISED FOR DEVELOP. PREPARE
10	2024.01.28	REVISED FOR DEVELOP. PREPARE
9	2024.01.25	REVISED FOR DEVELOP. PREPARE
8	2024.01.22	REVISED FOR DEVELOP. PREPARE
7	2024.01.19	REVISED FOR PREVIEW
1	2024.01.11	ISSUED FOR DEVELOP. PREPARE

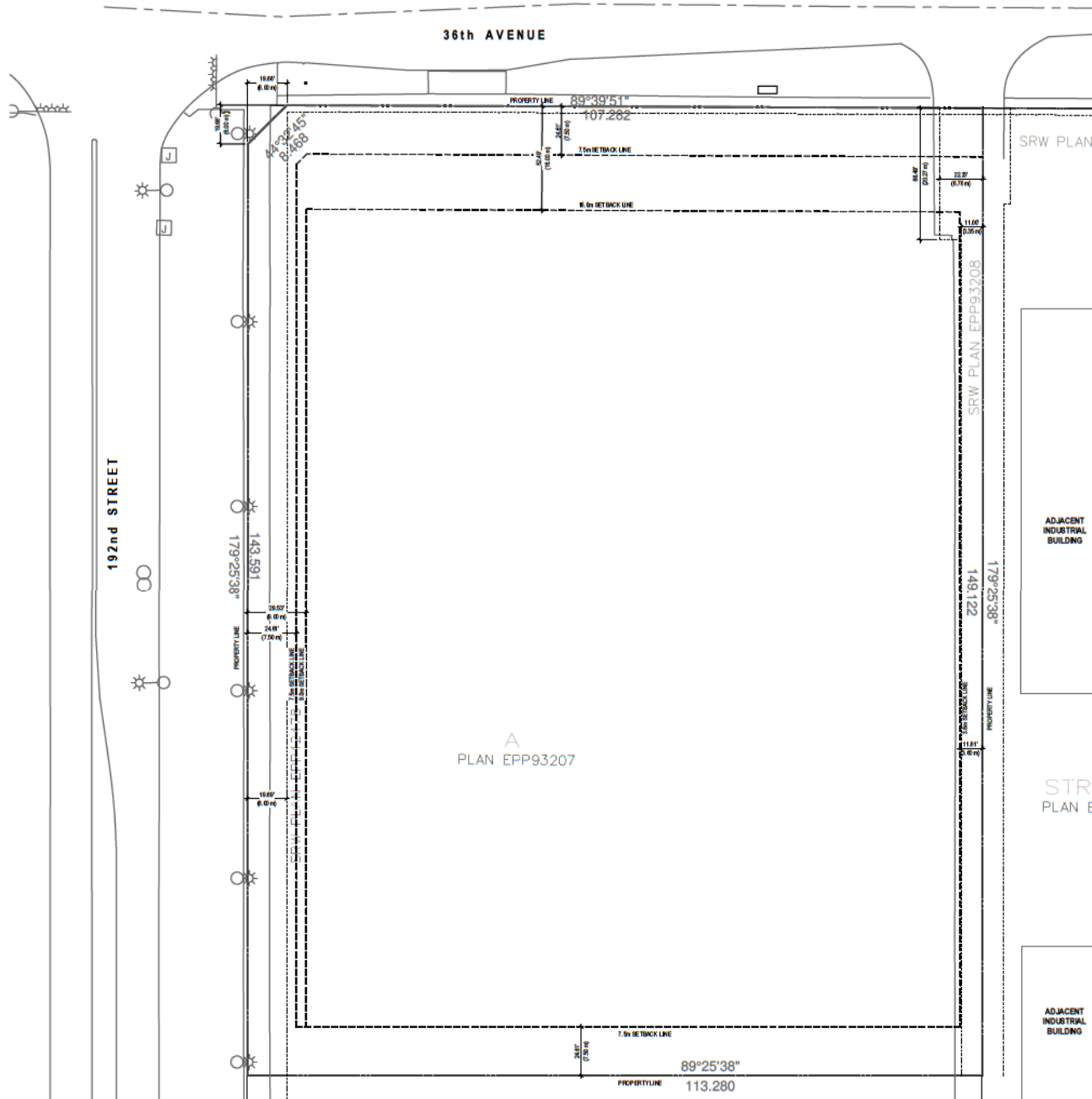
NO. DATE REVISION DESCRIPTION
ISSUES AND REVISIONS
SCALE

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
19228 - 38 AVENUE
SURREY, BC V3S 0L5

DRAWING TITLE
SITE DETAILS

SCALE	As Indicated
DRAWN	MB
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



36th AVENUE

192nd STREET

A
PLAN EPP93207

SRW PLAN

ADJACENT INDUSTRIAL BUILDING

STR/
PLAN EF

ADJACENT INDUSTRIAL BUILDING

1 SITE PLAN - BASE
SCALE: 1:300



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NO.	DATE	BY	DESCRIPTION
11	2024.01.12	FE	ISSUED FOR DEVELOP. PREPARE
6	2024.01.28	FE	ISSUED FOR DEVELOP. PREPARE
4	2024.10.25	FE	ISSUED FOR DEVELOP. PREPARE
3	2024.10.02	FE	ISSUED FOR DEVELOP. PREPARE

ISSUES AND REVISIONS

SEAL

PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
**19228 - 36 AVENUE
SURREY, BC V3S 0L5**

DRAWING TYPE:
SITE PLAN - BASE

SCALE	1:300
DRAWN	039
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	

A12

2024.01.12 10:00 AM
 2024.01.28 10:00 AM
 2024.10.25 10:00 AM
 2024.10.02 10:00 AM
 2024.01.12 10:00 AM



NO.	DATE	BY	DESCRIPTION
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6	2024.01.26	FE	ISSUED FOR DEVELOPMENT PERMIT
4	2024.10.25	FE	ISSUED FOR DEVELOPMENT PERMIT
3	2024.10.02	FE	ISSUED FOR DEVELOPMENT PERMIT

ISSUE/ISSUE REVISIONS

SEAL

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
**19228 - 36 AVENUE
SURREY, BC V3S 0L5**

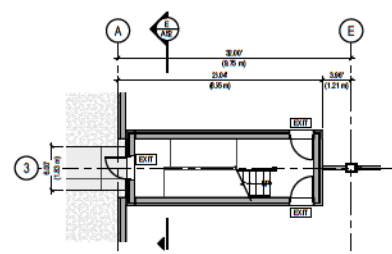
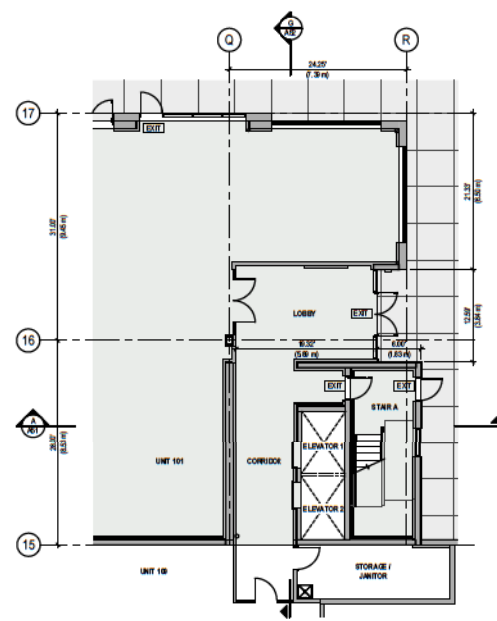
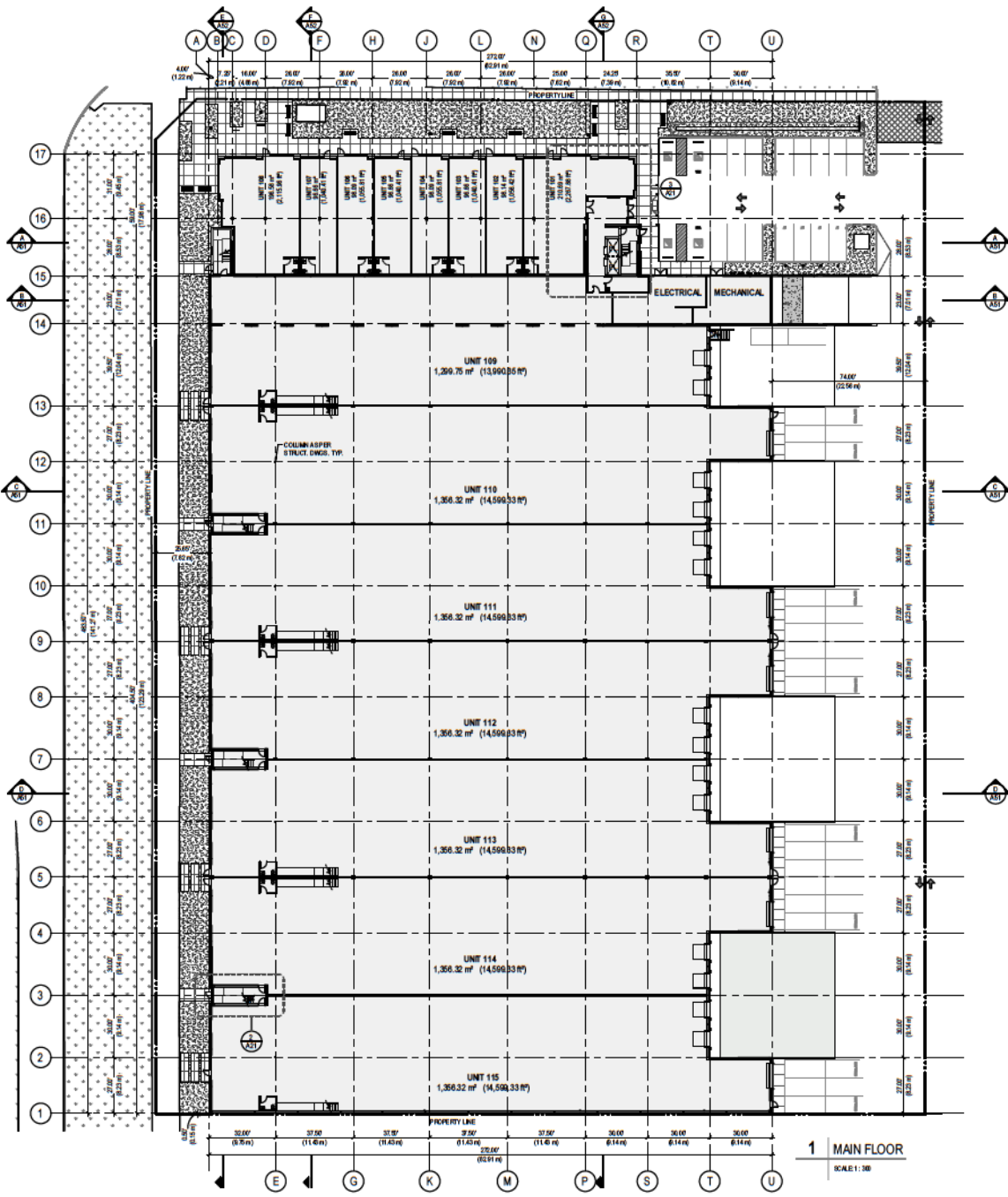
DRAWING TITLE
CONTEXT PLAN

SCALE	1:140
DRAWN	030
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



1 CONTEXT SITE PLAN
SCALE: 1:140

A13



11	2018.02.12	REVISED FOR DEVELOP. PERMIT
6	2018.01.26	REVISED FOR DEVELOP. PERMIT
4	2018.10.05	REVISED FOR DEVELOP. PERMIT
3	2018.10.02	REVISED FOR DEVELOP. PERMIT
2	2018.06.19	REVISED FOR PERMITS
1	2018.05.31	REVISED FOR DEVELOP. PERMIT
NO.	DATE	REVISION / DESCRIPTION
ISSUES AND REVISIONS		
SEAL		

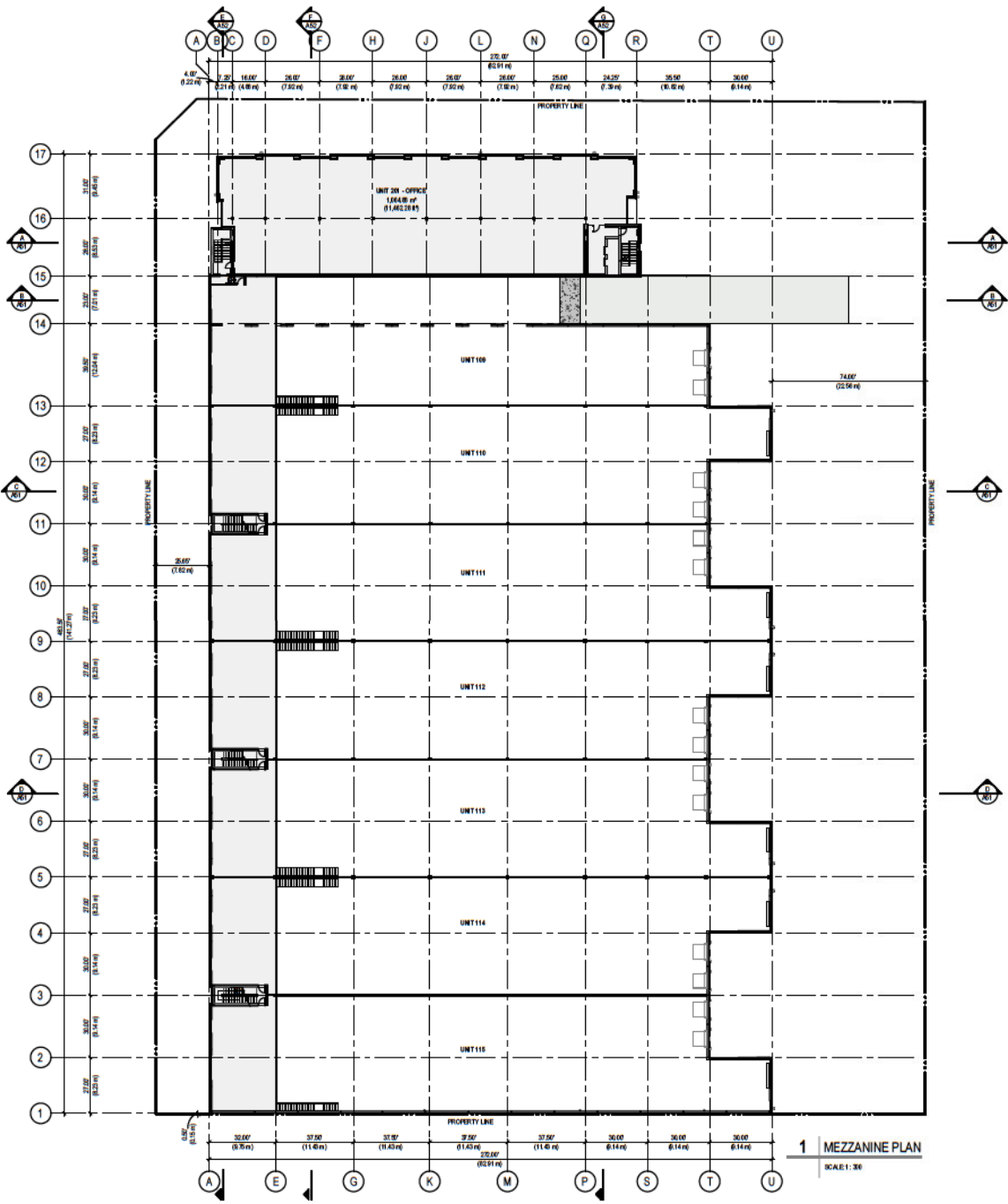
PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
**19228 - 38 AVENUE
SURREY, BC V3S 0L5**

DRAWING TITLE:
MAIN FLOOR

SCALE	As Indicated
DRAWN	MB
REVIEWED	
PROJECT NO.	24821A
DRAWING NO.	





1 MEZZANINE PLAN

SCALE: 1:300



AMBROSFORD OFFICE
1155 WEST 77 STREET, SUITE 100, VANCOUVER, BC V6P 4K4
TEL: 604.271.7221 FAX: 604.271.7222 WWW.KPA.ARC



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NO.	DATE	BY	DESCRIPTION
11	2024.02.12	FE	ISSUED FOR DEVELOP. PERMIT
8	2024.01.28	FE	ISSUED FOR DEVELOP. PERMIT
4	2024.03.05	FE	ISSUED FOR DEVELOP. PERMIT
3	2024.03.02	FE	ISSUED FOR DEVELOP. PERMIT
2	2024.06.19	MD	ISSUED FOR REVIEW
1	2024.05.24	MD	ISSUED FOR DEVELOP. PERMIT

ISSUES AND REVISIONS

DEAL

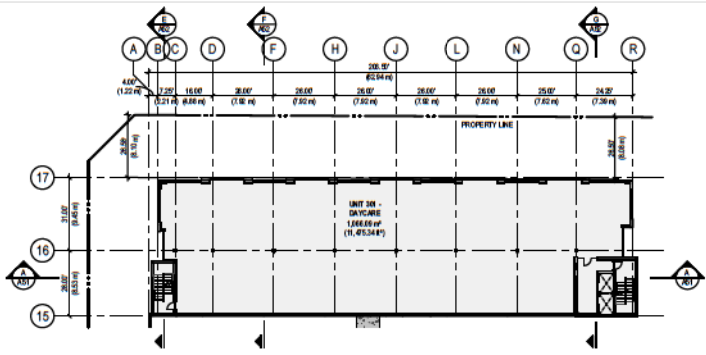
PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
19228 - 38 AVENUE
SURREY, BC V3S 0L5

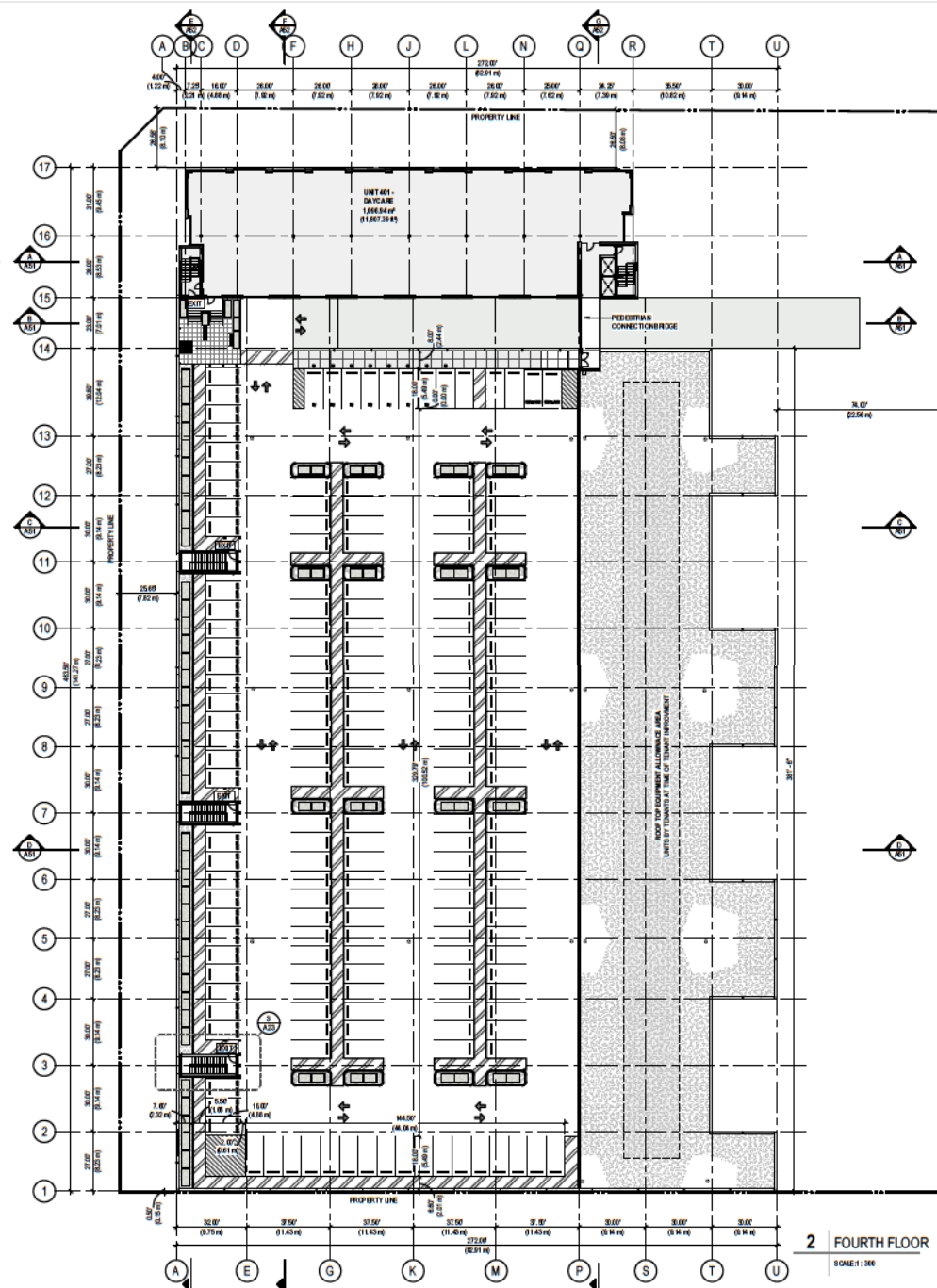
DRAWING TITLE:
SECOND FLOOR

SCALE	1:300
DRAWN	MD
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	

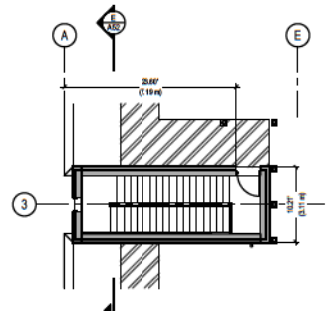




1 THIRD FLOOR
SCALE: 1/8" = 1'-0"



2 FOURTH FLOOR
SCALE: 1/8" = 1'-0"



3 TYPICAL STAIR CORE FOURTH
SCALE: 1/4" = 1'-0"

11	2024.02.12	REVISED FOR DEVELOPMENT
9	2024.02.04	REVISED FOR DEVELOPMENT
8	2024.01.28	REVISED FOR DEVELOPMENT
4	2024.02.05	REVISED FOR DEVELOPMENT
3	2024.02.02	REVISED FOR DEVELOPMENT
2	2024.02.19	REVISED FOR PERMIT
1	2024.02.15	REVISED FOR DEVELOPMENT

NO.	DATE	BY	DESCRIPTION
ISSUES AND REVISIONS			
REVISIONS			

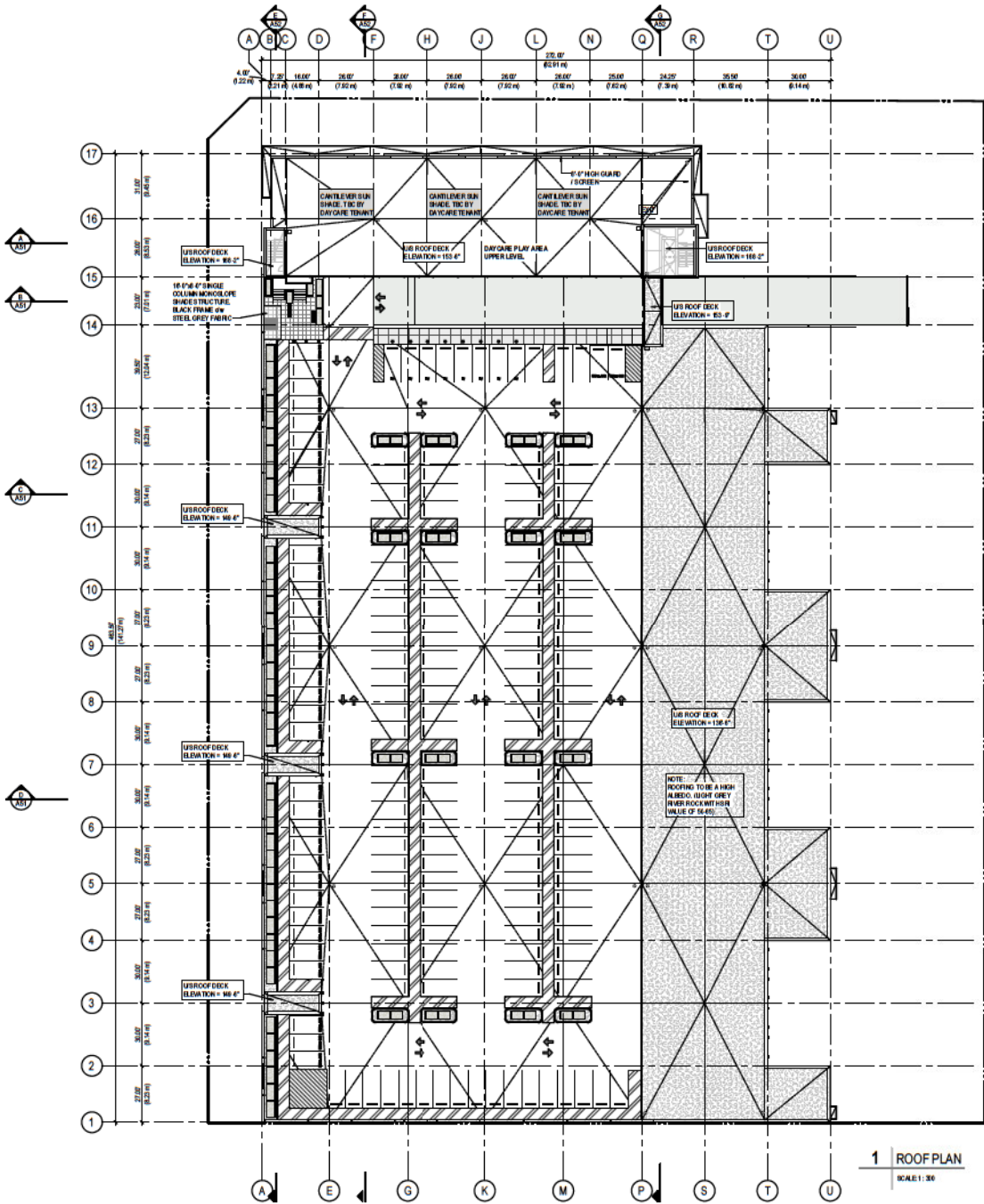
PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
1922B - 38 AVENUE
SURREY, BC V3S 0L5

DRAWING TITLE:
THIRD & FOURTH FLOORS

SCALE	As Indicated
DRAWN	MB
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	





1 ROOF PLAN
SCALE: 1/32

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NO.	DATE	BY	DESCRIPTION
11	2024.02.12	FE	ISSUED FOR DEVELOP. PERMIT
9	2024.02.04	FE	ISSUED FOR DEVELOP. PERMIT
8	2024.01.26	FE	ISSUED FOR DEVELOP. PERMIT
4	2024.10.25	FE	ISSUED FOR DEVELOP. PERMIT
3	2024.10.02	FE	ISSUED FOR DEVELOP. PERMIT
2	2024.06.19	FE	ISSUED FOR PERMIT
1	2024.05.14	FE	ISSUED FOR DEVELOP. PERMIT

ISSUES AND REVISIONS
 01.01
 01.02

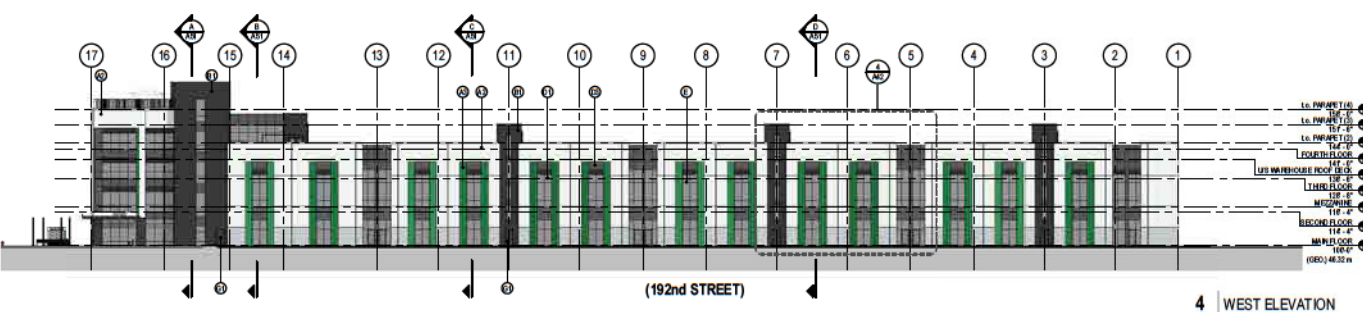
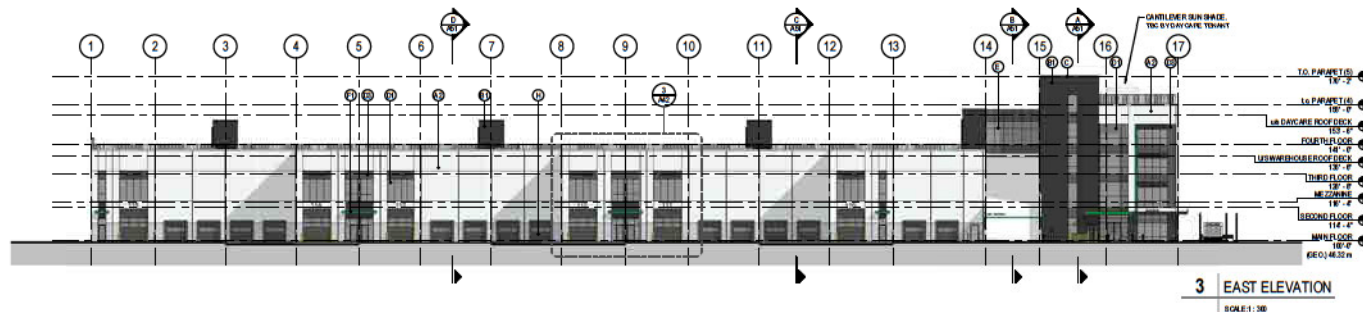
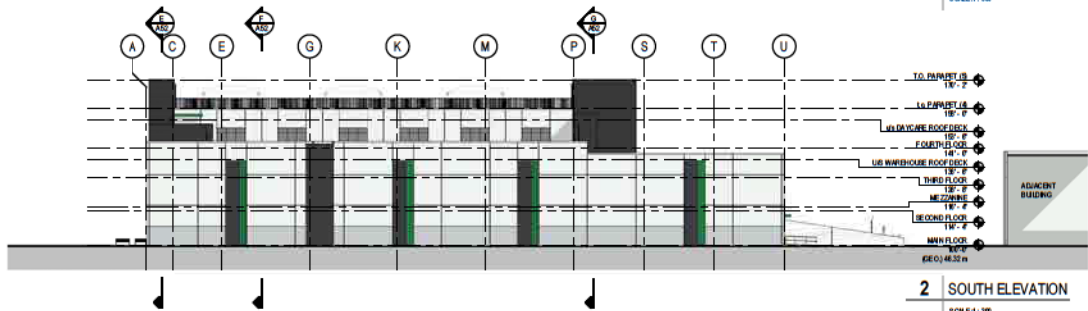
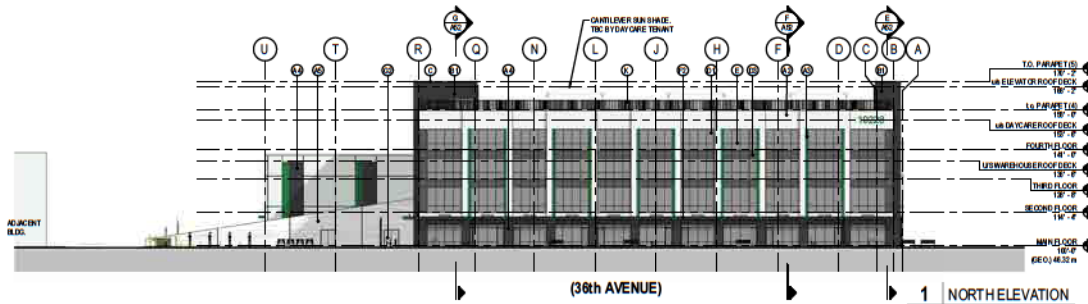
PROJECT NAME
**POLLYCO GROUP
 CAMPBELL HEIGHTS**

PROJECT ADDRESS
 1922B - 38 AVENUE
 SURREY, BC V3S 0L5

DRAWING TITLE
ROOF PLAN











SCALE	1:320
DRAWN	MB
REVIEWED	
PROJECT NO.	24051A
DRAWING NO.	





MATERIAL LEGEND	
TYPE	DESCRIPTION
A1	CONCRETE - PAINTED BENJAMIN MOORE - 21146 WHITE DIAMOND
A2	CONCRETE - PAINTED BENJAMIN MOORE - 21146 WHITE DIAMOND
A3	CONCRETE - PAINTED POLLYCO CORPORATE GREEN
A4	CONCRETE - PAINTED BENJAMIN MOORE - 21146 WHITE DIAMOND
A5	CONCRETE - BOARD FORM FINISH
B1	CORRUGATED CLADDING - PRE-FINISHED BLACK
C	GLAZING - LIGHT GRAY
D1	SP MISC GLAZING - METAL PANEL BLACK
D2	SP MISC GLAZING - DARK GRAY
E	ALUMINUM FRAME - BLACK ANODIZED
F1	ARCHITECTURAL STEEL - PAINTED POLLYCO CORPORATE GREEN
F2	ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 21146 WHITE DIAMOND
G1	STEEL DOOR - PAINTED BENJAMIN MOORE - 21146 WHITE DIAMOND
G2	STEEL DOOR - PAINTED BENJAMIN MOORE - 21146 WHITE DIAMOND
H	OVERHEAD DOOR - PRE-FINISHED DARK GRAY
X	MARKUP

PROJECT COLOURS

-  CONCRETE - PAINTED BENJAMIN MOORE - 21146 WHITE DIAMOND
-  CONCRETE - PAINTED BENJAMIN MOORE - 21146 SILVER HALF DOLLAR
-  CONCRETE - PAINTED BENJAMIN MOORE - 21146 BLACK RICH
-  CORRUGATED METAL CLADDING PRE-FINISHED BLACK
-  BOARD FORM CONCRETE
-  ARCHITECTURAL STEEL - PAINTED POLLYCO CORPORATE GREEN
-  ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 21146 BLACK RICH
-  GLAZING FRAME PRE-FINISHED BLACK ANODIZED ALUMINUM
-  METAL DOORS - PAINTED BENJAMIN MOORE - 21146 WHITE DIAMOND
-  METAL DOORS - PAINTED BENJAMIN MOORE - 21146 BLACK RICH

ABBOTSFORD
EDMONTON
VANCOUVER



KPA Architecture Ltd.
ABBOTSFORD OFFICE
1155 2025TH STREET, SUITE 100
ABBOTSFORD, BC V3G 2Y7





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11	2024.02.12	REVISED FOR DEVELOPMENT PERMIT
6	2024.01.28	REVISED FOR DEVELOPMENT PERMIT
4	2024.02.05	REVISED FOR DEVELOPMENT PERMIT
3	2024.02.02	REVISED FOR DEVELOPMENT PERMIT
2	2024.02.19	REVISED FOR PERMIT
1	2024.02.15	REVISED FOR DEVELOPMENT PERMIT

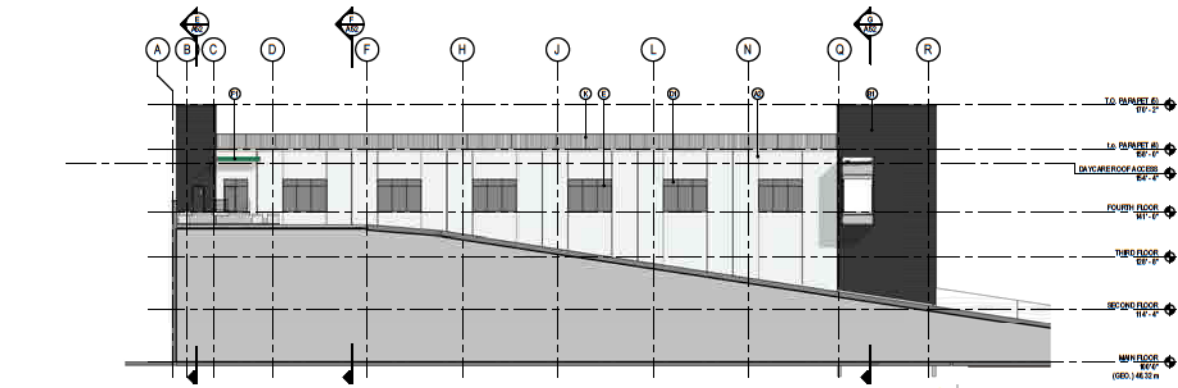
NO. DATE, TIME, DESCRIPTION
ISSUES AND REVISIONS

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

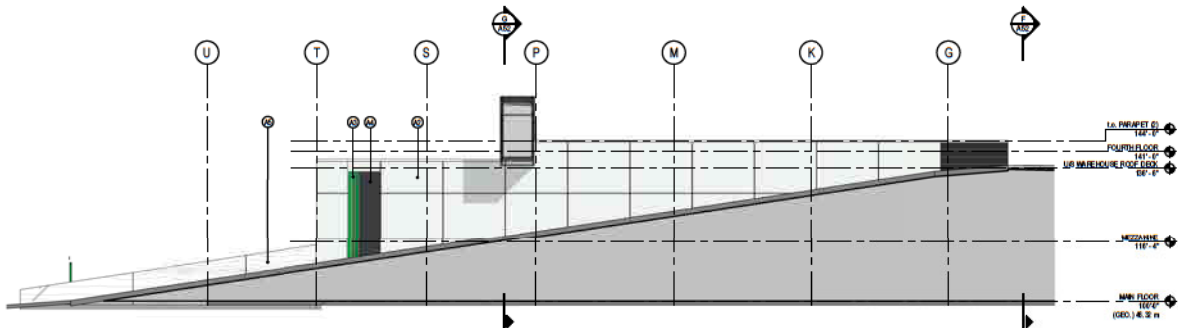
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1922B - 38 AVENUE
SURREY, BC V3S 0L5

DRAWING TITLE
BUILDING ELEVATIONS

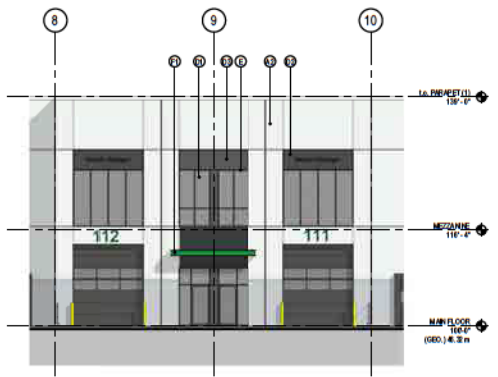
SCALE	Abbreviated
DRAWN	MB
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



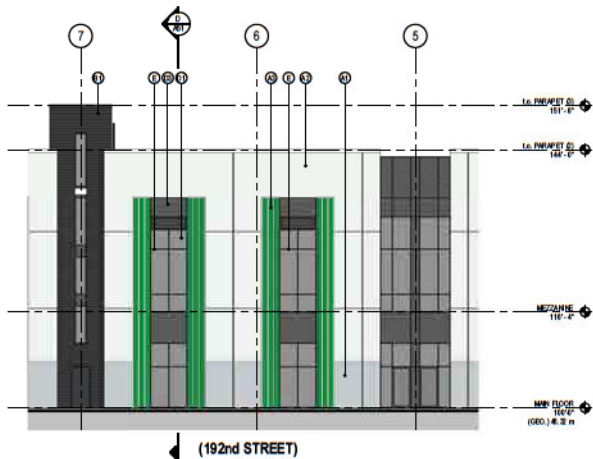
1 Elevation 1 - a
SCALE: 1/8" = 1'-0"



2 Elevation 1 - d
SCALE: 1/8" = 1'-0"



3 A EAST - Callout 1
SCALE: 1" = 16"



4 A WEST - Callout 1
SCALE: 1" = 16"

TYPE	DESCRIPTION
A1	CONCRETE - PAINTED BENJAMIN MOORE - 31146 SILVER HALF DOLLAR
A2	CONCRETE - PAINTED BENJAMIN MOORE - 31146 WHITE DIAMOND
A3	CONCRETE - PAINTED POLLYCO CORPORATE GREEN
A4	CONCRETE - PAINTED BENJAMIN MOORE - 31248 BLACK RICH
A5	CONCRETE - BOARD FORM FINISH
B1	CORRUGATED CLADDING - PRE-FINISHED BLACK
C	CAP RAILING - PAINTED TO MATCH ADJACENT WALL COLOR
D1	GLAZING - LIGHT GRAY
E2	SP-METAL GLAZING - METAL PANEL BLACK
G3	SP-METAL GLAZING - DARK GRAY
F1	ARCHITECTURAL STEEL - PAINTED POLLYCO CORPORATE GREEN
F2	ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 31248 BLACK RICH
G1	STEEL DOOR - PAINTED BENJAMIN MOORE - 31248 BLACK RICH
G2	STEEL DOOR - PAINTED BENJAMIN MOORE - 31146 WHITE DIAMOND
H	OVERHEAD DOOR - PRE-FINISHED DARK GRAY
X	RAILING

PROJECT COLOURS

- CONCRETE - PAINTED BENJAMIN MOORE - 31146 WHITE DIAMOND
- CONCRETE - PAINTED BENJAMIN MOORE - 31146 SILVER HALF DOLLAR
- CONCRETE - PAINTED BENJAMIN MOORE - 31248 BLACK RICH
- CORRUGATED METAL CLADDING - PRE-FINISHED BLACK
- BOARD FORM CONCRETE
- ARCHITECTURAL STEEL - PAINTED POLLYCO CORPORATE GREEN
- ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 31248 BLACK RICH
- GLAZING FRAME - PRE-FINISHED BLACK ANODIZED ALUMINUM
- METAL DOORS - PAINTED BENJAMIN MOORE - 31146 WHITE DIAMOND
- METAL DOORS - PAINTED BENJAMIN MOORE - 31248 BLACK RICH

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KPA Architecture Ltd.
ABBOTSFORD OFFICE
1151 2025TH STREET, SUITE 100
ABBOTSFORD, BC V3G 1G9

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NO.	DATE	BY/AC	DESCRIPTION
11	2024.02.12	FE	ISSUED FOR DEVELOP. PERMIT
6	2024.01.28	FE	ISSUED FOR DEVELOP. PERMIT
4	2024.03.05	FE	ISSUED FOR DEVELOP. PERMIT
3	2024.10.02	FE	ISSUED FOR DEVELOP. PERMIT
2	2024.06.19	FE	ISSUED FOR PERMIT
1	2024.05.31	FE	ISSUED FOR DEVELOP. PERMIT

ISSUES AND REVISIONS

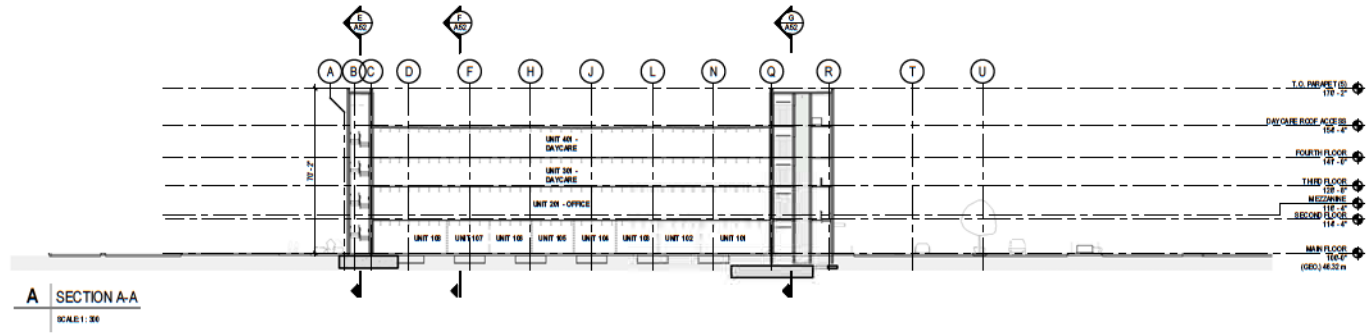
SCALE

PROJECT NAME
POLLYCO GROUP
CAMPBELL HEIGHTS

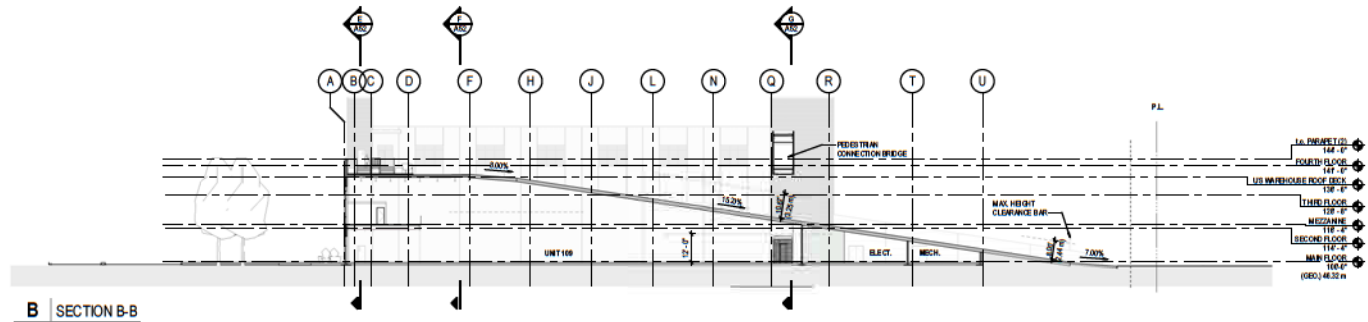
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1922B - 38 AVENUE
SURREY, BC V3S 0L5

DRAWING TITLE
BUILDING ELEVATIONS

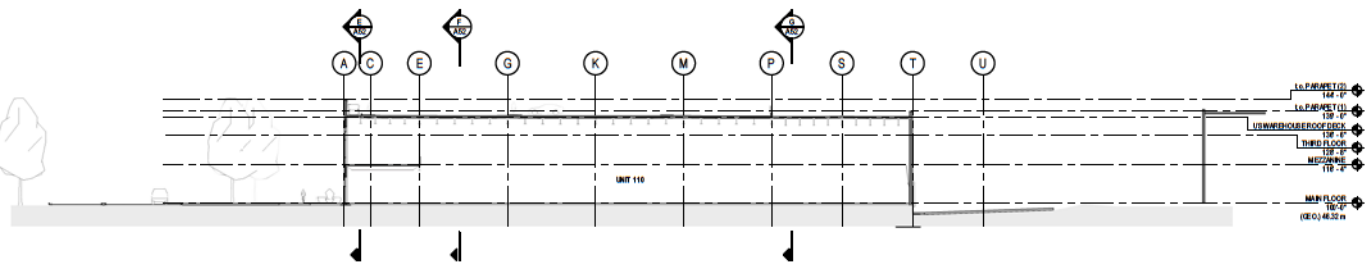
SCALE	APPROVED
DRAWN	MD
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



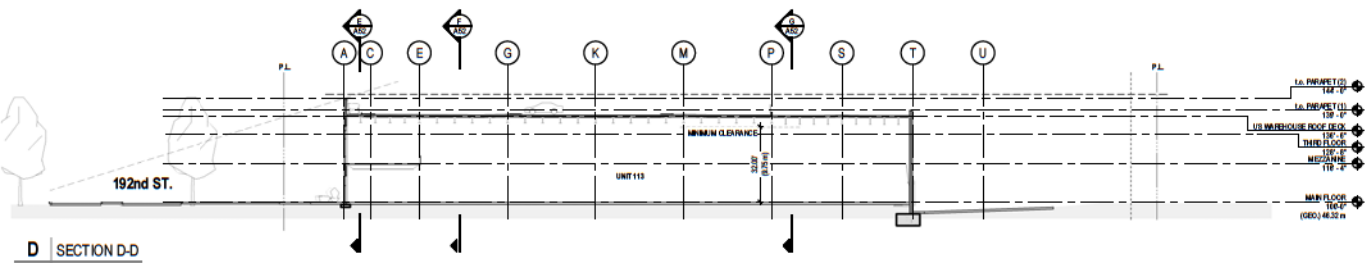
A SECTION A-A
SCALE: 1/32



B SECTION B-B
SCALE: 1/32



C SECTION C-C
SCALE: 1/32



D SECTION D-D
SCALE: 1/32



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11	2024.02.12	REVISED FOR DEVELOP. PERMIT
6	2024.01.28	REVISED FOR DEVELOP. PERMIT
4	2024.03.05	REVISED FOR DEVELOP. PERMIT
3	2024.03.02	REVISED FOR DEVELOP. PERMIT
2	2024.06.19	REVISED FOR PERMIT
1	2024.05.31	REVISED FOR DEVELOP. PERMIT

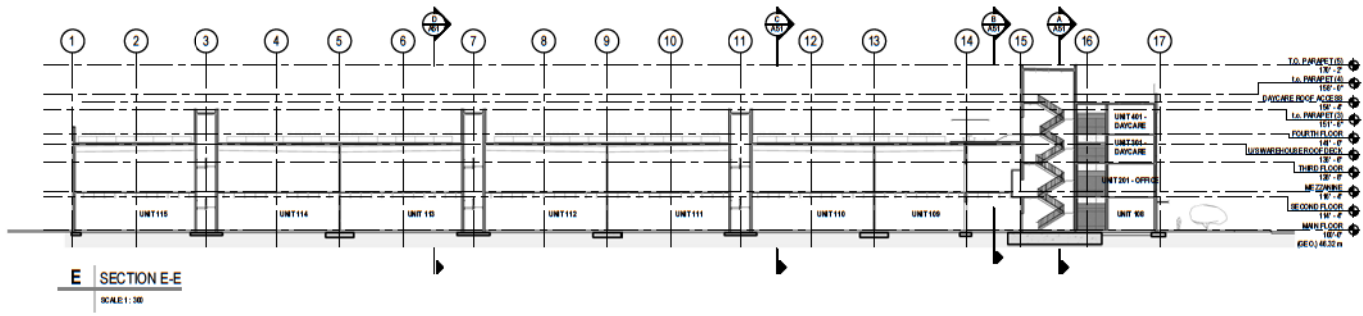
NO.	DATE	BY/AC	DESCRIPTION
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PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

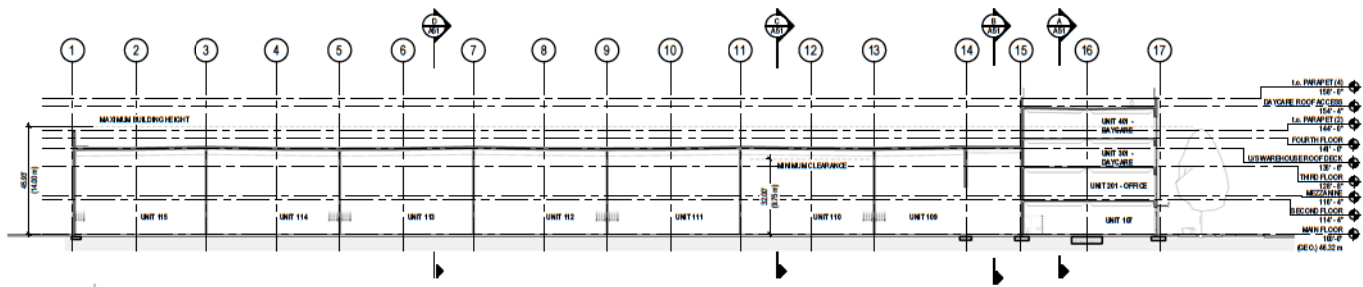
PROJECT ADDRESS:
19228-38 AVENUE
SURREY, BC V3S 0L5

DRAWING TITLE:
BUILDING SECTIONS

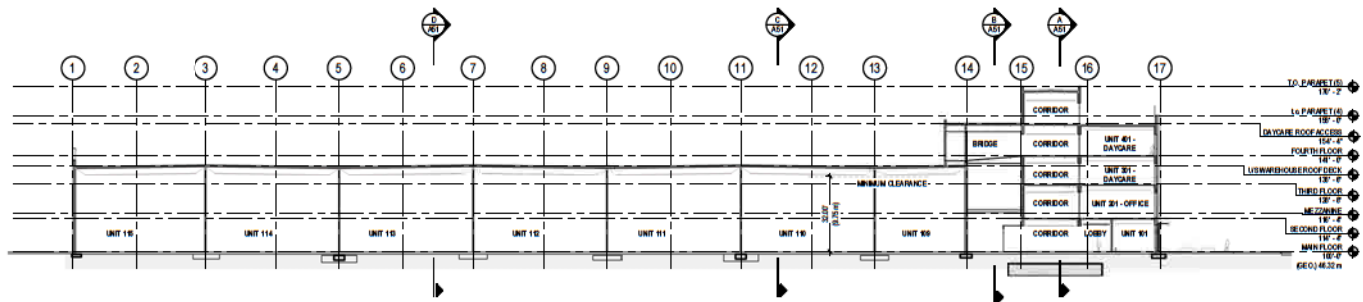
SCALE	1/32
DRAWN	MD
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



E SECTION E-E
SCALE 1:300



F SECTION F-F
SCALE 1:300



G SECTION G-G
SCALE 1:300



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NO.	DATE	REVISION	DESCRIPTION
11	2024.02.12	REVISED FOR DEVELOP	PREPARE
6	2024.01.28	REVISED FOR DEVELOP	PREPARE
4	2024.03.05	REVISED FOR DEVELOP	PREPARE
3	2024.03.02	REVISED FOR DEVELOP	PREPARE
2	2024.06.19	REVISED FOR PERMIT	
1	2024.05.24	REVISED FOR DEVELOP	PREPARE

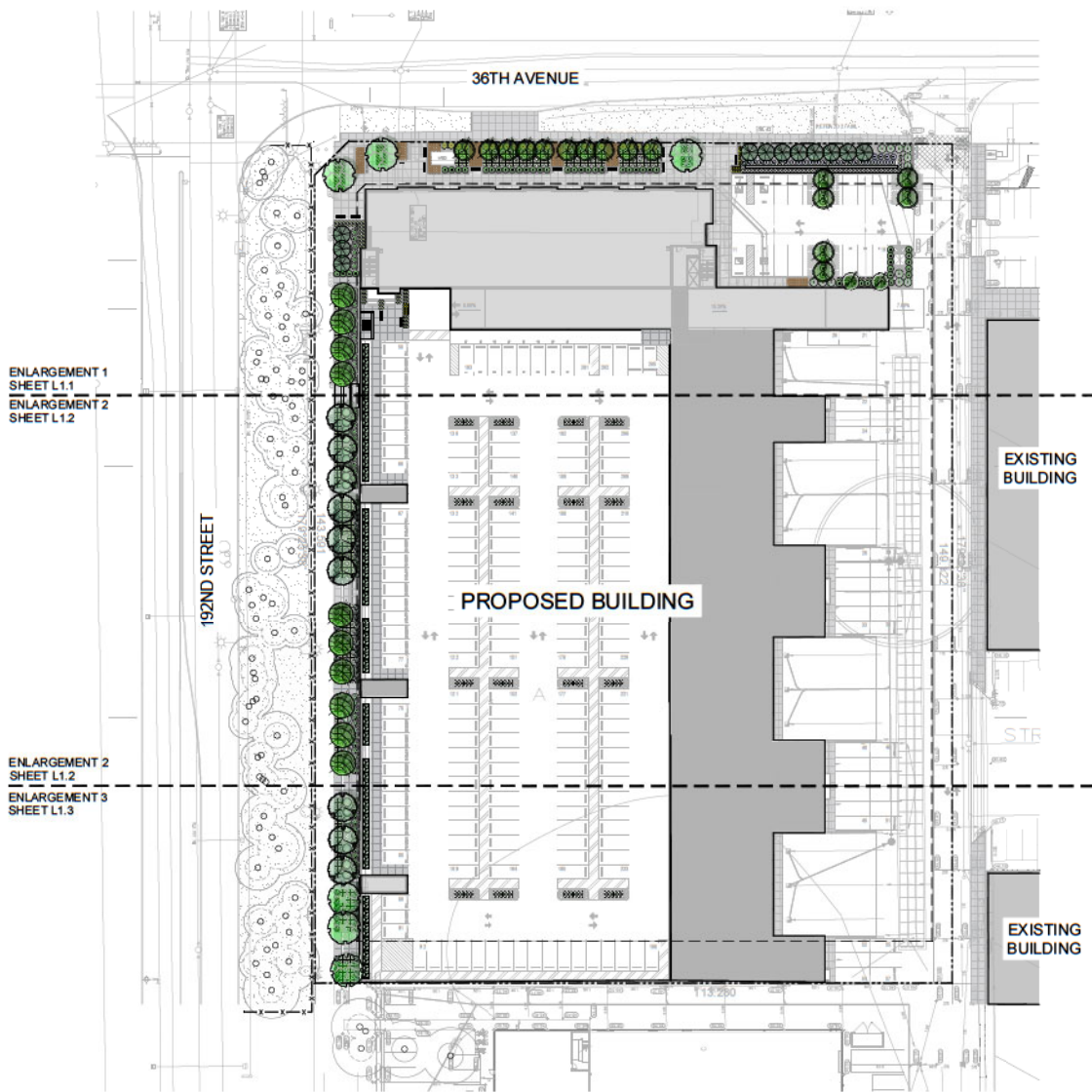
ISSUES AND REVISIONS
SCALE

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
19228 - 38 AVENUE
SURREY, BC V3S 0L5

DRAWING TITLE
BUILDING SECTIONS

SCALE	1:300
DRAWN	MD
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



ENLARGEMENT 1
SHEET L1.1
ENLARGEMENT 2
SHEET L1.2

ENLARGEMENT 2
SHEET L1.2
ENLARGEMENT 3
SHEET L1.3

NOTES

GENERAL NOTES

1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
2. CONFIRM ALL MEASUREMENTS ON SITE DO NOT SCALE DRAWINGS.
3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS. PEDESTRIAN, PUBLIC ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

PLANTING NOTES

1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SHADOWED AT THE TIME OF PLANTING.
4. TREE PROTECTION, PER THE MUNICIPAL DETAIL IF REQUIRED.
5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
6. SOIL DEPTH IN ALL PLANTING AREAS TO BE A MINIMUM OF 400mm AND A MINIMUM OF 600mm IN PLANTING BEDS WITH TREES.
7. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
9. ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
10. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE, AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
11. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
12. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - 12.1 Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of delivery by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
 - 12.2 Maintenance and additional installation of mulch
 - 12.3 Weed removal
 - 12.4 Disease control

MINIMUM TREE PLANTING CLEARANCES

1. TREES SHALL HAVE THE FOLLOWING MINIMUM CLEARANCES FROM:
 - 1.1 STREET LIGHT POLES - 6.0m
 - 1.2 UTILITY POLES - 3.0m
 - 1.3 EDGE OF DRIVEWAY, CURB RETURN, CATCH BASIN OR ABOVE GROUND UTILITY FACILITY - 2.0m
 - 1.4 SEWER AND DRAINAGE SERVICE CONNECTIONS, FIRE HYDRANTS - 1.5m
 - 1.5 MANHOLES, VALVE BOXES & WATER SERVICES - 1.2m
 - 1.6 BCH LPT/PM/AVISTA SWITCH VALVES - 2.25m
2. WHERE THERE IS A BOULEVARD PLANTING STRIP BETWEEN THE BACK OF THE CURB AND FRONT OF THE SIDEWALK, TREES SHALL BE PLANTED A MINIMUM OF 1.0m FROM BACK OF CURB AND 1.0m FROM BACK OF SIDEWALK.
3. IN OTHER CIRCUMSTANCES TREES SHALL BE PLANTED 1.0m FROM THE BACK OF THE SIDEWALK AND 2.5m FROM BACK OF CURB

SODDING NOTES

1. SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOO, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUIVALENT:
 - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
2. AREAS TO BE SODDED SHALL HAVE A MINIMUM 100MM TOPSOIL BASE
3. LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMP AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
4. PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
5. DELIVER SOO TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOO FROM DRYING AND WATER SOO AS NEEDED TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOO IN HANDLING. DRY SOO WILL BE REJECTED.
6. LAY SOO DURING GROWING SEASON. LAY SOO IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
7. WATER SOO IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 100MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

IRRIGATION NOTES

1. IRRIGATION TO BE PROVIDED FOR ALL SODD LANDSCAPE AREAS SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM
2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE SUB CUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
3. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
5. USE POP-UP SPRINKLER HEADS.
6. DO NOT SPRAY WATER ONTO TREE TRUNKS.

BIOBWALE SOIL SPECIFICATION

COARSE GRAVEL:	0-0%
ALL GRAVEL:	0-0%
SAND:	70-80%
SILT:	5-15% : Larger than 0.0075mm : Smaller than 0.075mm
CLAY:	10-20% : Larger than 0.002mm : Smaller than 0.0075mm
CLAY AND SILT COMBINED:	MAX 20%
ORGANIC CONTENT (by weight):	15% : Organics not to be derived from food waste
ACIDITY (pH):	6.0-8.5



LEGEND

---	PROPERTY LINE
---	SETBACK LINE
[Pattern]	75MM FIBER FLOOR
[Pattern]	PLANTING MEDIUM
[Pattern]	75MM ANGULAR ROCK
[Pattern]	CONCRETE SIDEWALK
(O)	EXISTING TREE TO REMAIN
(X)	TREE PROTECTION FENCING

#	3036004	ISSUED FOR RFP
#	3036039	ISSUED FOR RFP
#	3040110	ISSUED FOR BUILDING PERMIT
#	3040129	ISSUED FOR RFP
#	3040931	ISSUED FOR REVIEW
NO. DATE (MM/DD)	DESCRIPTION:	
DRAWN APPROVED:		
SEAL:		



PROJECT NAME:
**POLLYCO GROUP
CAMBLYO HEIGHTS**

PROJECT ADDRESS:
**19228 36 AVENUE
SURREY, BC**

DRAWING TITLE:
**OVERALL
LANDSCAPE PLAN**

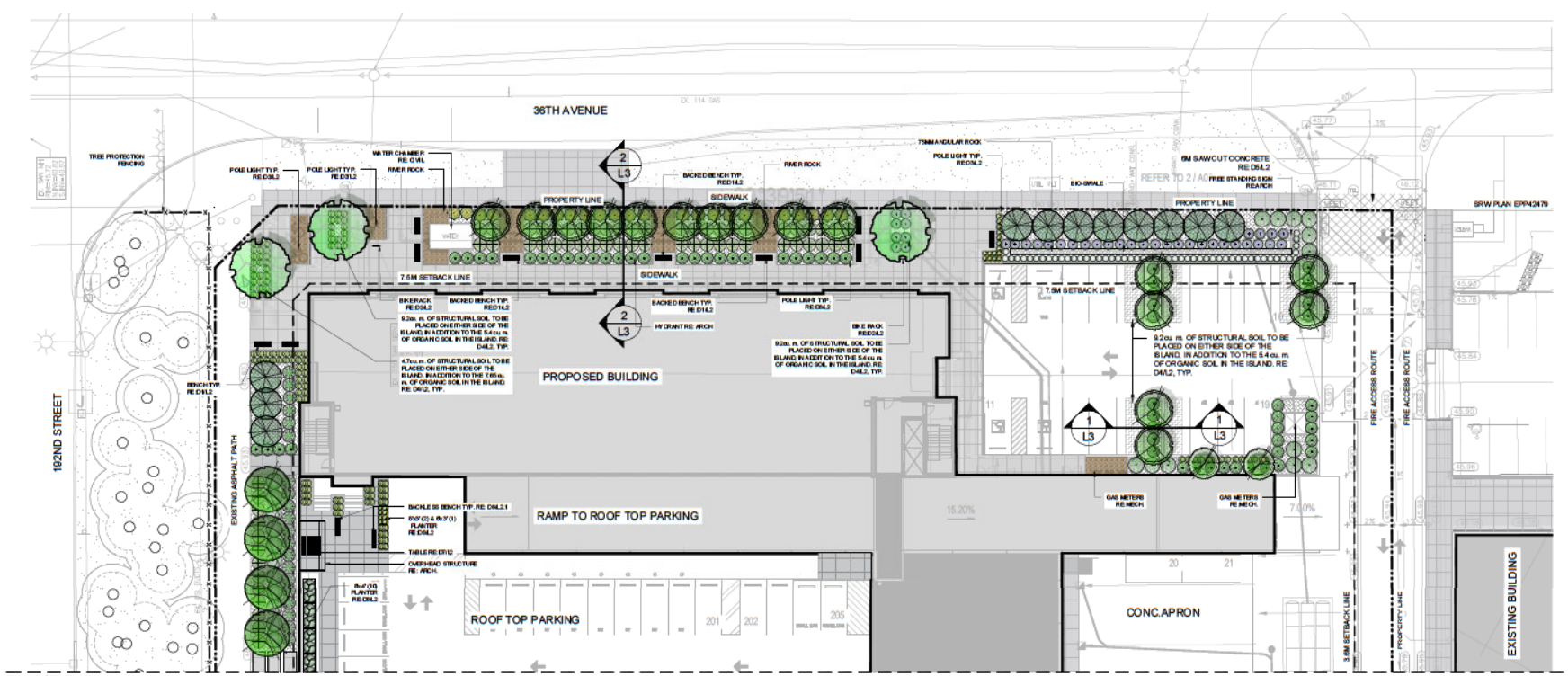
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CHECKED:	SW
PROJECT NO.:	26-27L
SHEET NO.:	2004-0-01
DRAWING NO.:	

L1

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- LEGEND**
- - - - - PROPERTY LINE
 - - - - - SETBACK LINE
 - TIMBER ROCK
 - PLANTING MEDIUM
 - TIMBER ANGULAR ROCK
 - CONCRETE SIDEWALK
 - EXISTING TREES TO REMAIN
 - - - - - TREE PROTECTION FENCING

- 0 20240204 ISSUED FOR PER-CIP
 - 1 20240329 ISSUED FOR PER-CIP
 - 2 20240410 ISSUED FOR BUILDING PERMIT
 - 3 20240429 ISSUED FOR PER-CIP
 - 4 20240529 ISSUED FOR PER-CIP
 - 5 20240629 ISSUED FOR REVIEW
- NO. DATE DATED DESCRIPTION
 DRAWN APPROVED
 SEAL



ENLARGEMENT 2
 SHEET L1.2

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ORIENTATION
DECIDUOUS TREES						
8	1	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	80x 60L	As Shown	W.E.
9	2	Zelkova serrata	Japanese Zelkova	80x 60L	As Shown	W.E.
9	1	Opuntia basilaris	Scaevola	80x 60L	As Shown	W.E.
9	1	Acer palmatum 'Emperor 1'	Japanese Emperor Maple	80x 60L	As Shown	W.E.
2	1	Magdalenia 'Lambert Leonard Meisel'	Pink Lambert Magnolia	80x 60L	As Shown	W.E.
CONIFEROUS TREES						
11	1	Picea canadensis	White Pine	3x 14	As Shown	W.E.
SHRUBS						
63	1	Spirea japonica 'Thronensund'	Thronensund Spirea	40x20x14	As Shown	#3 Pot
36	1	Clusia hybridica	White Rock Rose	40x20x14	As Shown	#3 Pot
6	1	Hydrangea 'Preziosa'	Michael Hydrangea	40x20x14	As Shown	#3 Pot
23	1	Berberis buxifolia 'Nana'	Deer Berberis	40x20x14	As Shown	#3 Pot
155	1	Phacelia spumosa 'Dome Ma' LITTLE DOME'	Libby Dove Phacelia	40x20x14	As Shown	#3 Pot
244	1	Calluna vulgaris 'Spring Tard'	Heather	40x20x14	As Shown	#3 Pot
68	1	Moraea coccinea	Dark Red Yucca	40x20x14	As Shown	#3 Pot
37	1	Sida peruviana 'Nana'	Deer Purple Star	40x20x14	As Shown	#3 Pot
79	1	Spirea japonica 'Thronensund'	Thronensund Spirea	40x20x14	As Shown	#3 Pot
66	1	Boraginaceae 'Incarnata w.r. alpha Purple Star'	Purple Star Deed Star	40x20x14	As Shown	#3 Pot
PERENNIALS, GRASSES, COVER, AND CROPS						
127	1	Helianthus scaberrimus 'Blackberry'	Blackberry Sunflower	1.50m	As Shown	Field
23	1	Aster 'Hercules'	Pink Aster	1.50m	As Shown	Field



PROJECT NAME
 POLLYCO GROUP
 CAMPBELL HEIGHTS

PROJECT ADDRESS
 19228 36 AVENUE
 SURREY, BC

DRAWING TITLE
 ENLARGEMENT 1

SCALE
 1:200

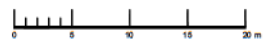
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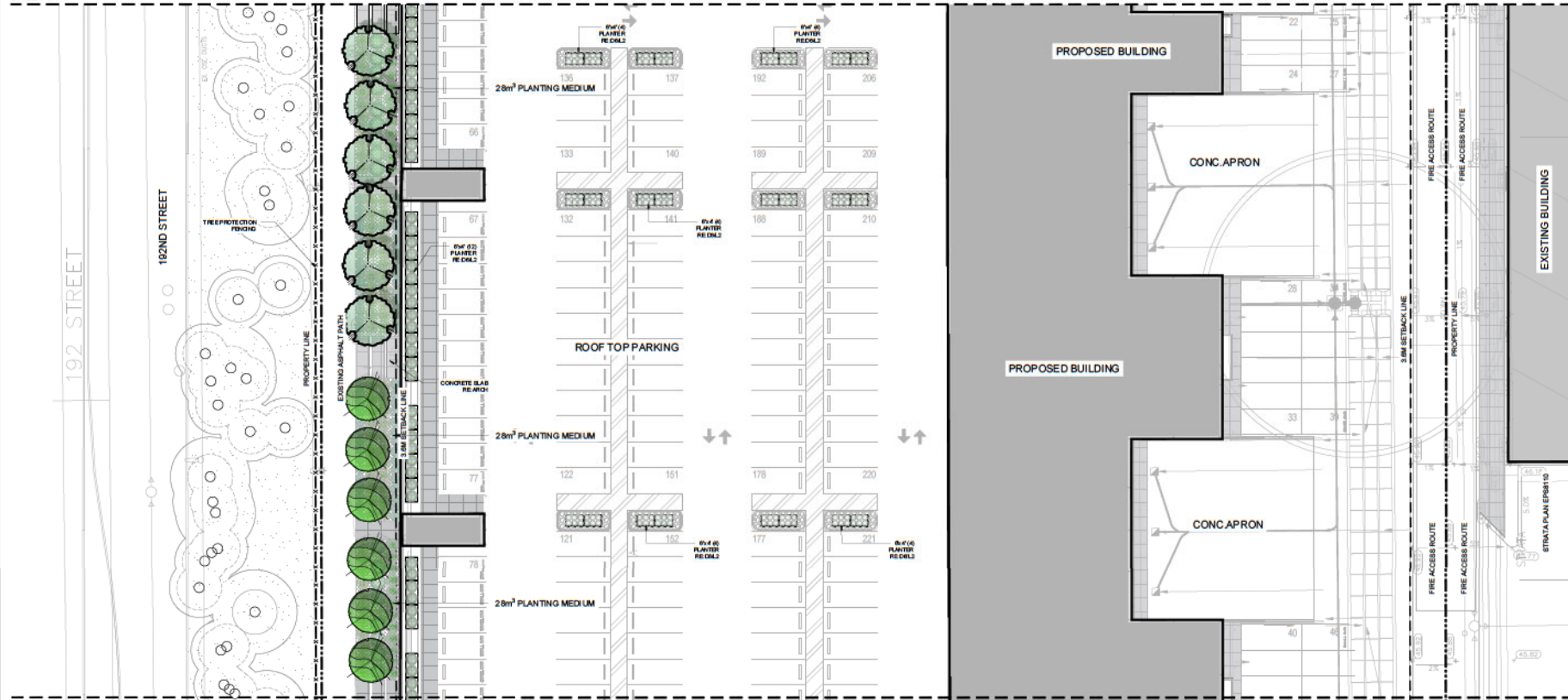
PROJECT NO.
 24-207L

START DATE
 2024.05

DRAWING NO.



ENLARGEMENT 1
SHEET L1.1



- LEGEND**
- - - - - PROPERTY LINE
 - - - - - SETBACK LINE
 - TOWN RIVER ROCK
 - PLANTING MEDIUM
 - TOWN ANGLAR ROCK
 - CONCRETE SIDEWALK
 - EXISTING TREES TO REMAIN
 - - - - - TREE PROTECTION FENCING

6	20240204	ISSUED FOR IFC-CP
8	20240209	ISSUED FOR IFC-CP
9	20240210	ISSUED FOR BUILDING PERMIT
2	20240109	ISSUED FOR IFC-CP
3	20240209	ISSUED FOR IFC-CP
1	20240201	ISSUED FOR REVIEW

NO. DATE (Y/M/D) DESCRIPTION:
DRAWN APPROVED:
SEAL:

ENLARGEMENT 3
SHEET L1.3

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	LOCATION
DECIDUOUS TREES						
	8	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	60x 04L	As Shown	WB
	10	Zelkova serrata	Japanese Zelkova	60x 04L	As Shown	WB
	9	Corylus heterophylla	Scourwood	60x 04L	As Shown	WB
	16	Acer palmatum 'Elegant 1'	Japanese Elm Leaf Maple	60x 04L	As Shown	WB
	2	Magnolia 'robusta' 'Lacoste' Magnol	Pink Lobster Magnolia	60x 04L	As Shown	WB
CONIFEROUS TREES						
	11	Pinus canadica	Scotch Spruce	2x Ht.	As Shown	WB
SHRUBS						
	03	Spirea japonica 'Bronsensund'	Bronsenlund Spirea	400cm Ht.	As Shown	@ Pt
	36	Celastrus hybridus	White Rock Rose	400cm Ht.	As Shown	@ Pt
	12	Hydrangea 'Preziosa'	Hybrid Hydrangea	400cm Ht.	As Shown	@ Pt
	23	Berberis buxifolia 'Yucca'	Dark Berberis	400cm Spread	As Shown	@ Pt
	156	Physocarpus opulifolius 'Doris May' UTILE DEVELOP	Little David's Dogwood	400cm Ht.	As Shown	@ Pt
	24	Culture vulgaris 'Spring Torch'	Hostler	400cm Ht.	As Shown	@ Pt
	56	Viburnum dentatum	Dark Viburnum	400cm Ht.	As Shown	@ Pt
	37	Sida peruviana 'Yucca'	Dark Purple Cider	400cm Ht.	As Shown	@ Pt
	78	Spirea japonica 'Shirobana'	Shirobana Spirea	400cm Ht.	As Shown	@ Pt
	85	Sarcococca hookeriana var. 'Alba' Purple Star'	Purple Star David Star	400cm Spread	As Shown	@ Pt
PERENNIALS, GROUND COVERS, AND GRASSES						
	122	Phlox paniculata 'Majestic'	Black-eyed Susan	1 gallon	As Shown	Petal
	23	Aster 'Harris' Hybrid'	Harris Aster	1 gallon	As Shown	Petal



PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
**19228 36 AVENUE
SURREY, BC**

DRAWING TITLE:
ENLARGEMENT 2

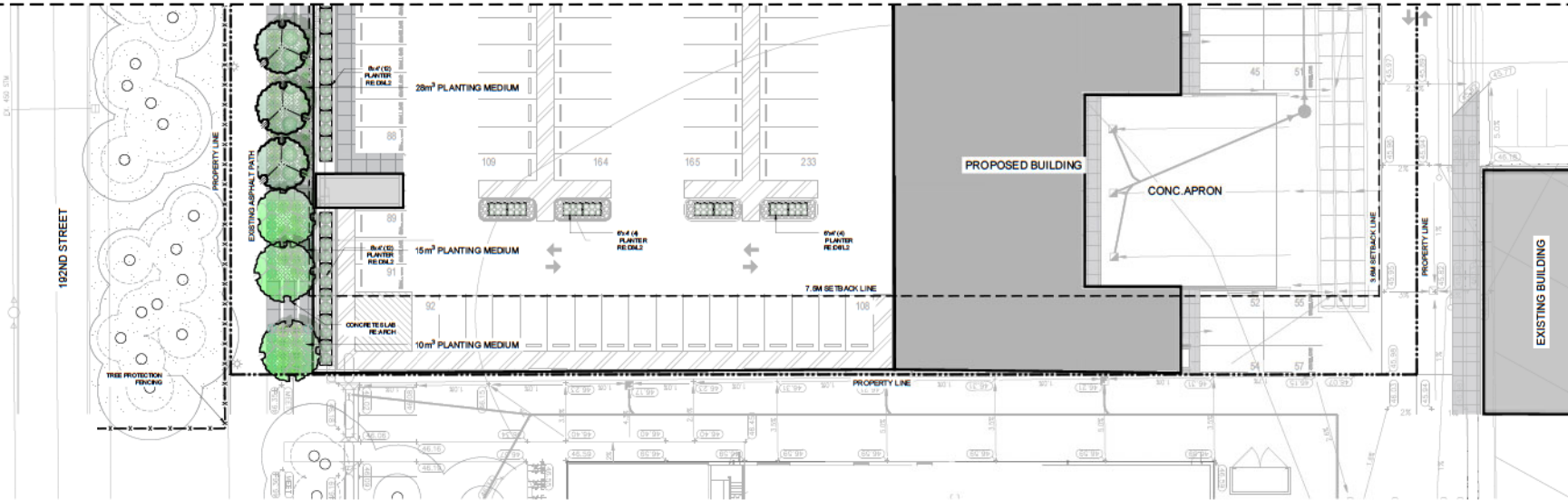
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CHECKED:	SW
PROJECT NO.:	24-207L
START DATE:	2024.01.08
DRAWING NO.:	



L1.2

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ENLARGEMENT 2
SHEET L.1.12



- LEGEND**
- PROPERTY LINE
 - - - SETBACK LINE
 - TRIM FIVER ROCK
 - PLANTING MEDIUM
 - TRIM ANGULAR ROCK
 - CONCRETE SIDEWALK
 - EXISTING TREES TO REMAIN
 - - - TREE PROTECTION FENCING

- # 20240204 ISSUED FOR PERMIT
 - # 20240129 ISSUED FOR PERMIT
 - # 20240110 ISSUED FOR BUILDING PERMIT
 - # 20240106 ISSUED FOR PERMIT
 - # 20240229 ISSUED FOR PERMIT
 - # 20240219 ISSUED FOR REVIEW
- NO. DATE DURING DESCRIPTION
DRAWN APPROVED
SEAL

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
8	1	Acer glabrum 'Sun Valley'	Sun Valley Red Maple	80cm Ca.	A 6 shown	WB
9	1	Zakura serrata	Japanese Zakura	80cm Ca.	A 6 shown	WB
9	1	Opuntia arborescens	Scaevola	80cm Ca.	A 6 shown	WB
9	1	Acer palmatum 'Emperor F'	Japanese Emperor Maple	80cm Ca.	A 6 shown	WB
2	1	Nyctaginia - Redstart Leonard Mosses	Pink Lantern Nyctaginia	80cm Ca.	A 6 shown	WB
CONIFEROUS TREES						
11	1	Pinus strobus	Scots Pine	80cm Ca.	A 6 shown	WB
SHRUBS						
65	1	Spirea japonica 'Snowmound'	Snowmound Spirea	400mm H.	A 6 shown	#3 Pd
30	1	Osier - hybridus	Willow Rock Rose	400mm H.	A 6 shown	#3 Pd
12	1	Hydrangea 'Preziosa'	Highland Hydrangea	400mm H.	A 6 shown	#3 Pd
23	1	Berberis buxifolia 'Yana'	Deer Berked Barbery	400mm H. peed	A 6 shown	#3 Pd
156	1	Phacelia opulenta 'Dona May' LITTLE DENT	Little Owl Hindback	400mm H.	A 6 shown	#3 Pd
24	1	Calluna vulgaris 'Spring Torch'	Heather	400mm H.	A 6 shown	#3 Pd
66	1	Urtica dioica	Deer Urtica	400mm H.	A 6 shown	#3 Pd
27	1	Salix purpurea 'Yana'	Deer Purple Osier	400mm H.	A 6 shown	#3 Pd
30	1	Spirea japonica 'Theresea'	Shibana Spirea	400mm H.	A 6 shown	#3 Pd
66	1	Sarcocolla bicolorata - digone Purple Star	Purple Star Deved Star	400mm H. peed	A 6 shown	#3 Pd
PERENNIALS, GRASSES, AND GRASSES						
122	1	Helianthus scaberrimus - Red-head Cocksfoot	Red-head Cocksfoot	1 00cm	A 6 shown	Pd/ed
25	1	Aster - 'Blue Bird'	Blue Bird Aster	1 00cm	A 6 shown	Pd/ed



PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
**19228 36 AVENUE
SURREY, BC**

DRAWING TITLE
ENLARGEMENT 3

SCALE: **1:200**

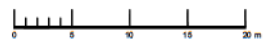
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CHECKED: **SW**

PROJECT NO.: **24-207L**

START DATE: **2024.01.06**

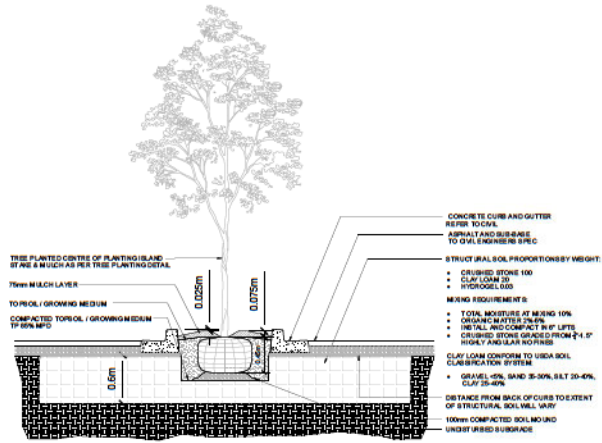
DRAWING NO.: **L1.12**



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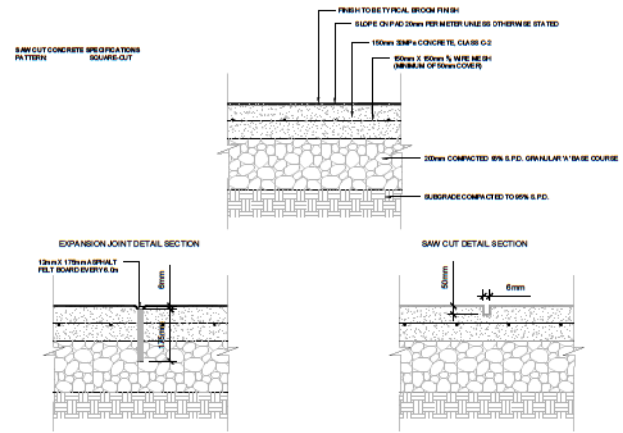


D1 BACKED BENCH N.T.S.
 MANUFACTURER: MAGLIN
 MODEL: 2001SERIES CONIC BACKED
 MATERIAL: CAST ALUMINUM AND PEWWOOD
 QUANTITY: 12
 OR APPROVED EQUAL



D4 STRUCTURAL SOIL N.T.S.

- NOTE:
- CONCRETE TO BE 30MPa CLASS C-2 AT 28 DAYS WITH 5% AIR ENTRAINMENT.
 - CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE BENCH.
 - EXPANSION JOINTS TO BE LOCATED AT EVERY 3000mm AND WHERE CONCRETE FINISH ADJUTS OTHER STRUCTURES OR BUILDINGS.
 - SAWCUT JOINTS TO BE LOCATED AT INTERVALS OF 500mm.
 - CONCRETE TO BE FINISHED WITH WHITE POLYMER CURING COMPOUND.
 - ALL DIMENSIONS ARE IN MILLIMETRES.



D5 SAW CUT CONCRETE N.T.S.



D2 BIKE RACK N.T.S.
 MANUFACTURER: DEFO
 PRODUCT: BIKE RACK
 COLOR: SEVERABLE
 QUANTITY: 3
 OR APPROVED EQUAL




D3 POLE LIGHT N.T.S.
 MANUFACTURER: LANDSCAPE FORMS
 MODEL: PROFILE COLUMN LIGHT
 QUANTITY: 4
 OR APPROVED EQUAL



D6 PLANTER N.T.S.
 MANUFACTURER: VICTOR STANLEY
 PRODUCT: 1000x LONG FIBREGLASS
 QUANTITY: 10
 OR APPROVED EQUAL

700 SERIES

MTB-0720-00002
Legacy #MLPT720-S



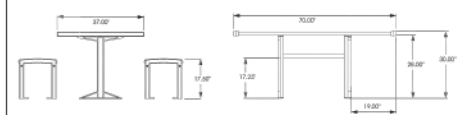
MATERIALS: This wheelchair accessible table top and accompanying bench seats (2) are manufactured using low wood slats. The table and bench frames are solid cast aluminum, H.S. steel tube and flat bar.

FINISH: All steel components are protected with E-Coat rustproofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces. Wood slats are finished with penetrating sealers.

INSTALLATION: The 700 Series Cluster Seating surface mount table is delivered pre-assembled. Benches come pre-assembled. Holes are provided in each foot for securing to base.

TO SPECIFY: Select MTB-0720-00002
 CHOOSE:
 - Powdercoat Color

TABLE HEIGHT: 31" (788mm) BENCH LENGTH: 60" (1524mm) BENCH WIDTH: 20" (508mm)



MAGLIN
5th Floor
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www.maglin.com
info@maglin.com

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D7 TABLE N.T.S.

6	20240204	ISSUED FOR IFC-CP
5	20240129	ISSUED FOR IFC-CP
4	20240110	ISSUED FOR BUILDING PERMIT
3	20240109	ISSUED FOR IFC-CP
2	20240129	ISSUED FOR IFC-CP
1	20240921	ISSUED FOR REVIEW

NO. DATE (MM/DD) DESCRIPTION:
 DRAWN APPROVED:
 SEAL:

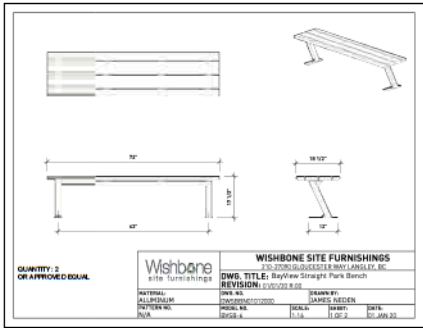
PROJECT NAME
**POLLYCO GROUP
 CAMPBELL HEIGHTS**

PROJECT ADDRESS
**19228 36 AVENUE
 SURREY, BC**

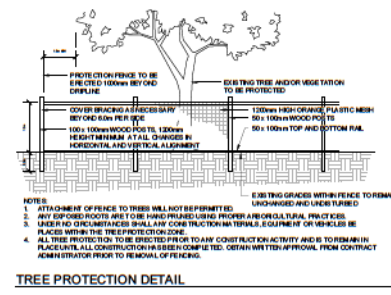
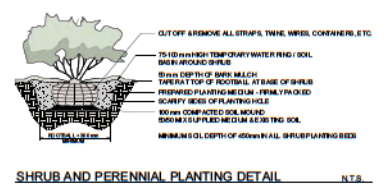
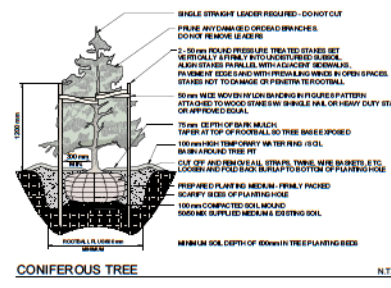
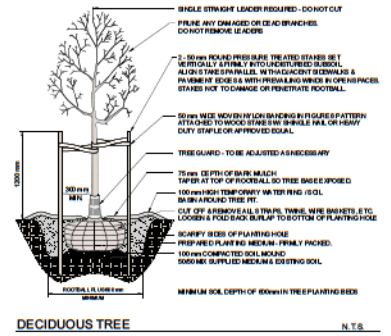
DRAWING TITLE
DETAILS

SCALE:	AS NOTED
DRAWN:	NA
CHECKED:	SW
PROJECT NO.:	24-207L
START DATE:	2024.01.08
DRAWING NO.:	L2

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D8 BACKLESS BENCH N.T.S.



0	20240204	ISSUED FOR PERMIT
1	20240209	ISSUED FOR PERMIT
2	20240210	ISSUED FOR PERMIT
3	20240210	ISSUED FOR PERMIT
4	20240210	ISSUED FOR PERMIT
5	20240210	ISSUED FOR PERMIT
6	20240210	ISSUED FOR PERMIT
7	20240210	ISSUED FOR PERMIT
8	20240210	ISSUED FOR PERMIT
9	20240210	ISSUED FOR PERMIT

NO.	DATE	ISSUED	DESCRIPTION
1	20240210	ISSUED FOR PERMIT	
2	20240210	ISSUED FOR PERMIT	
3	20240210	ISSUED FOR PERMIT	
4	20240210	ISSUED FOR PERMIT	
5	20240210	ISSUED FOR PERMIT	
6	20240210	ISSUED FOR PERMIT	
7	20240210	ISSUED FOR PERMIT	
8	20240210	ISSUED FOR PERMIT	
9	20240210	ISSUED FOR PERMIT	

PROJECT NAME

PROJECT ADDRESS

19028 36 AVENUE SURREY, BC

DRAWING TITLE

DETAILS

SCALE:	AS NOTED
DRAWN:	NA
CHECKED:	SW
PROJECT NO.:	24-071
START DATE:	2024.02
DRAWING NO.:	

L2.1

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TREE PRESERVATION SUMMARY

Surrey File Number:

19228 36 Av, Surrey

Address:

Arborist:

Alexander Groenewold

Date of Report/Revision:

28th October 2024

Arborist Signature



*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

<u>ONSITE TREES</u>		<u># of Trees</u>
Existing Bylaw Trees		<u>325</u>
Proposed Removed Bylaw Trees		<u>325</u>
Proposed Retained Bylaw Trees		<u>0</u>
Total Replacement Trees Required		
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio		
	Removed	Subtotal
	12 x 1	12
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio		
	Removed	Subtotal
	0 x 2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio		
	Removed	Subtotal
	313 x 2	626
Required Replacement Trees		<u>638</u>
Proposed Replacement Trees		<u>54</u>
Deficit of Replacement Trees		<u>584</u>
Total Onsite Retained and Replacement Trees		<u>54</u>

<u>OFFSITE TREES</u>		<u># of Trees</u>
Existing Bylaw Trees		<u>5</u>
Proposed Removed Bylaw Trees		<u>0</u>
Proposed Retained Bylaw Trees		<u>5</u>
Total Replacement Trees Required		
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio		
	Removed	
	0 x 1	0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio		
	Removed	
	0 x 2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio		
	Removed	
	0 x 2	0
Required Replacement Trees		<u>0</u>
*To be taken as cash-in-lieu		<u>0</u>
Total Offsite Retained Trees		<u>5</u>

<u>CITY TREES</u>	<u>Existing</u>	<u>Removed</u>	<u>Retained</u>
Park/City Lot Trees	0	0	0
Boulevard Trees	72	0	72
Total	72	0	72

TREE PRESERVATION BY LOCATION

Surrey File Number:

Address:

Arborist:

Date of Report/Revision:

19228 36 Av, Surrey

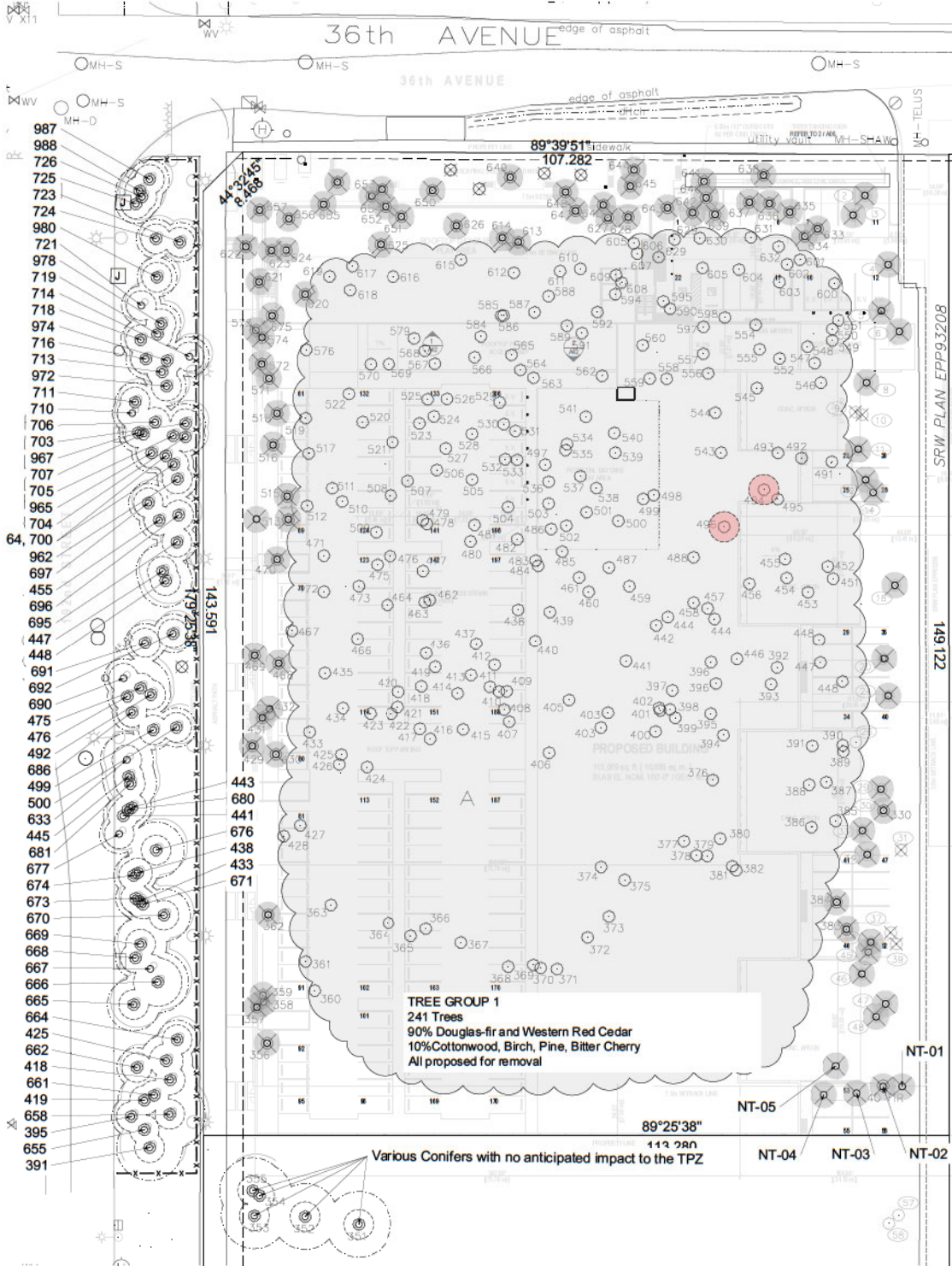
Alexander Groenewold

28th October 2024

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

ONSITE	<u>Alder & Cottonwood Trees</u>			
		Existing	Remove	Retain
	Alder/Cottonwood (outside riparian area)	12	12	0
	Alder/Cottonwood (within riparian area)			
	Total	12	12	0
	<u>Deciduous Trees</u> (excluding Alder & Cottonwood Trees)			
	Tree Species	Existing	Remove	Retain
	<i>Bitter Cherry</i>	3	3	0
	<i>Birch</i>	2	2	0
	Deciduous Subtotal	5	5	0
<u>Coniferous Trees</u>				
Tree Species	Existing	Remove	Retain	
<i>Douglas Fir</i>	177	177	0	
<i>Western Red Cedar</i>	128	128	0	
<i>Pinus sp</i>	1	1	0	
<i>Hemlock</i>	2	2	0	
Coniferous Subtotal	308	308	0	
Deciduous & Coniferous Total	313	313	0	
<u>Onsite Tree Totals</u>	<u>325</u>	<u>325</u>	<u>0</u>	
Onsite Replacement Trees Proposed *insert "0" if TBD or unknown				
Total Onsite Retained and Replacement Trees		0		

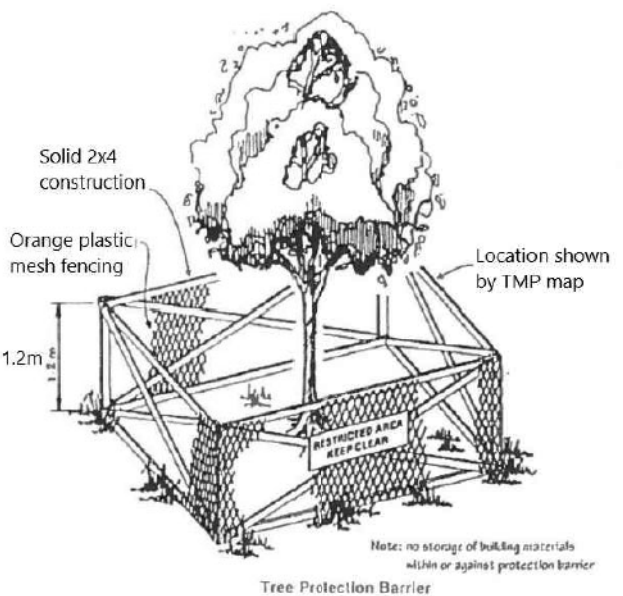
Alder & Cottonwood Trees				
OFFSITE		Existing	Remove	Retain
	Alder/Cottonwood (outside riparian area)			
	Alder/Cottonwood (within riparian area)			
	Total	0	0	0
Deciduous & Coniferous (excluding Alder & Cottonwood Trees)				
	Existing	Remove	Retain	
Tree Species				
<i>Notassessed due to distance(7.5m+) from PL (tag351 - 355)</i>	5			5
Deciduous & Coniferous Total	5	0		5
Offsite Tree Totals	5	0		5
Total Offsite Retained Trees	5			
CITY				
	Existing	Remove	Retain	
Park/City Lot Trees				
Boulevard Trees	72	0		72
Total	72	0		72



PROTECTING AND MANAGING TREES DURING CONSTRUCTION

1. Refer to the most recent arborist report for full details on recommendations, required protection and management of trees. Contact the undersigned consulting arborist if any questions arise
2. Tree Protection Fencing must be installed to municipal specifications prior to demolition, tree removal or construction work and be kept in good order until the completion of project or final landscaping. Consulting arborist to be contacted prior to Tree Protection Fencing removal.
3. The following activities are prohibited within the area enclosed by the Tree Protection Fencing unless specifically exempt by the consulting arborist:
 - a. Excavation, trenching, stump grinding, stump removal or subsurface work,
 - b. Grade alteration,
 - c. Storage of any construction material or demolition debris,
 - d. Parking or storage of vehicles or machinery,
 - e. Installation of parking, sidewalk, curbing, asphalt or building, or
 - f. Contamination of soil by processes of washing, dumping or cleaning out materials (Especially concrete, or oil based materials) within the Tree Protection Fencing or in a location such as to allow the contaminants to flow into the area designated by the Tree Protection Fencing.
4. Within the Arborist Supervision Zone, outside of the Tree Protection Fencing:
 - a. Excavation, trenching, stump grinding, stump removal or subsurface work can proceed only under the supervision of the consulting arborist,
 - b. All activities prohibited within the Tree Protection Fencing (See 3. above) should be minimized where possible within the Arborist Supervision Zone.
 - c. Consulting arborist to be contacted minimum 48 hours prior to required supervision.

NOTE:
 All Trees shown outside Tree Group 1 were individually assessed for potential retention.
NO SUITABLE CANDIDATES WERE FOUND.
 Assessment Details can be found in Tree Inventory - Table 1 in the latest Arborist Report Package



- LEGEND**
- EXISTING TREE PROPOSED FOR REMOVAL
 - EXISTING TREE TO BE RETAINED
 - UNDERSIZE TREE
 - TREE PROTECTION FENCING
 - ARBORIST SUPERVISION ZONE
 - TREE TAG NO. 19
 - UNSURVEYED TREE TAG NO. 19+
 - CRITICAL ROOT ZONE
 - TREE PROTECTION ZONE (LARGER OF CRZ OR DRIP LINE)
 - HAZARD PRESENT
 - TREE ON SURVEY NOT VISIBLE ON SITE

Assessment Done May 27, 2024
 By Alexander Greenwell,
 I.S.A. TRAQ

PROJECT NAME:	POLLYCO INDUSTRIAL
PROJECT ADDRESS:	3550 192nd Street, Surrey, BC
DRAWING TITLE:	TREE MANAGEMENT PLAN - OVERALL
SCALE:	AS SHOWN AT ARCH NO. 22
DRAWN BY:	AG
CHECKED BY:	MP
PROJECT NO.:	3550-1-1
DRAWING NO.:	T1

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CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0159-01

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-873-177
 Lot A Section 27 Township 7 New Westminster District Plan EPP93207
 19228 – 36 Avenue
 (the "Land")
3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection E. Lot Coverage of Part 47A Business Park 1 Zone, the maximum lot coverage is increased from 60% to 64%;

- (b) In Subsection F. Yards and Setbacks of Part 47A Business Park 1 Zone, the minimum rear (south) setback is reduced from 7.5 metres to 0.0 metres to the principal building face; and
 - (c) In Subsection G. Height of Buildings of Part 47A Business Park 1 Zone, the maximum building height for principal buildings is increased from 14 metres to 18 metres.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

11	20080212	RE ISSUED FOR DEVELOPMENT PERMIT
10	20080110	RE ISSUED FOR DEVELOPMENT PERMIT
9	20080104	RE ISSUED FOR DEVELOPMENT PERMIT
8	20080128	RE ISSUED FOR DEVELOPMENT PERMIT
4	20081025	RE ISSUED FOR DEVELOPMENT PERMIT
3	20081022	RE ISSUED FOR DEVELOPMENT PERMIT
2	20080619	ISSUED FOR DEVELOPMENT PERMIT
1	20080531	ISSUED FOR DEVELOPMENT PERMIT

PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
1922B - 38 AVENUE
SURREY, BC V3S 0L5

DRAWING TITLE:
SITE PLAN

SCALE: As indicated
DRAWN: MB
REVIEWED:
PROJECT NO: 24821A
DRAWING NO:

ZONING BY-LAW ANALYSIS

PROJECT DATA

OWNER ADDRESS: 1152B - 38 AVENUE, SURREY, BC BUILDING USE: LIGHT INDUSTRIAL
LEGAL ADDRESS: K, 117166 SF 1152803 SF

IB1 - ZONING BY-LAW ANALYSIS (CITY OF SURREY)

1. ZONING: IB1 - INDUSTRIAL BUSINESS PARK ONE
2. SITE AREA: K, 81,161 SF (1,861 SQM) 115,025,541 SF (116,444 SQM)

3. SITE COVERAGE - BUILDING AREA	BUILDING FOOTPRINT AREA CALCULATIONS	BUILDING AREA	MINIMUM SITE COVERAGE
SOFT	SOFT	%	SOFT
16,014 SF	115,025 SF	68.1%	10,146 SF
			66.0%

GROSS FLOOR AREA CALCULATIONS	OCCUPANCY	FLOOR AREA	F.A.R. CALCULATIONS	
			PROPOSED	ALLOWABLE
MEZZ FLOOR	D	1,074.1 SF	11,403.51 SF	1.0
MEZZANINE	D	1,074.1 SF	12,093.54 SF	1.0
SECOND FLOOR	D	1,084.7 SF	11,403.51 SF	1.0
THIRD FLOOR	A2	1,085.7 SF	11,403.51 SF	1.0
FOURTH FLOOR	A2	1,084.5 SF	11,403.51 SF	1.0
DAYCARE ROOM ACCESS	A2	28.0 SF	308.59 SF	1.0
TOTAL		4,107.2 SF	101,016.57 SF	1.0

4. BUILDING HEIGHT: MAXIMUM HEIGHT: 14.66 m (48.5 FT) PROPOSED HEIGHT: 17.68 m (58.0 FT) EAV REQUIRED: 1.0 m (3.3 FT)

5. REQUIRED SETBACKS: REQUIRED: PROVIDED: FRONT (MCHG): 7.5 m (24.6 FT) 7.5 m (24.6 FT) SIDE (W/ADJ): 7.5 m (24.6 FT) 7.5 m (24.6 FT) SIDE (W/ADJ): 3.0 m (11.8 FT) 3.0 m (11.8 FT) REAR (W/ADJ): 7.5 m (24.6 FT) 7.5 m (24.6 FT)

6. LANDSCAPING REQUIREMENTS: LANDSCAPING AREA, LANDSCAPING SPECIES, AND PERCENTAGE COMPLIANT WITH CITY OF SURREY BY-LAW REQUIREMENTS.

7. VEHICLE WINDING AND LOADING: REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS UNLESS NOTED OTHERWISE.

VEHICLE PARKING REQUIREMENT CALCULATIONS

LEVEL	CLASSIFICATION	BY-LAW DEFINITION	CALCULATION METHOD	LOCAL BY-LAW REQUIREMENTS		PERCENTAGE OF SPACES	AREA (SQM)	SPACES PROVIDED
				GROSS AREA (SQM)	(SQM)			
MAIN FLOOR	INDUSTRIAL	1 SPACE FOR EACH 100.00 SF (27.68 SF)	GROSS AREA	10,377.86 SF	103,778 SF	100	1	100.00 SF (108.50 SQM)
MAIN FLOOR	OFFICE	2 SPACES FOR EACH 100.00 SF (27.68 SF)	GROSS AREA	88.86 SF	1,551.11 SF	100	0	0.00 SF (0.00 SQM)
MEZZANINE	OFFICE	2 SPACES FOR EACH 100.00 SF (27.68 SF)	GROSS AREA	1,174.1 SF	2,073.54 SF	100	2.5	100.00 SF (108.50 SQM)
SECOND FLOOR	OFFICE	2 SPACES FOR EACH 100.00 SF (27.68 SF)	GROSS AREA	1,084.7 SF	11,403.51 SF	100	2.5	100.00 SF (108.50 SQM)
				2,888.7 SF	52,446.17 SF			108.50

CHILD CARE FACILITY: 676 STALLS PER EMPLOYEE 61 STALLS PER CHILD DROP OFF 246.15 STALLS
TOTAL PARKING STALLS REQUIRED: 206,028.83 STALLS REQUIRED
10% PARKING REDUCTION: +20,602.88 STALLS RED

VEHICLE PARKING PROVIDED	NO. OF SPACES
PARKING TYPE	15
ACCESSIBLE PARKING	4
SMALL CAR	4
STANDARD PARKING - EV	13
TOTAL PARKING SPACES PROVIDED	36

STALL DIMENSIONS	STALL WIDTH	STALL LENGTH
TANDEM PARKING STALL	2.00 m (6.57 ft)	5.50 m (18.04 ft)
PARALLEL STANDING STALL	2.00 m (6.57 ft)	6.00 m (19.68 ft)
ACCESSIBLE STALL	2.00 m (6.57 ft)	6.70 m (22.00 ft)
SMALL CAR STALL MAX. 10%	2.00 m (6.57 ft)	5.50 m (18.04 ft)
LOADING STALL	4.00 m (13.12 ft)	8.20 m (26.90 ft)
DRIVE AHEAD WIDTH:	7.00 m (22.97 ft) (TWO WAY)	

LOADING CALCULATION: LOADING SPACE ADJACENT TO EACH OVERHEAD DOOR OF THE BUILDING

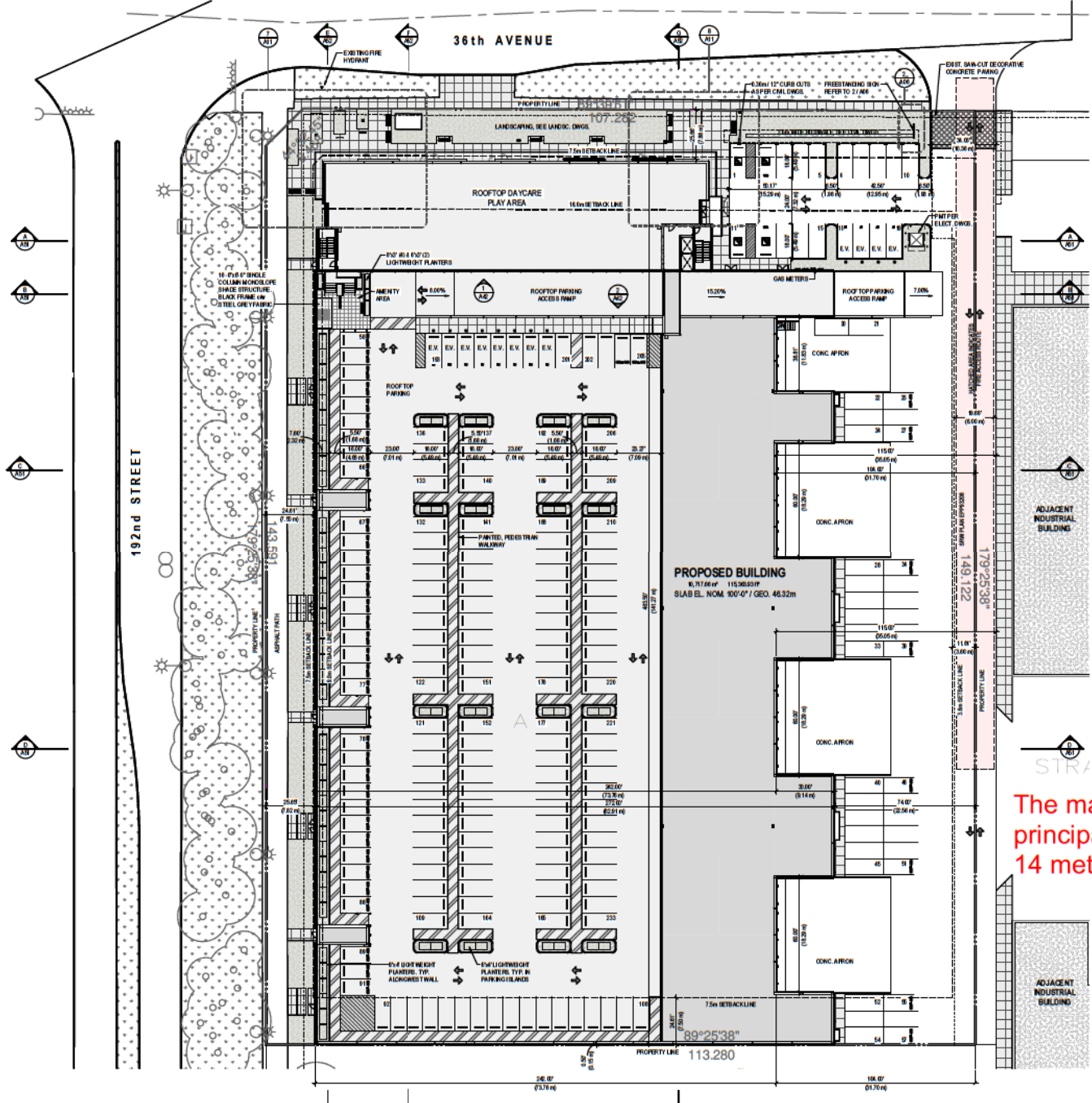
8. BICYCLE PARKING: REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS UNLESS NOTED OTHERWISE.

INDUSTRY LIGHT IMPACT - BICYCLE PARKING REQUIREMENTS NOT APPLICABLE PER TABLE D.1 OF SECTION 5

The maximum building height for principal buildings is increased from 14 metres to 18 metres

The minimum rear (south) setback is reduced from 7.5 metres to 0.0 metres to the principal building face

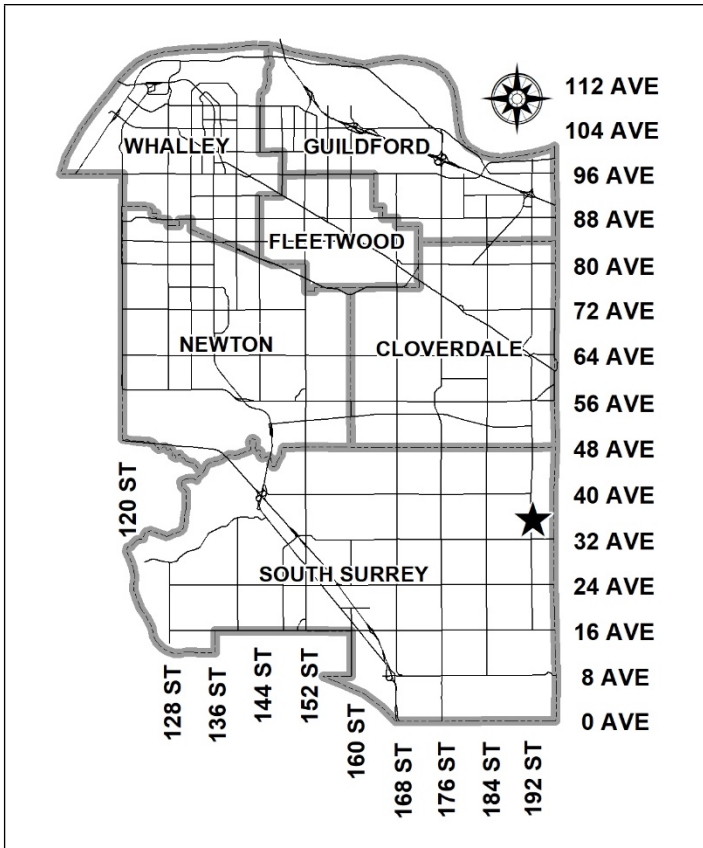
1 SITE PLAN
SCALE: 1:50



City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0159-00

Planning Report Date: November 04, 2024



PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

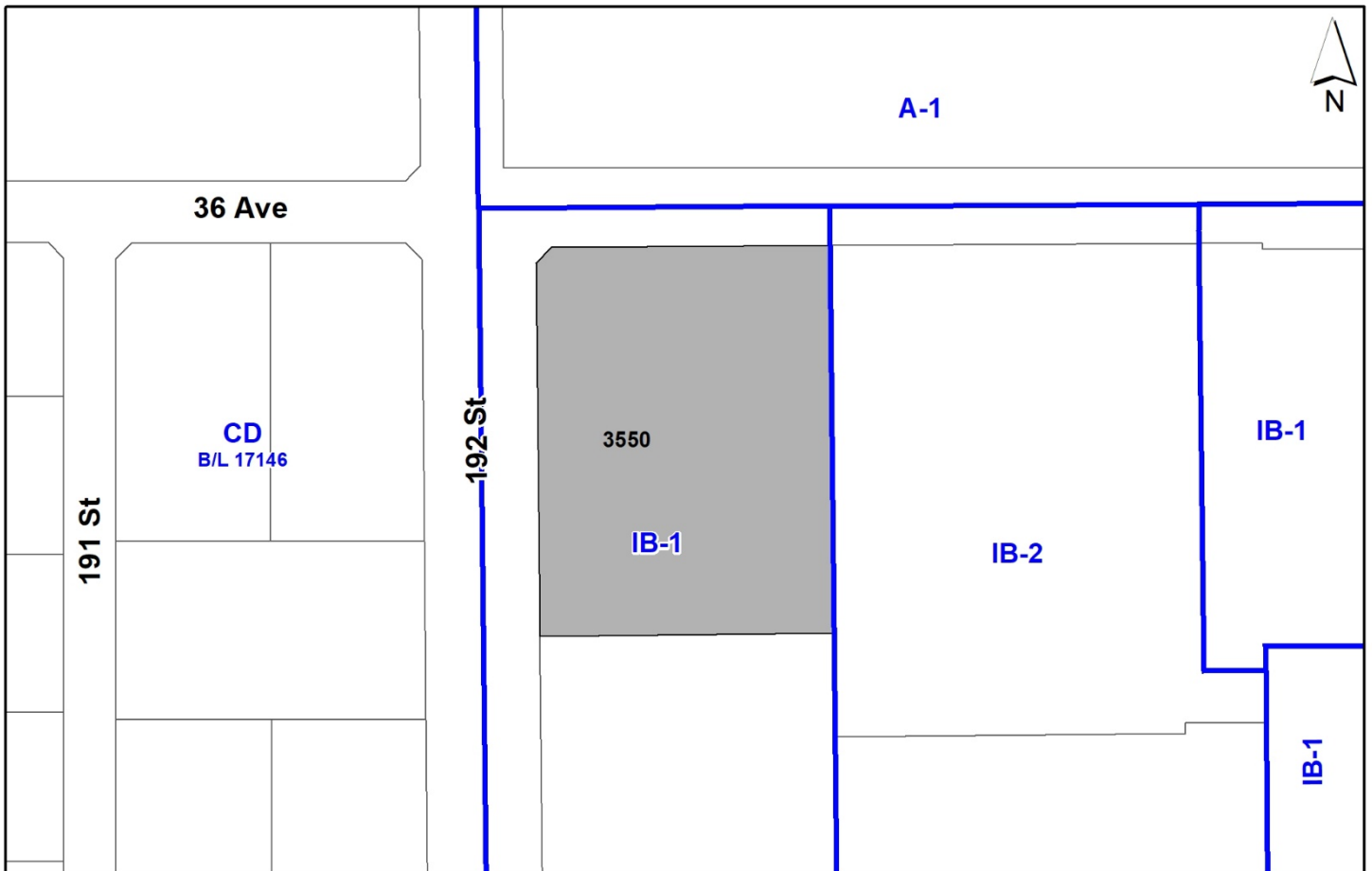
to permit the development of a multi-tenant industrial building with a daycare facility for 260 children.

LOCATION: 3550 192 Street

ZONING: IB-1

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park, Business Park (Office) and Landscape Strip



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to increase the lot coverage and building height, and to reduce the building setback requirements of the IB-1 Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Park, Business Park (Office) and Landscape Strip designation in the Campbell Heights Local Area Plan (LAP).
- The proposal complies with the Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building setback reduction is adjacent to a proposed drive aisle on the adjacent site and will have no impact on their operation.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposal is comprised of one large multi-tenant building, with two street interfaces and loading along the east setback.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7924-0159-00 generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7924-0159-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to increase the maximum lot coverage of the IB-1 Zone from 60% to 64%;
 - (b) to reduce the minimum rear yard (south) setback of the IB-1 Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (c) to increase the maximum building height of the IB-1 Zone allowed from 14 metres to 16 metres for the principal building.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Vacant treed lot	Business Park, Business Park (Office) and Landscape Strip	IB-1
North (Across 36 Avenue):	Farmland	Technology Park/Business Park (Office) and Landscape Strip	A-1

Direction	Existing Use	LAP Designation	Existing Zone
East:	Sumitomo Drive Technology (industrial building)	Business Park and Landscape Strip	IB-2
South:	Vacant treed lot, under Development Application No. 7923-0212-00 for a multi-tenant industrial site.	Business Park, Business Park (Office) and Landscape Strip	IB-1
West (Across 192 Street):	Hayer Business Centre	Business Park and Landscape Strip	CD (By-law Nos. 17146 and 17934)

Context & Background

- The subject property is 1.69 hectares (4.18 acres), designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park", "Business Park (Office)" and "Landscape Strips" in the Campbell Heights Local Area Plan (LAP) and zoned "Business Park 1 Zone (IB-1)". The property is located at the southeast corner of the intersection of 192 Street and 36 Avenue.
- The site was rezoned and subdivided, with a General Development Permit as part of previous Development Applications No. 7907-0326-00 and 7918-0139-00.
- The site is currently vacant and heavily treed. The site is mainly flat with minimal slope.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to develop a multi-tenant industrial building with a daycare facility, under the existing "Business Park 1 Zone (IB-1)". The proposal includes 10,689 square metres of industrial facility, with a 3,352 square metres of daycare. The total Floor Area Ratio (FAR) is 0.83, with 63.22% lot coverage.
- The daycare is proposed on the second and third floors of the corner unit, with the outdoor play space on the rooftop. The capacity of the daycare is 260 children. The outdoor play area can accommodate 130 children at a time, with a total space of 882 square metres of outdoor play area. There is no operator yet, so once an operator is selected, they will propose a Tenant Improvement and will provide the details of the programming. For the parking calculation, the applicant has assumed 4 classes of 25 children (3-5 years old), 4 classes of 16 (3-5 years old), 4 classes of 12 (1-3 years old) and 4 classes of 12 (0-1 year old). This would require 46 staff, which is the number used for the parking calculation.

- No road dedication is required, and the site is proposed to be accessed from 36 Avenue.

	Proposed
Lot Area	
Gross/Net Site Area:	16,901.16 square metres (4.18 acres)
Number of Lots:	1
Building Height:	15.85 metres
Floor Area Ratio (FAR):	0.83
Floor Area	
Commercial:	3,352 square metres
Industrial:	10,689 square metres
Total:	14,042 square metres

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Parks, Recreation & Culture: Latimer Park is the closest active park with amenities, including dog off-leash area, trails, and natural areas. It is 1,455 metres walking distance from the development.

Surrey Fire Department: No concerns.

Transportation Considerations

- The application required no road dedication. Access is proposed from 36 Avenue to the north, with a small parking lot at grade, some tandem employee parking between loading bays, and the majority of the parking as a roof top parking lot accessed by a ramp.
- The proposed truck loading bays are located on the eastern portion of the site, and are screened from 192 St by the building, and from 36 Avenue by the parking ramp behind the surface parking.

Sustainability Considerations

- The applicant has met the majority of the sustainable development criteria, as indicated in the Sustainable Development Checklist; however, the applicant does not propose to meet the Climate Adaptation Strategy policy for a green roof or a high-albedo roof, which is typically considered to have a Solar Radiance Index (SRI) value of 75.
- The purpose of a high-albedo roof is to reduce the internal building temperatures by reflecting the sun and also to contribute to a lower overall heat island effect, which is an increase in the overall temperature of a developed area.

- Instead, the applicant proposes an EPDM roof system with light grey washed river worn rock, with a Solar Radiance Index value of between 50 and 65 over the warehouse area. The roof top parking area will either be concrete or have a traffic coating on it.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development has attractive elevations along 192 Street and 36 Avenue with expansive two-level spandrel glazing at the corner. There is also a public amenity at the NW corner).

- B6.9 – Create opportunities for interactive and enjoyable public plazas by using furniture, banners, signs, interactive public art, heritage interpretation, paving patterns, vibrant colours and other "placemaking" design elements.

(The proposed development includes a plaza at the northwest corner of the site, with benches and an amenity space).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

(Site access and loading bays have been designed and located to minimize views from the public realm and to allow for the building to be used as screening for portions of the site. The loading area is accessed from 36 Avenue, with the parking ramp as screening to the north).

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 36 Avenue, Highway 15, 192 Street and international border crossings).

Secondary Plans

Land Use Designation

- The proposal complies with the Business Park, Business Park (Office) and Landscape Strip designation in the Campbell Heights Local Areas Plan (LAP) as follows:

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates expansive two-level spandrel glass at the intersection corner and along 192 Street frontage).

- 6.5.1.4 – Design Guidelines: Business Park – Variations in massing and changes in height and horizontal planes are encouraged.

(The proposed development incorporates a variation in building height at the unit entrances, and the intersection corner has a detail with spandrel glass).

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed building is architecturally coordinated with a modern appearance that promotes harmony by using consistent cladding materials, glazing, and landscaping).

Zoning By-law

- The applicant proposes to develop the site under the existing "Business Park 1 Zone (IB-1)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 1 Zone (IB-1)" and parking requirements.

IB-1 Zone (Part 47A)	Permitted and/or Required	Proposed
Floor Area Ratio:	1.0	0.83
Lot Coverage:	60%	64% (DVP)
Yards and Setbacks		
North:	7.5 metres	7.5 metres
East:	3.6 metres	22 metres
South:	7.5 metres	0.0 metres (DVP)
West:	7.5 metres	7.5 metres
Height of Buildings		
Principal buildings:	14 metres	15.85 metres (DVP)
Accessory buildings:	6 metres	n/a
Parking (Part 5)	Required	Proposed
Number of Stalls		

IB-1 Zone (Part 47A)	Permitted and/or Required	Proposed
Commercial:	62	62
Industrial:	107	105
Total:	205	203 (no variance required, alternate hours of operation)

Setback/Height/Lot Coverage Variances

- The applicant is requesting the following variances:
 - (a) to increase the maximum lot coverage of the IB-1 Zone from 60% to 64%
 - (b) to reduce the minimum rear yard (south) setback of the IB-1 Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (c) to increase the maximum building height of the IB-1 Zone allowed from 14 metres to 16 metres.
- The proposal includes rooftop parking, and a denser utilization of the site. Staff supports densification of mixed employment lands, and the proposed increase in lot coverage from 60% to 64%.
- The proposed rear yard setback variance has no interface impact on adjacent use (future industrial), and allows for more efficient use of employment land.
- The increased building height supports the access to the roof top parking and the elevator access. This also allows access to the rooftop daycare outdoor play area. The proposed height increase from 14 metre to 16 metres is supported by staff.
- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- Development Proposal Signs were installed on October 16, 2024. Staff received no responses.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to enhance certain areas of the rooftop landscaping and adjust the signage to a more human scale.

- The general site design consists of one large multi-tenant industrial building, with a daycare facility. A 7.5 metre wide landscaping strip is proposed along 192 Street. Along 36 Avenue, the landscaping is 7.5 metres wide along the building frontage, and 6 metres wide in front of the small surface parking lot adjacent to the driveway.
- The longitudinal length of the building along 192 Street softened by the corner feature where three-storey offices are proposed, and the building height is increased with expansive use of spandrel glass. There are also details in green to break up the large grey scale of the building.
- Signage is proposed for each individual unit, as well as one free-standing sign with the complex name and address is proposed adjacent to the driveway on 36 Avenue.

Landscaping

- The proposed landscaping consists of 7.5 metre wide landscape buffers along 192 Street and a 7.5 metre landscape buffer along 36 Ave fronting the building, and 6.0 metre wide landscape buffer along 36 Avenue, fronting the surface parking.
- A publicly accessible plaza with seating is proposed at the northwest corner of the site.
- Rooftop parking is proposed with additional landscaping along the western edge, facing 192 Street, as well as along the walkways within the parking area. A reduction from typical surface parking landscape was allowed on the rooftop, in consideration of the additional soil and landscaping would add to the roof.
- When a childcare facility operator is selected, detailed design of the rooftop outdoor play area will be provided.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include minor changes to the landscaping and signage.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Alexander Groenewold, ISA Certified Arborist of KM Civil Urban Forestry prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix III):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood	12	12	0
Deciduous Trees	5	5	0
Coniferous Trees	308	308	0
Onsite Tree Totals	325	325	325
Onsite Replacement Trees Proposed	58		
Total Onsite Retained and Replacement Trees	58		

- The Arborist Assessment states that there are a total of 325 bylaw protected trees on the site. Additionally, there are 5 bylaw protected offsite trees and 72 bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain all 77 offsite trees, and remove all 325 trees onsite. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 638 replacement trees on the site. Since the proposed 58 replacement trees cannot be accommodated on the site, the proposed deficit of 580 replacement trees will require an estimated cash-in-lieu payment of \$172,425, to the Green City Program, in accordance with the City’s Tree Protection By-law, based on a maximum payment of \$41,250 per gross acre.
- The new trees on the site will consist of a variety of trees including Sun Valley Red Maple, Japanese Zelkova, Sourwood, Japanese Emperor Maple, Pink Lobner Magnolia, Serbian Spruce and a variety of shrubs and grasses.
- In summary, a total of 58 trees are proposed to be retained or replaced on the site with an estimated contribution of \$172,425 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix IV. Development Variance Permit No. 7924-0159-00

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development



POLLYCO GROUP - CAMPBELL HEIGHTS

3550 - 192nd STREET, SURREY, BC



KPA PROJECT No. 24021A
PROJECT TEAM

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PRINCIPAL IN CHARGE: LARRY POLIOWA, ARCHITECT AIBC, MWAC

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LANDSCAPE
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PHONE: 604.852.8351
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PROJECT MANAGER: JESSICA THIBSEN

SHEET LIST

- ARCHITECTURE
- AR COVER
- A2 PERISPECTIVES
- A3 PERISPECTIVES
- A4 RENDERINGS
- A5 RENDERINGS
- A6 RENDERINGS
- A7 RENDERINGS
- A8 SITE PLAN
- A11 SITE DETAILS
- A12 SITE PLAN - BASE
- A13 CONTEXT PLAN
- A15 MAIN FLOOR
- A16 SECOND FLOOR
- A17 THIRD FLOOR
- A18 ROOF PLAN
- A19 BUILDING ELEVATIONS
- A20 BUILDING ELEVATIONS
- A21 BUILDING SECTIONS
- A22 BUILDING SECTIONS

D.R.
C.I.

LANDSCAPE
L1



ABOTSFORD • EDMONTON • VANCOUVER • TORONTO

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- 1 2024.10.18 RE-USED FOR DEVELOP. PERMIT

NO DATE, NAME, OR DESIGNATION

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SCALE

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2024.10.25: 100% (100%)
 2024.10.22: 100% (100%)
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NORTHWEST AERIAL PERSPECTIVE



NORTHEAST AERIAL PERSPECTIVE



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ISSUES AND REVISIONS			
REAL			

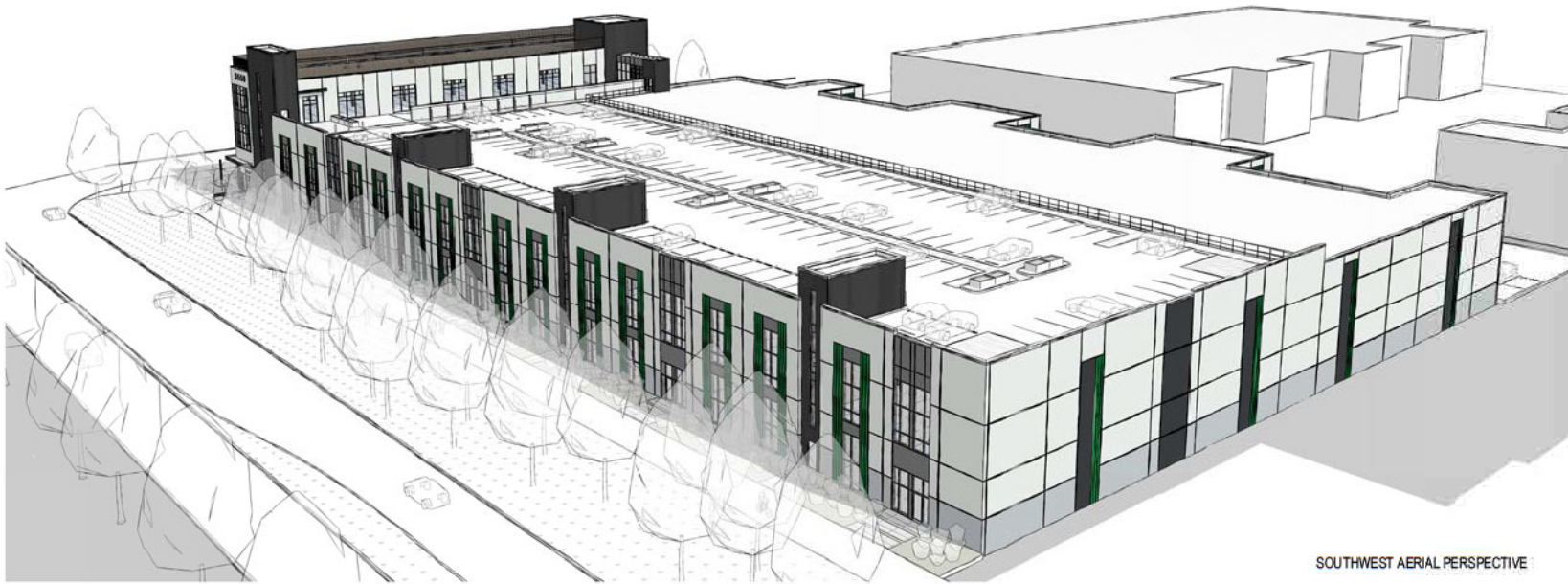
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CAMPBELL HEIGHTS**

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PERSPECTIVES

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REVIEWED	
PROJECT NO.	24851A
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SOUTHWEST AERIAL PERSPECTIVE



SOUTHEAST AERIAL PERSPECTIVE



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1	2006.05.11	REQUIRED FOR DEVELOP PERMIT	

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CAMPBELL HEIGHTS**

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SURREY, BC V3S 0L5**

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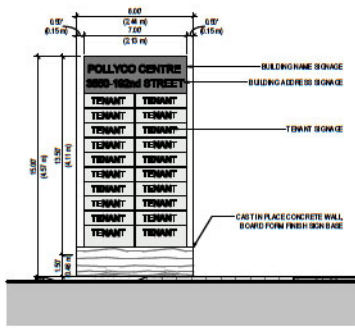
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**POLLYCO GROUP
CAMPBELL HEIGHTS**

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SURREY, BC V3S 0L5

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PROJECT NO.	24051A
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CITY OF SURREY SIGN BY-LAW

- FREESTANDING SIGN
- 50 TYPICAL MINIMUM 2.0m (6' 6")
- COVER AREA - MAX SIGNING 20 sq. m. (210 sq. ft.) DOUBLE FACED SIGN
- MAXIMUM HEIGHT - 4.5m (15' 0")

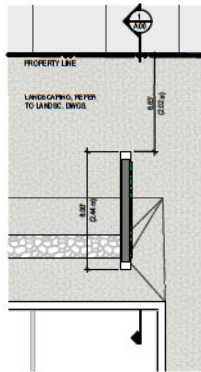
1 FREESTANDING SIGN - NORTH ELEVATION

SCALE 1/8" = 1'-0"



3 INDUSTRIAL TENANT SIGNAGE

SCALE 1/8" = 1'-0"



2 FREESTANDING SIGN PLAN

SCALE 1/8" = 1'-0"



NO.	DATE	BY	DESCRIPTION
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3	2006.10.02		REVISED FOR DEVELOP. PERMIT
2	2006.06.19		REVISED FOR PERMIT
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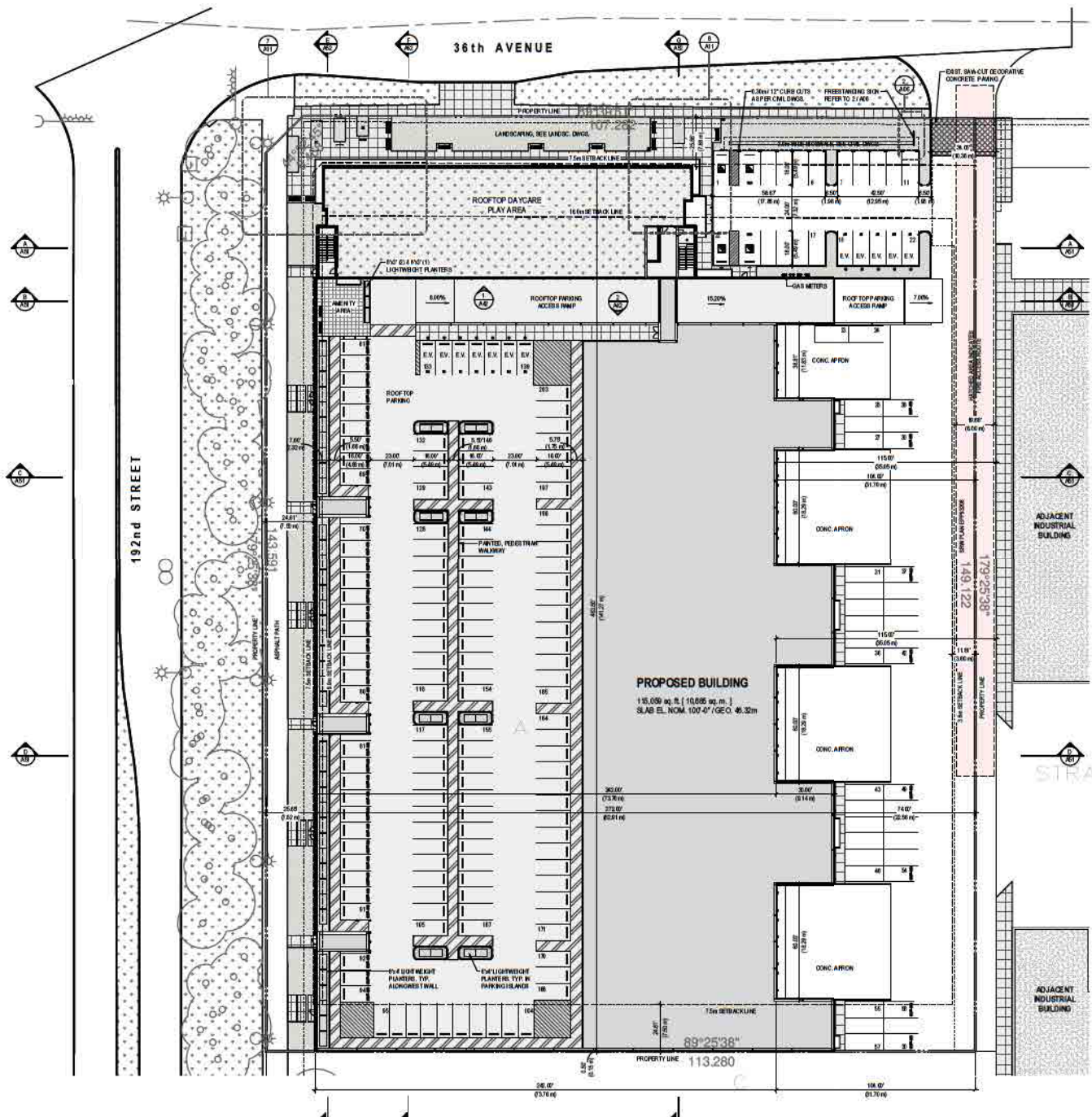
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CAMPBELL HEIGHTS

PROJECT ADDRESS
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SURREY, BC V3S 0L5

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SIGNAGE

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REVIEWED	
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A06



ZONING BY-LAW ANALYSIS

PROJECT DATA
 QVC ADDRESS: 366 192nd STREET, SURREY, BC BUILDING USE: LIGHTINDUSTRIAL
 LEGAL ADDRESS:
 DT AREA: 8,911.64 sq ft (160 hectares) (61,922,541 ft²) (110 acres)
 ZONING: B1 - INDUSTRIAL BUSINESS PARK CNE

B1 - ZONING BY-LAW ANALYSIS (CITY OF SURREY)

1. ZONING: B1 - INDUSTRIAL BUSINESS PARK CNE
 2. SITE AREA: 8,911.64 sq ft (160 hectares) (61,922,541 ft²) (110 acres)
 3. SITE COVERAGE: 18.08 sq ft (1,688 sq m)
 TOTAL SITE COVERAGE: 18.08 sq ft (1,688 sq m) OR 0.22% MAXIMUM ALLOWABLE = 10%
 DWP REQUIRED

4. BUILDING HEIGHT: 14.66 m (48.37')
 MAXIMUM HEIGHT: 21.30 m (69.71')
 PROPOSED HEIGHT: DWP REQUIRED

5. REQUIRED SETBACKS:
 FRONT (FEET/INCHES): 7.50 m (24.61') / 7.50 m (24.61')
 REAR (FEET/INCHES): 7.50 m (24.61') / 7.50 m (24.61')
 SIDE (FEET/INCHES): 3.00 m (9.84') / 3.00 m (9.84')
 REAR YARD (FOOTING): 7.50 m (24.61') / 6.15 m (20.18') (DWP REQUIRED)

6. LANDSCAPING REQUIREMENTS:
 LANDSCAPING: PLANTING AND SCREENING, AND FENCING SHALL COMPLY WITH CITY OF SURREY BY-LAW REQUIREMENTS.

7. VEHICLE PARKING AND LOADING:
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATION, UNLESS NOTED OTHERWISE.

LIGHT IMPACT INDUSTRIAL: 1 STALL PER 100 sq m GFA 10.00 sq ft (1,076 sq ft) - 108 STALLS
 OFFICE (MEZZANINE + SECOND): 22 STALL PER 100 sq m GFA 13.20 sq ft (1,478 sq ft) x 15 - 362 STALLS

CHILD CARE FACILITY: 0.8 STALLS PER EMPLOYEE # EMPLOYEES = 670 - 322 STALLS
 DISCREET THREE FLOORS: 0.8 STALLS PER CHILD CROP OFF 246 x 15 - 362 STALLS

TOTAL PARKING STALLS REQUIRED: 1,032 STALLS
 VEHICLE PARKING PROVIDED: 333 STALLS
 TOTAL PARKING PROVIDED: 333 STALLS
 DWP REQUIRED

PARKING TYPE	No. of SPACES
ACCESSIBLE PARKING	4
SMALL CAR	6
STANDARD PARKING	MS
STANDARD PARKING - EV	0
TOTAL PARKING SPACES PROVIDED	333

STALL DIMENSIONS	STANDARD STALL	SMALL CAR	ACCESSIBLE
STANDARD STALL	2.00 m (6.56') W x 5.50 m (18.04') L	2.00 m (6.56') W x 4.00 m (13.12') L	2.00 m (6.56') W x 4.00 m (13.12') L
PARALLEL STANDARD STALL	2.00 m (6.56') W x 8.00 m (26.25') L	2.00 m (6.56') W x 6.00 m (19.68') L	2.00 m (6.56') W x 6.00 m (19.68') L
ACCESSIBLE STALL	2.00 m (6.56') W x 5.50 m (18.04') L	2.00 m (6.56') W x 4.00 m (13.12') L	2.00 m (6.56') W x 4.00 m (13.12') L
SMALL CAR STALL (MAX X CONC)	2.00 m (6.56') W x 4.00 m (13.12') L	2.00 m (6.56') W x 4.00 m (13.12') L	2.00 m (6.56') W x 4.00 m (13.12') L
LOADING STALL	4.00 m (13.12') W x 5.50 m (18.04') L		
DRIVE-ABLE WITH:	7.00 m (22.97') W x 4.00' (DWP W/ST)		

LOADING CALCULATION:
 LOADING SPACE ADJACENT TO EACH OVERHEAD DOOR OF THE BUILDING

8. BICYCLE PARKING:
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATION, UNLESS NOTED OTHERWISE.

INDUSTRY LIGHT IMPACT - BICYCLE PARKING REQUIREMENTS NOT APPLICABLE PER TABLE 1.1 OF SECTION 6

GROSS FLOOR AREA

MAIN FLOOR LIGHT INDUSTRIAL	18,688 sq ft (1,728 sq m)
MEZZANINE	12,895 sq ft (1,196 sq m)
SECOND FLOOR DAYCARE	11,955 sq ft (1,107 sq m)
THIRD FLOOR DAYCARE	11,955 sq ft (1,107 sq m)
TOTAL GROSS FLOOR AREA	55,493 sq ft (5,138 sq m)
DENSITY:	19,888 GROSS (MAX ALLOWABLE = 19)

1 SITE PLAN
 SCALE: 1:50



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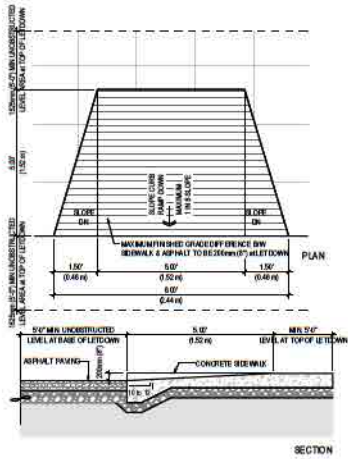
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 POLLYCO GROUP
 CAMPBELL HEIGHTS

PROJECT ADDRESS:
 3650 - 192ND STREET
 SURREY, BC V3S 0L5

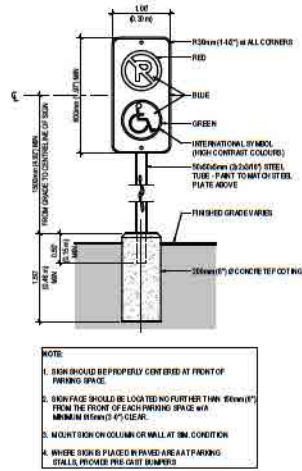
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 SITE PLAN

NO.	DATE	REVISION
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3	2024.05.15	ISSUED FOR PERMIT
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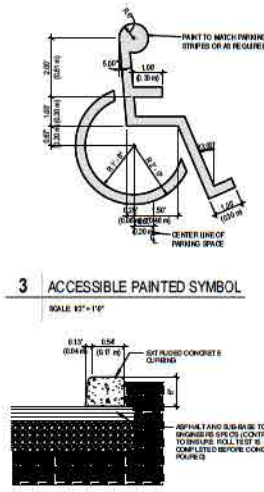




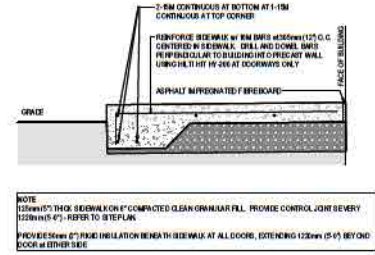
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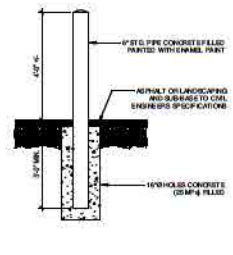
2 ACCESSIBLE POST MOUNTED SIGN
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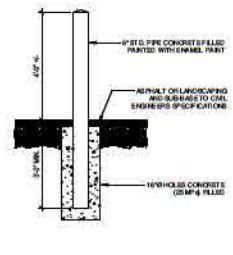
3 ACCESSIBLE PAINTED SYMBOL
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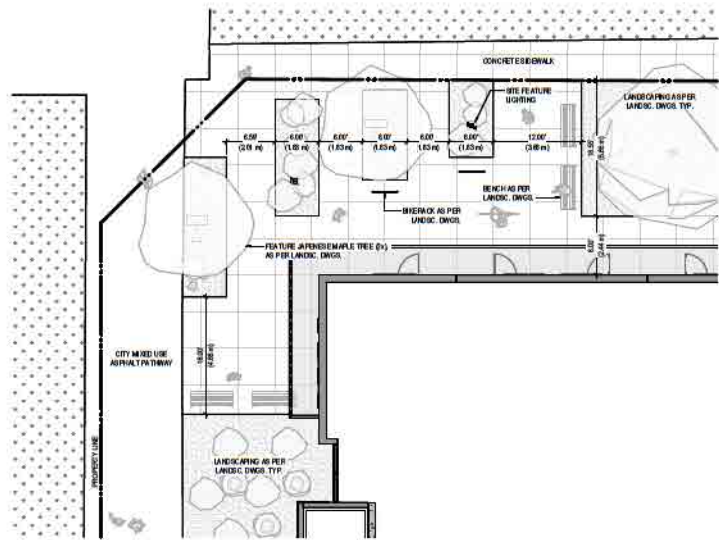
4 EXTRUDED CURB DETAIL
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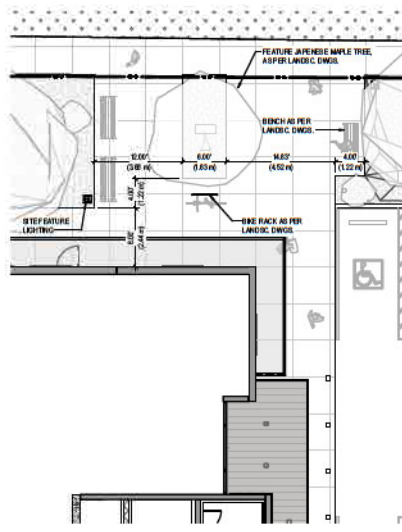
5 SIDEWALK DETAIL
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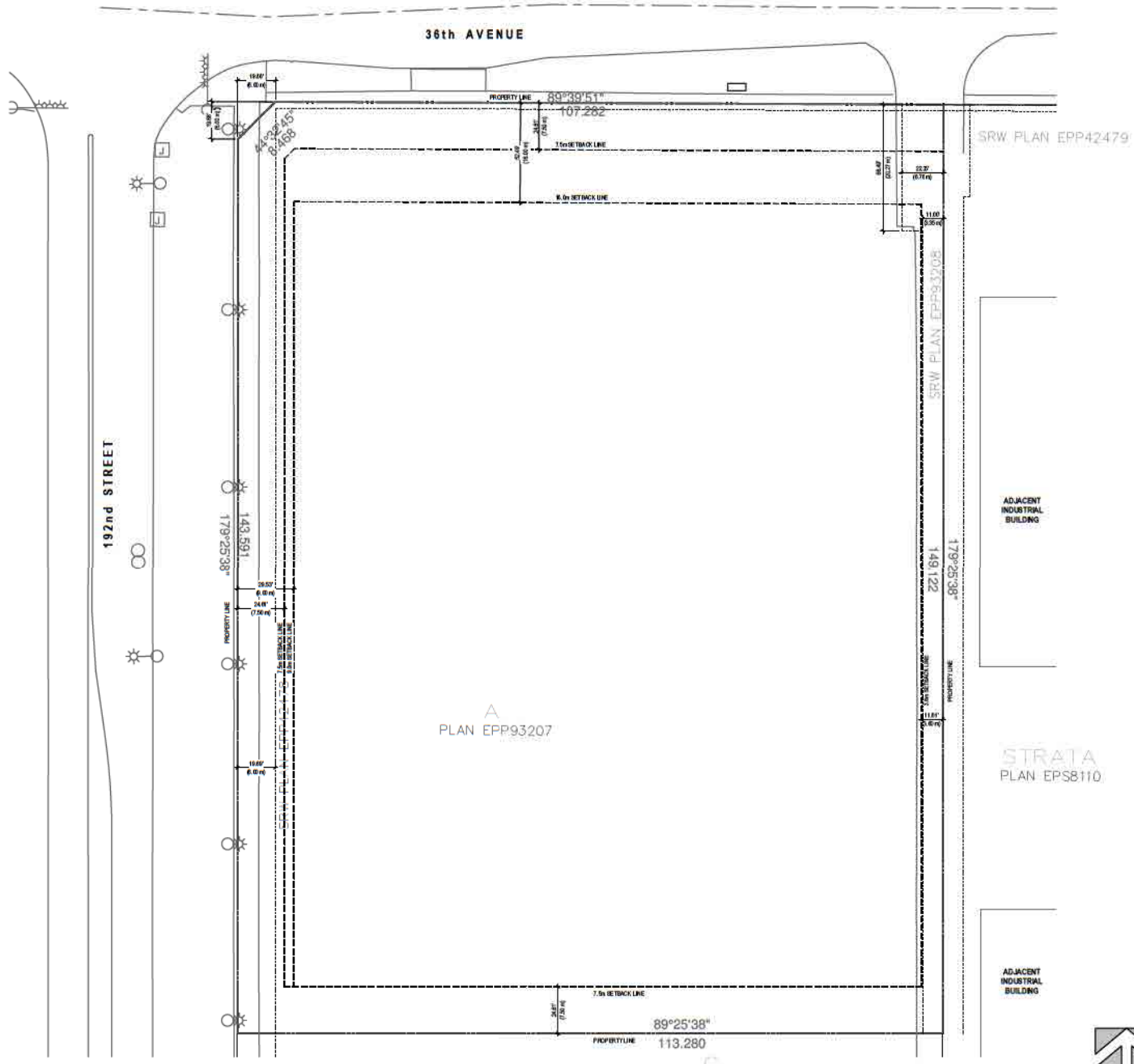
6 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



7 NORTHWEST PLAZA DETAIL PLAN
SCALE: 1/8" = 1'-0"



8 NORTH PEDESTRIAN PLAZA PLAN
SCALE: 1/8" = 1'-0"



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27			ISSUED FOR PERMIT
28			ISSUED FOR PERMIT
29			ISSUED FOR PERMIT
30			ISSUED FOR PERMIT

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
**5550 - 192ND STREET
SURREY, BC V3S 0L5**

DRAWING TYPE
SITE PLAN - BASE

SCALE	1:200
DRAWN	DBS
REVIEWED	
PROJECT NO.	20021A
DRAWING NO.	



1 SITE PLAN - BASE
SCALE: 1:200



ABOYFORD OFFICE
 1915 WEST 73RD ST. W. SUITE 100
 RICHMOND, BC V6X 3E9



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NO.	DATE	BY	DESCRIPTION
1	2024.10.25	REVISION FOR LEVEL OF PREPARE	
2	2024.10.25	REVISION FOR LEVEL OF PREPARE	

PRELIMINARY
 NOT FOR CONSTRUCTION

PROJECT NAME
**POLLYCO GROUP
 CAMPBELL HEIGHTS**

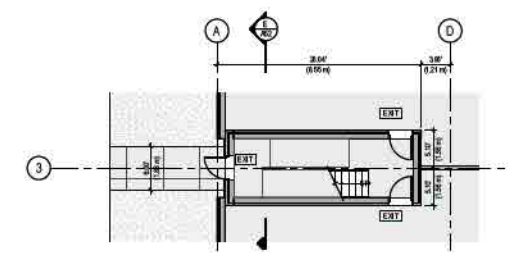
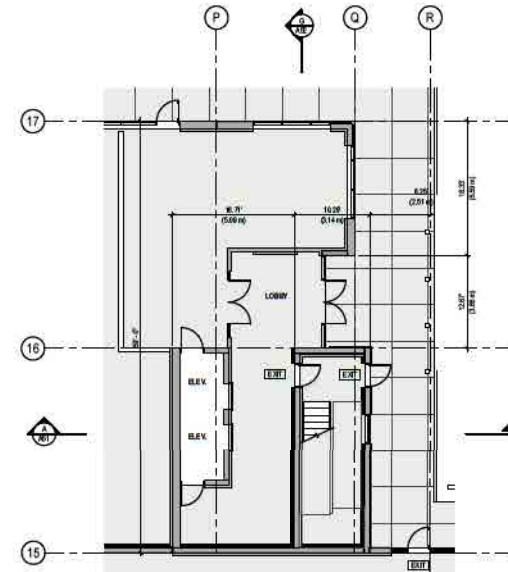
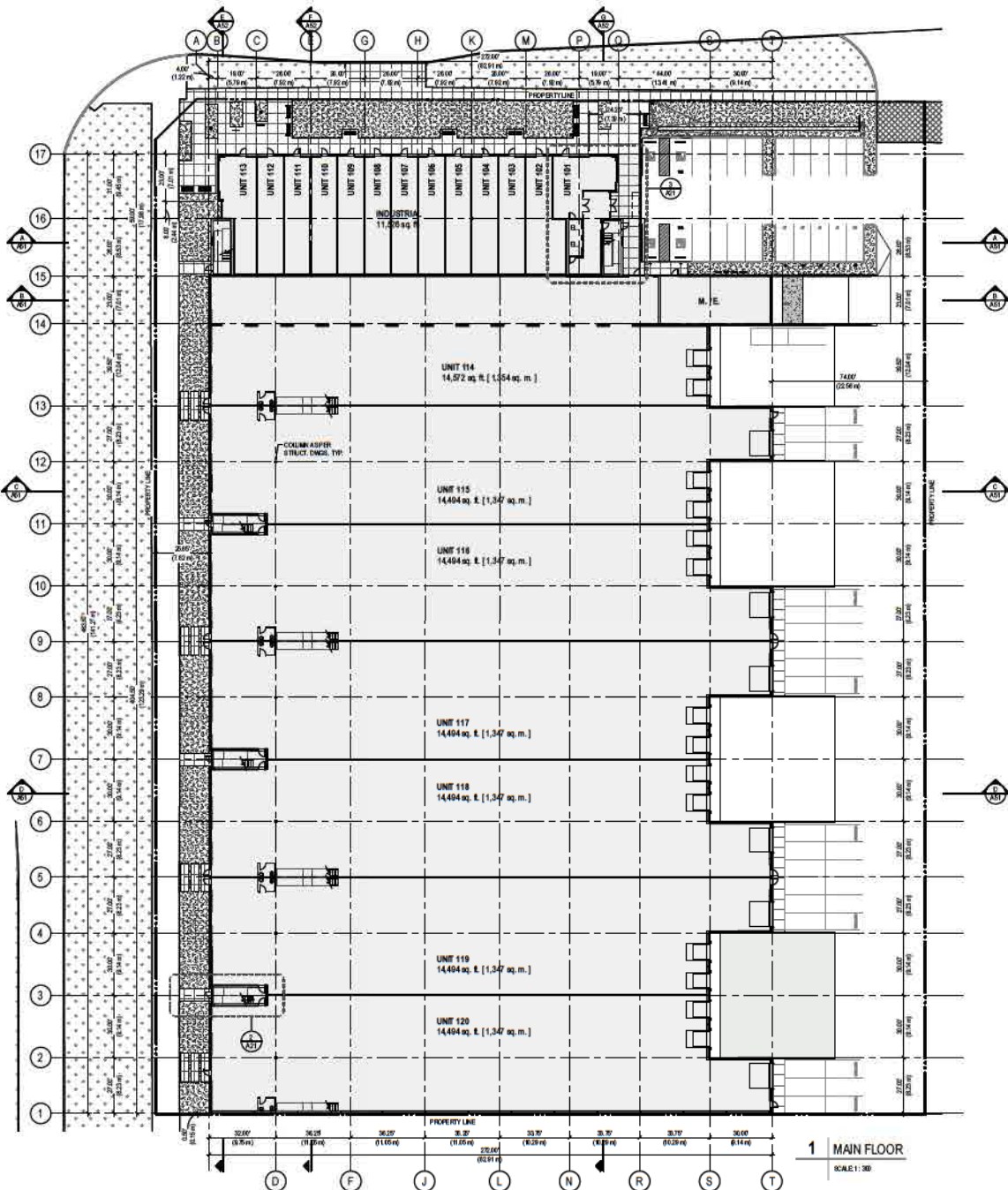
PROJECT ADDRESS
**3550 - 192ND STREET
 SURREY, BC V3S 0L5**

DRAWING TITLE
CONTEXT PLAN

SCALE	1:140
DRAWN	DBS
REVIEWED	
PROJECT NO.	202314
DRAWING NO.	

1 CONTEXT SITE PLAN
 SCALE: 1:140





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- 4 2026.10.25 RE-DESIGNED FOR DEVELOPMENT
 - 3 2026.10.25 RE-DESIGNED FOR DEVELOPMENT
 - 2 2026.06.19 RE-DESIGNED FOR DEVELOPMENT
 - 1 2026.05.19 RE-DESIGNED FOR DEVELOPMENT
- NO DATE, NAME, DESCRIPTION
ISSUES AND REVISIONS
SBA

PRELIMINARY
NOT FOR CONSTRUCTION

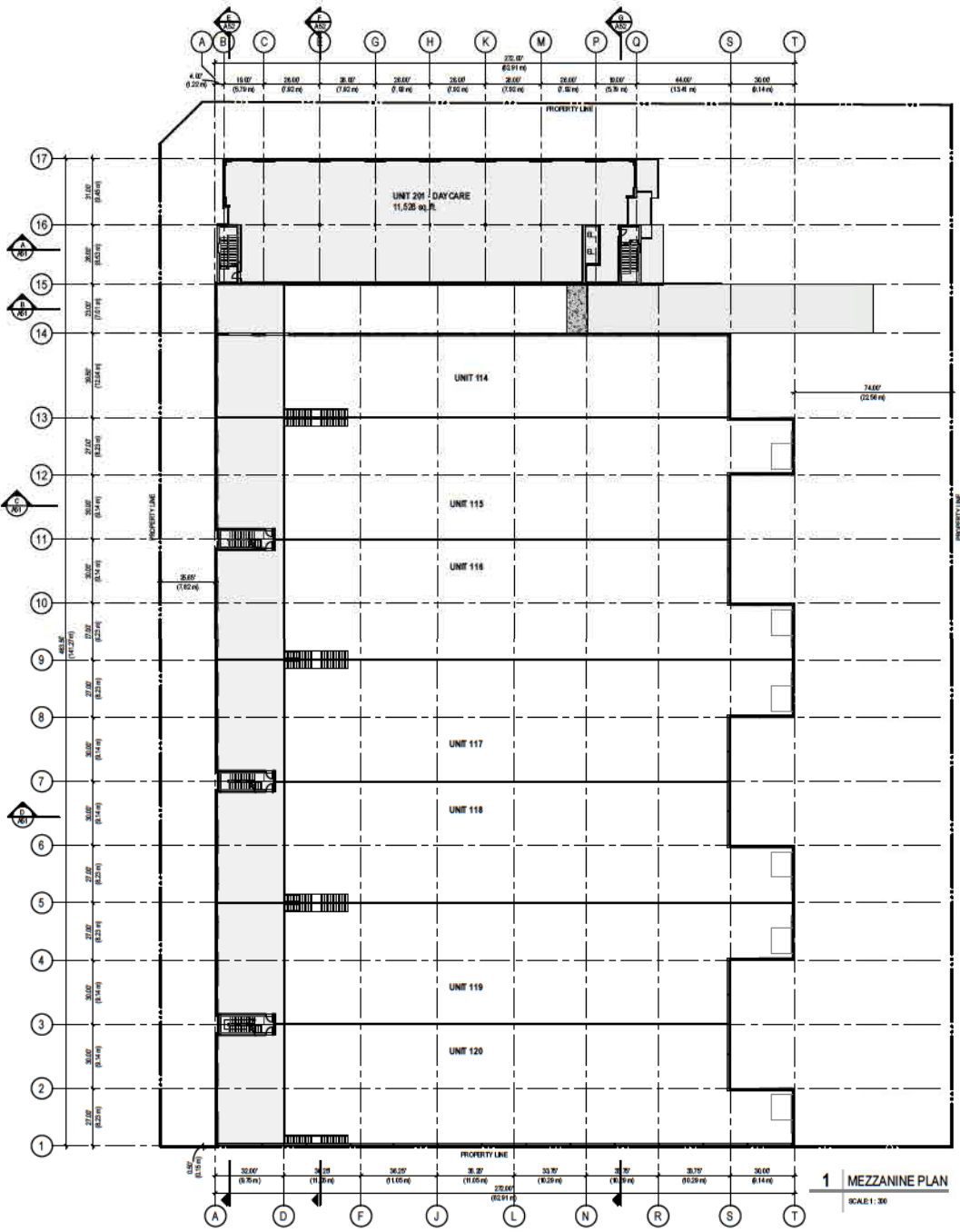
PROJECT NAME:
POLLYCO GROUP CAMPBELL HEIGHTS

PROJECT ADDRESS:
5550 - 142ND STREET
SURREY, BC V3S 0L5

DRAWING TITLE:
MAIN FLOOR

SCALE	A440040
DRAWN BY	ME
REVIEWED	
PROJECT NO.	202601A
DRAWING NO.	





1 MEZZANINE PLAN
SCALE: 1/32



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NO.	DATE	BY	DESCRIPTION
4	2006.10.25		RE-DESIGNED FOR DEVELOPMENT
3	2006.10.22		RE-DESIGNED FOR DEVELOPMENT
2	2006.06.19		DESIGNED FOR DEVELOPMENT
1	2006.05.15		DESIGNED FOR DEVELOPMENT

DESIGNED AND REVISED BY: [Signature]

PRELIMINARY
NOT FOR CONSTRUCTION

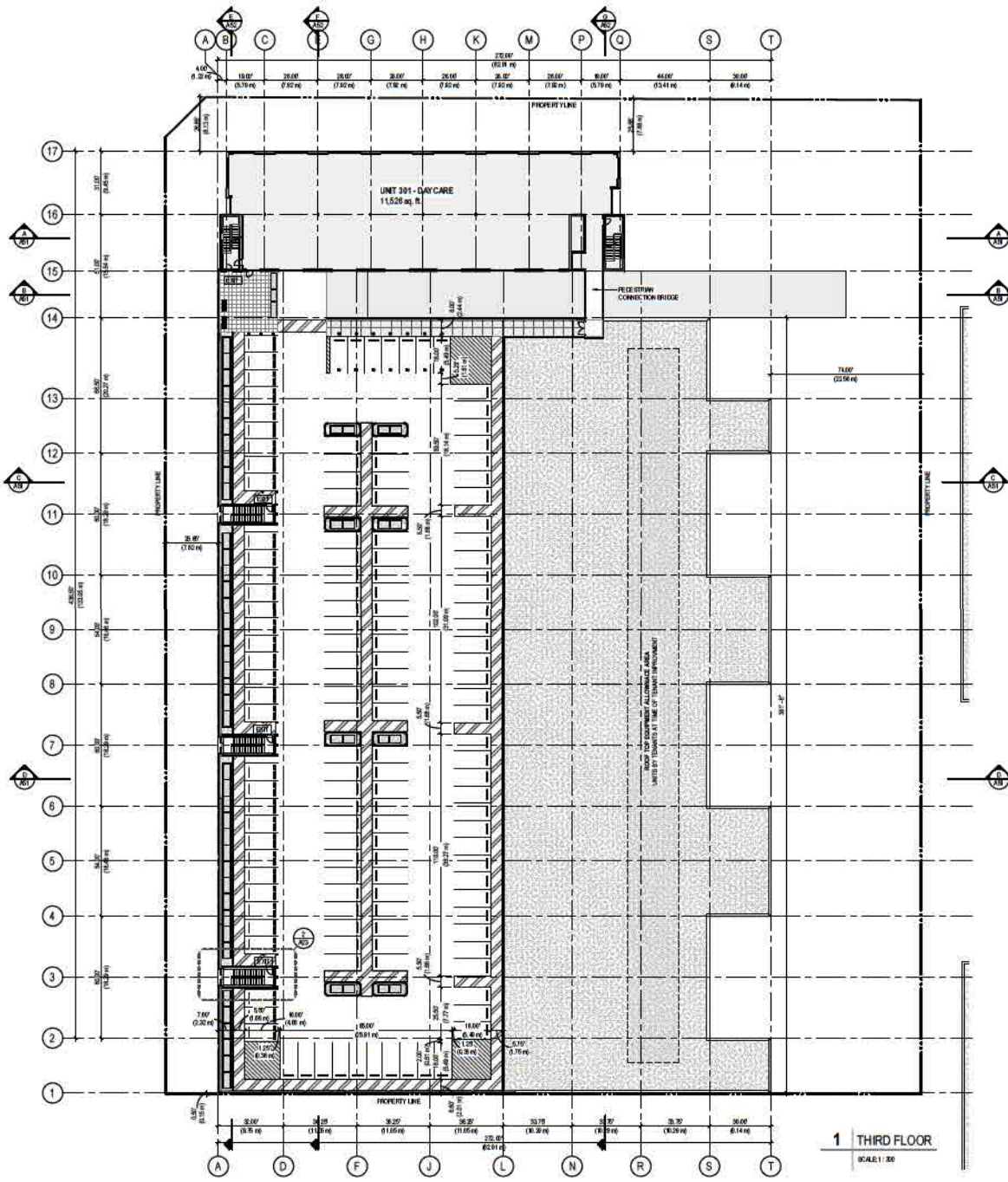
PROJECT NAME:
POLLYCO GROUP CAMPBELL HEIGHTS

PROJECT ADDRESS:
5550 - 142ND STREET
SURREY, BC V3S 0L5

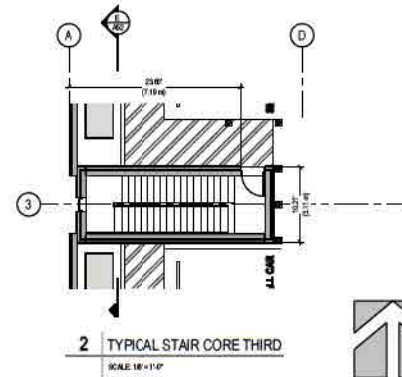
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SECOND FLOOR

SCALE	1/32
DRAWN BY	ME
REVIEWED BY	
PROJECT NO.	200601A
DRAWING NO.	





1 THIRD FLOOR
SCALE: 1/8" = 1'-0"



2 TYPICAL STAIR CORE THIRD
SCALE: 1/8" = 1'-0"



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4	2006.10.25		RE-LOADED FOR DEVELOP. PERMIT
3	2006.10.02		RE-LOADED FOR DEVELOP. PERMIT
2	2006.06.19		LOADED FOR PERMIT
1	2006.05.11		LOADED FOR DEVELOP. PERMIT
DESIGNED AND DRAWN BY: DSAL			
CHECKED BY: DSAL			

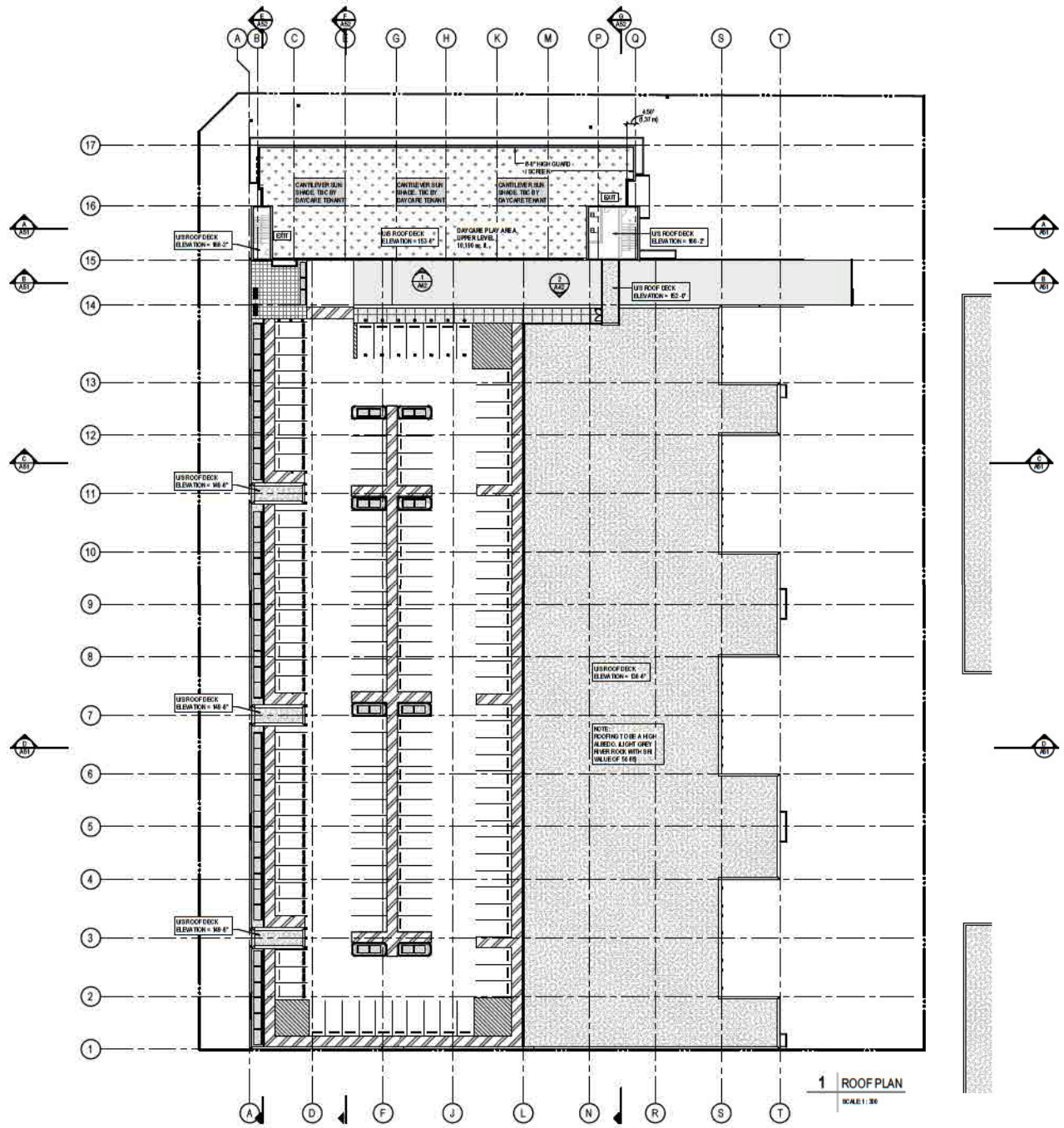
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NOT FOR CONSTRUCTION

PROJECT NAME:
POLLYCO GROUP
CAMPBELL HEIGHTS

PROJECT ADDRESS:
5550 - 146th STREET
SURREY, BC V3S 0L5

DRAWING TITLE:
THIRD FLOOR

SCALE	AS SHOWN
DRAWN BY	MS
REVIEWED BY	
PROJECT NO.	20031A
DRAWING NO.	



1 ROOF PLAN
SCALE: 1/32

ABOYFORD BOWTOWN VANCOUVER

KPA
KP Architecture Ltd.
ABOYFORD OFFICE
175 WEST PLYMOUTH AVENUE, SUITE 100
VANCOUVER, BC V6C 3K8

ORION
CONSTRUCTION

POLLYCO
GROUP OF COMPANIES

Krahn
GROUP OF COMPANIES
ABOYFORD BOWTOWN VANCOUVER TORONTO

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NO.	DATE	BY	DESCRIPTION
4	2006.10.25		RE-ISSUED FOR DEVELOP. PERMIT
3	2006.10.02		RE-ISSUED FOR DEVELOP. PERMIT
2	2006.09.19		ISSUED FOR PERMIT
1	2006.05.15		ISSUED FOR DEVELOP. PERMIT

ISSUES AND REVISIONS

DESIGNER

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
POLLYCO GROUP CAMPBELL HEIGHTS

PROJECT ADDRESS
5550 - 142ND STREET
SURREY, BC V3S 0L5

DRAWING TITLE
ROOF PLAN

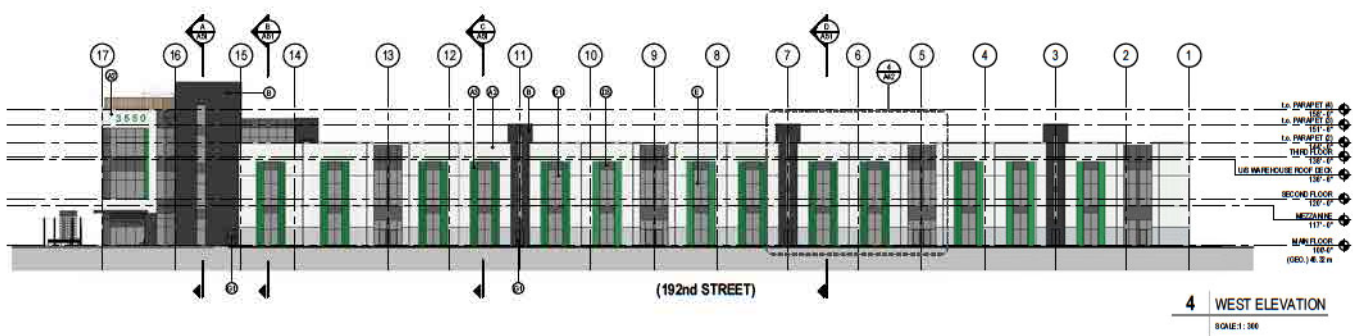
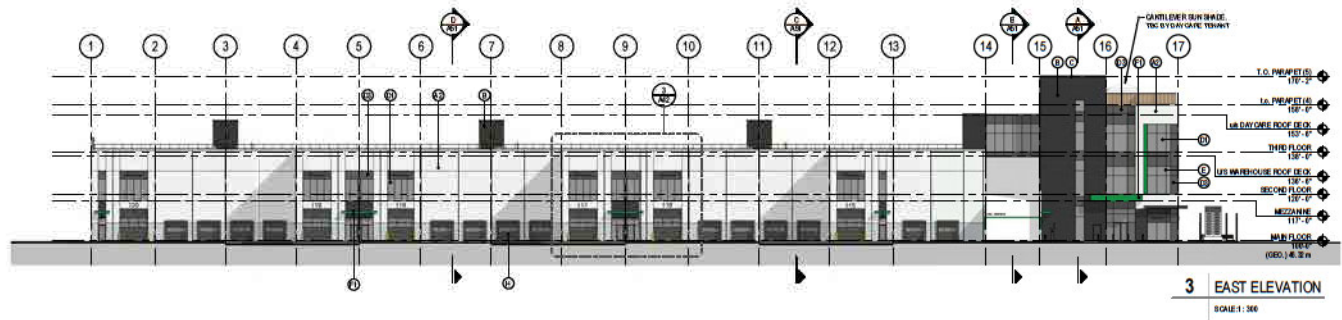
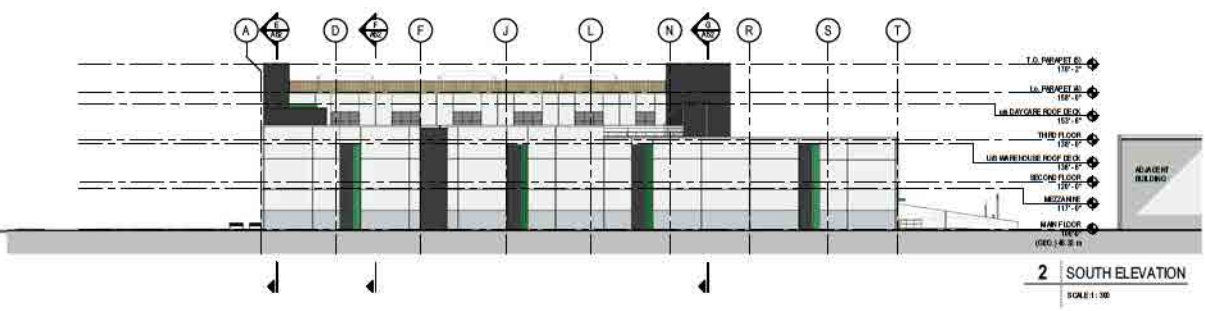
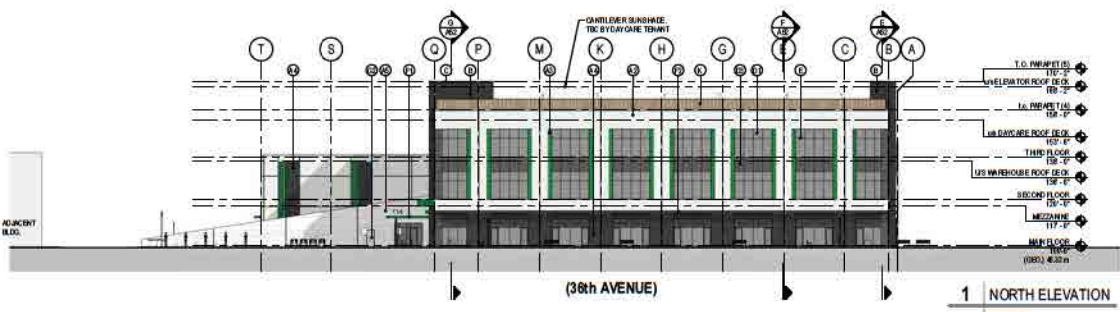
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REVIEWED	
PROJECT NO.	200610A
DRAWING NO.	

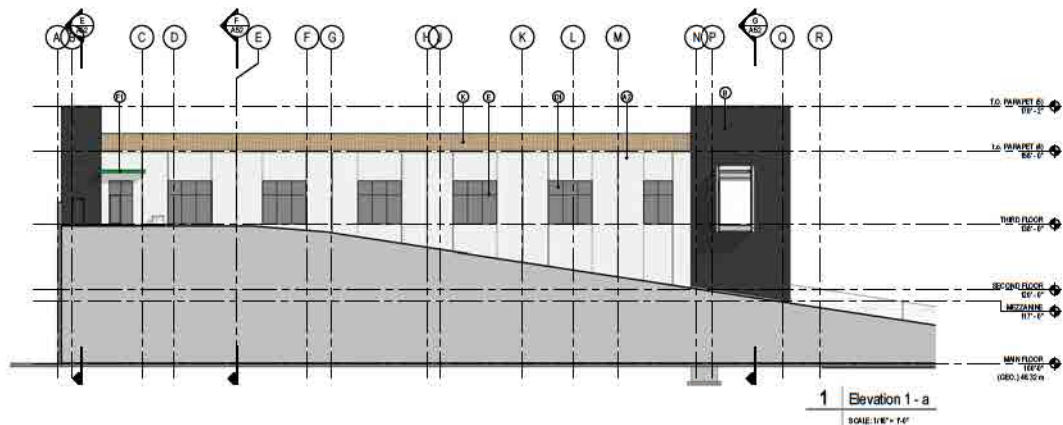


TYP	DESCRIPTION
A1	CONCRETE - PAINTED BENJAMIN MOORE - 31146 WHITE DIAMOND
A2	CONCRETE - PAINTED BENJAMIN MOORE - 212-05 WHITE DIAMOND
A3	CONCRETE - PAINTED POLYCO CORPORAITE GREEN
A4	CONCRETE - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
A5	CONCRETE - BOARD FORM FINISH
B	CORRUGATED CLADDING - PRE FINISHED BLACK
C	GLAZING - LIGHT GRAY
D1	GLAZING - LIGHT GRAY
E2	ALUMINUM FRAME - BRASS ANODIZED
F1	ARCHITECTURAL STEEL - PAINTED POLYCO CORPORAITE GREEN
F2	ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
G1	STEEL DOOR - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
G2	STEEL DOOR - PAINTED BENJAMIN MOORE - 312-05 WHITE DIAMOND
H	OVERHEAD DOOR - PRE FINISHED DARK GRAY
X	PLAY AREA GUARD / SCREEN

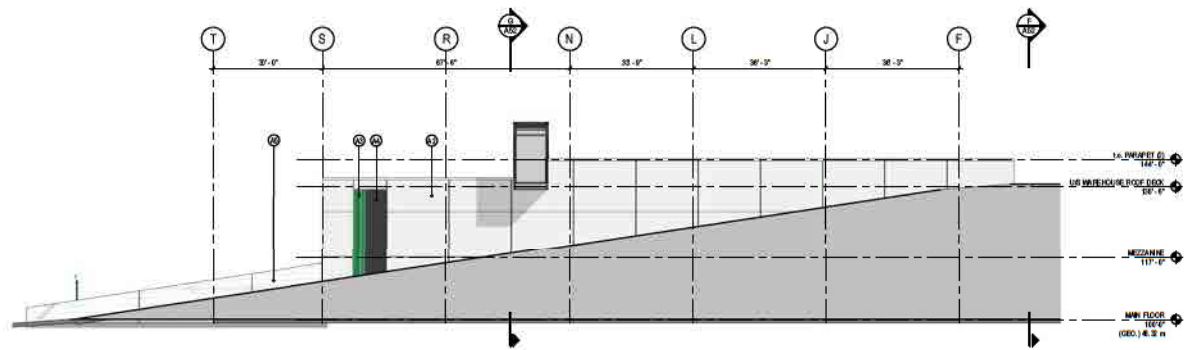
PROJECT COLOURS

	CONCRETE - PAINTED BENJAMIN MOORE - 31146 WHITE DIAMOND
	CONCRETE - PAINTED BENJAMIN MOORE - 31146 BLUE HALF DOLLAR
	CONCRETE - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
	CORRUGATED METAL CLADDING PRE FINISHED BLACK
	BOARD FORM CONCRETE
	ARCHITECTURAL STEEL - PAINTED POLYCO CORPORAITE GREEN
	ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
	GLAZING FRAME PRE FINISHED BRASS ANODIZED ALUMINUM
	METAL DOORS - PAINTED BENJAMIN MOORE - 31146 WHITE DIAMOND
	METAL DOORS - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
	KNOWWOOD - 1/2" (WOOD) OR 3/4" (M) ROOF OF PLAYAREA

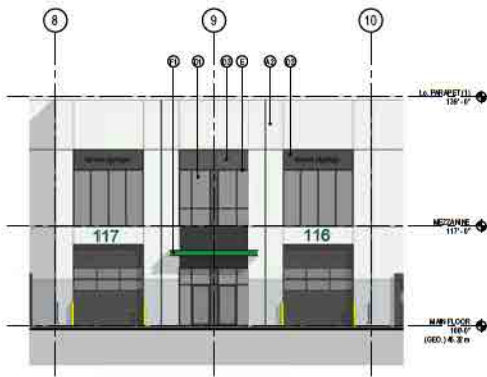




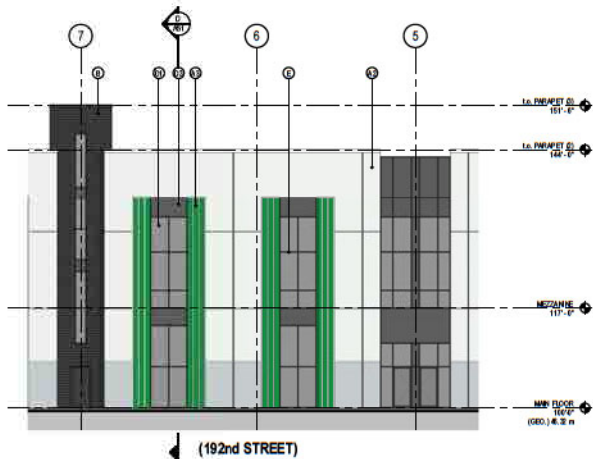
1 Elevation 1 - a
SCALE 1/4" = 1'-0"



2 Elevation 1 - d
SCALE 1/4" = 1'-0"



3 A EAST - Callout 1
SCALE 1" = 1/4"



4 A WEST - Callout 1
SCALE 1" = 1/4"

TIRE	DESCRIPTION
A1	CONCRETE - PAINTED BENJAMIN MOORE - 31146 SILVER HALF DOLLAR
A2	CONCRETE - PAINTED BENJAMIN MOORE - 215-05 WHITE DIAMOND
A3	CONCRETE - PAINTED POLLYCO (CORPORATE GREEN)
A4	CONCRETE - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
A5	CONCRETE - BOARD FORM FINISH
B	CORRUGATED CLADDING - PRE FINISHED BLACK
C	CAP FINISH - PAINTED TO MATCH EXISTENTIAL COLOR
D1	GLAZING - LIGHT GRAY
E2	SPANDREL GLAZING - METAL PANEL - BLACK
G3	SP ARCHIT. GLAZING - DARK GRIT
H	ALUMINUM FRAME - BRASS ANODIZED
F1	ARCHITECTURAL STEEL - PAINTED POLLYCO (CORPORATE GREEN)
F2	ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
G1	STEEL DOOR - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
G2	STEEL DOOR - PAINTED BENJAMIN MOORE - 312-05 WHITE DIAMOND
H	OVERHEAD DOOR - PRE FINISHED DARK GRAY
X	PLAY AREA GUARD / SCREEN

PROJECT COLOURS

- CONCRETE - PAINTED BENJAMIN MOORE - 31146 WHITE DIAMOND
- CONCRETE - PAINTED BENJAMIN MOORE - 31146 SILVER HALF DOLLAR
- CONCRETE - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
- CORRUGATED METAL CLADDING - PRE FINISHED BLACK
- BOARD FORM CONCRETE
- ARCHITECTURAL STEEL - PAINTED POLLYCO (CORPORATE GREEN)
- ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
- GLAZING FRAME - PRE FINISHED BRASS ANODIZED ALUMINUM
- METAL DOORS - PAINTED BENJAMIN MOORE - 31146 WHITE DIAMOND
- METAL DOORS - PAINTED BENJAMIN MOORE - 312-05 BLACK ROX
- KNOWWOOD - SURFWOOD® OR SIM. ROOFTOP PLAY AREA

ABOYFORD
BRANTON
VANCOUVER

KPA
Architecture Ltd.
ABOYFORD OFFICE
1150 WEST 77TH STREET, SUITE 200
VANCOUVER, BC V6P 6E6

ORION
CONSTRUCTION

POLLYCO
GROUP OF COMPANIES

Krahn
GROUP OF COMPANIES
ABOYFORD • BRANTON • VANCOUVER • FORTYFIVE

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4	2006.10.25	RE-ISSUED FOR DEVELOP. PERMIT
3	2006.10.22	RE-ISSUED FOR DEVELOP. PERMIT
2	2006.09.19	ISSUED FOR PERMIT
1	2006.05.15	ISSUED FOR DEVELOP. PERMIT
NO.	DATE	DESCRIPTION
ISSUES AND REVISIONS		
REAL		

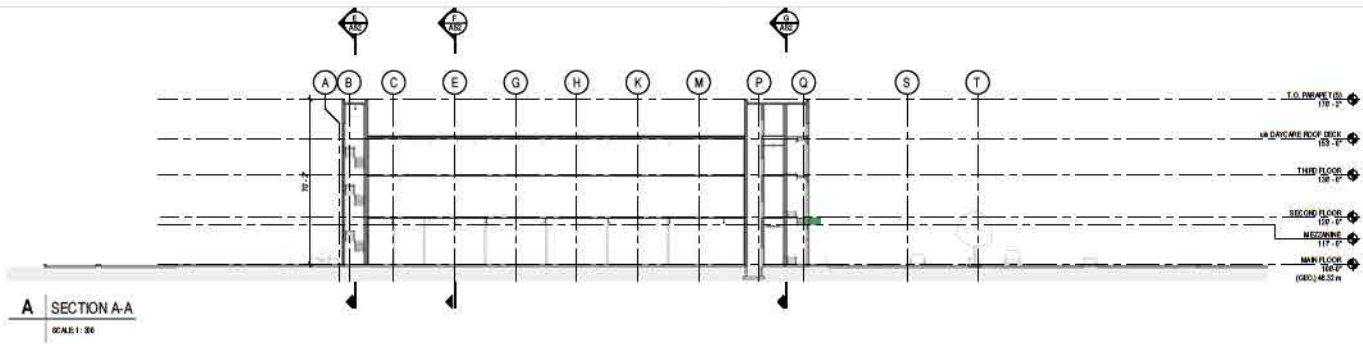
PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

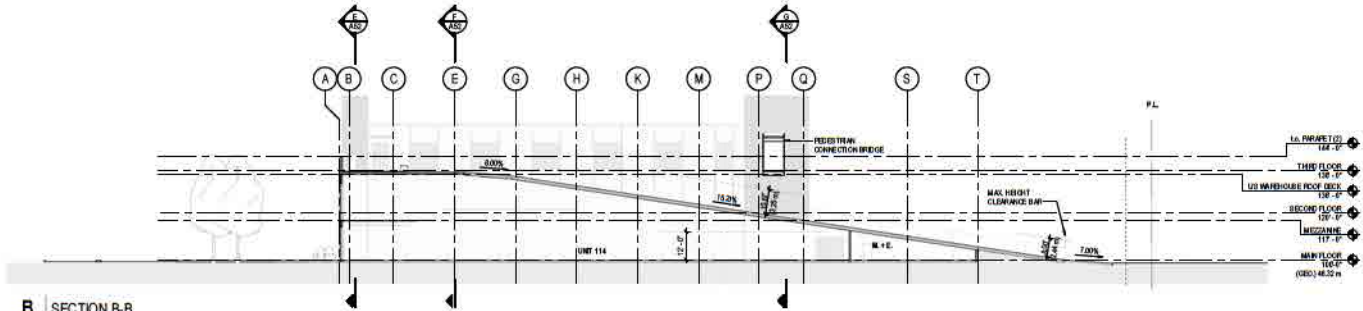
PROJECT ADDRESS
3550 - HIGHWAY STREET
SURREY, BC V3S 0L5

DRAWING TITLE
BUILDING ELEVATIONS

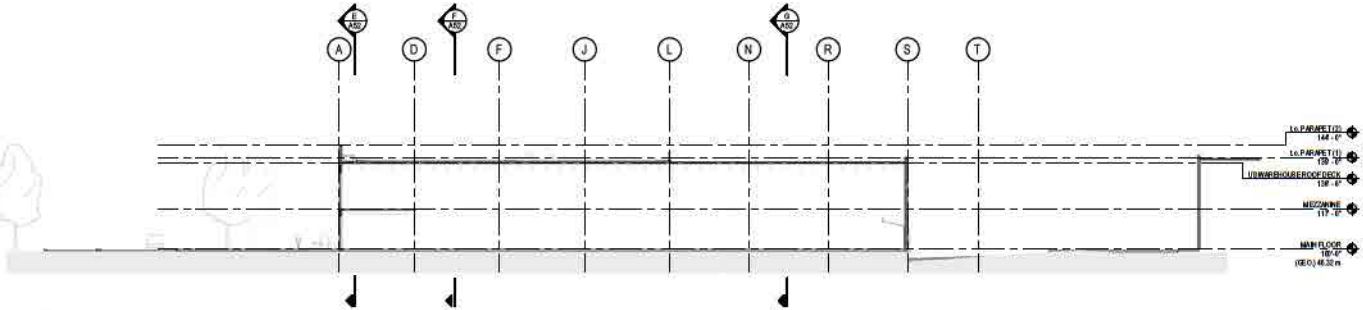
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DRAWN	ME
REVIEWED	
PROJECT NO.	24051A
DRAWING NO.	



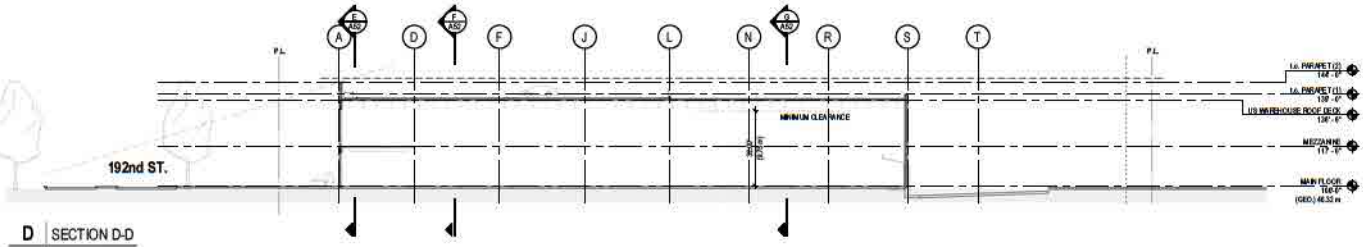
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SCALE: 1/8"



B SECTION B-B
SCALE: 1/8"



C SECTION C-C
SCALE: 1/8"



D SECTION D-D
SCALE: 1/8"



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NO.	DATE	REVISION
4	2006.10.25	RE-DESIGNED FOR DEVELOP. PERMIT
3	2006.10.25	RE-DESIGNED FOR DEVELOP. PERMIT
2	2006.06.19	RE-DESIGNED FOR PERMIT
1	2006.05.19	DESIGNED FOR DEVELOP. PERMIT

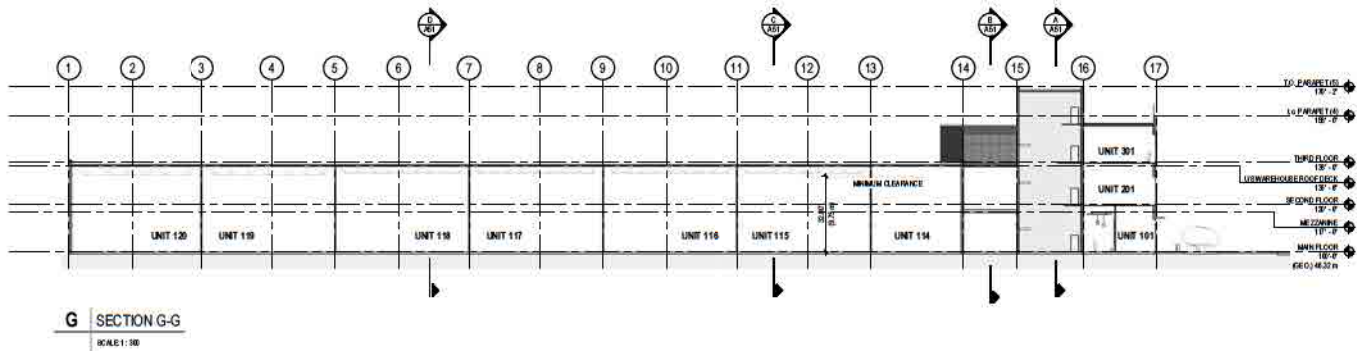
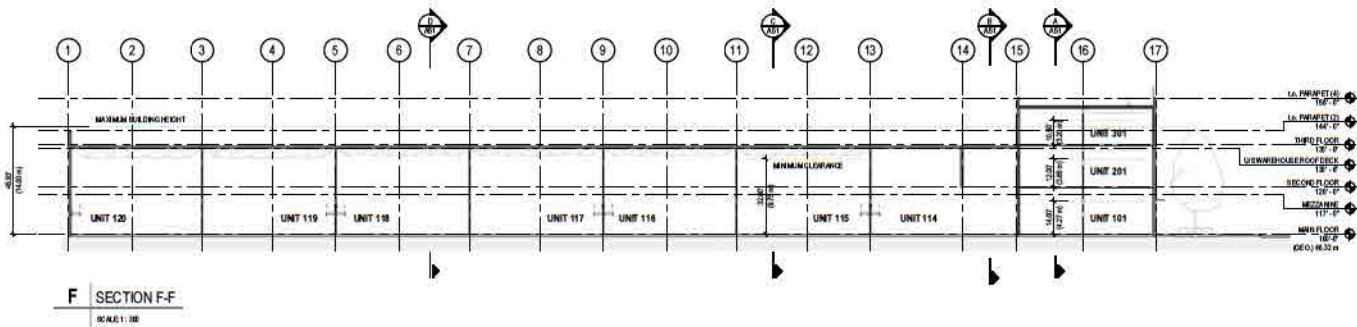
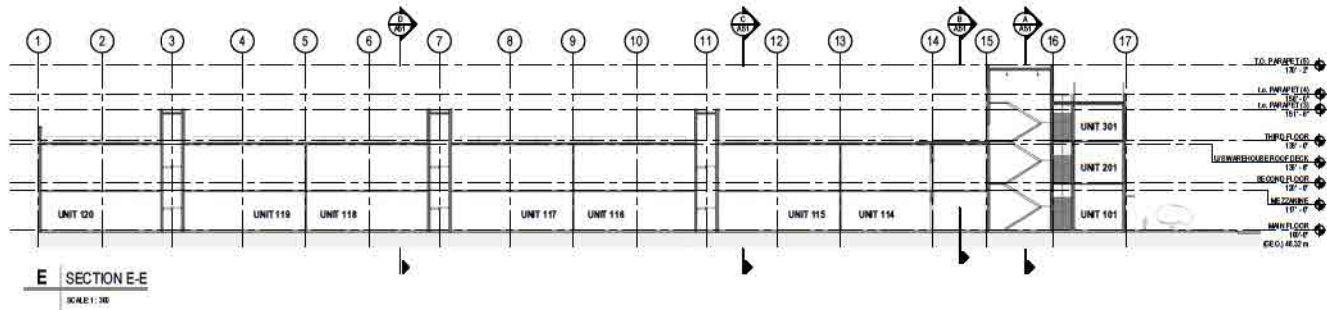
PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME:
POLLYCO GROUP CAMPBELL HEIGHTS

PROJECT ADDRESS:
3550 - 192ND STREET
SURREY, BC V3S 0L5

DRAWING TYPE:
BUILDING SECTIONS

SCALE	1/8"
DRAWN	ME
REVIEWED	
PROJECT NO.	200611A
DRAWING NO.	



NO.	DATE	REVISION / DESCRIPTION
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3	2006.10.22	RE-LOADED FOR DEVELOP. PERMIT
2	2006.09.19	LOADED FOR PERMIT
1	2006.08.15	LOADED FOR DEVELOP. PERMIT

ISSUES AND REVISIONS
 REVISION

PRELIMINARY
 NOT FOR CONSTRUCTION

PROJECT NAME
**POLLYCO GROUP
 CAMPBELL HEIGHTS**

PROJECT ADDRESS
 3550 - HIGHWAY STREET
 SURREY, BC V3S 0L5

DRAWING TITLE
BUILDING SECTIONS

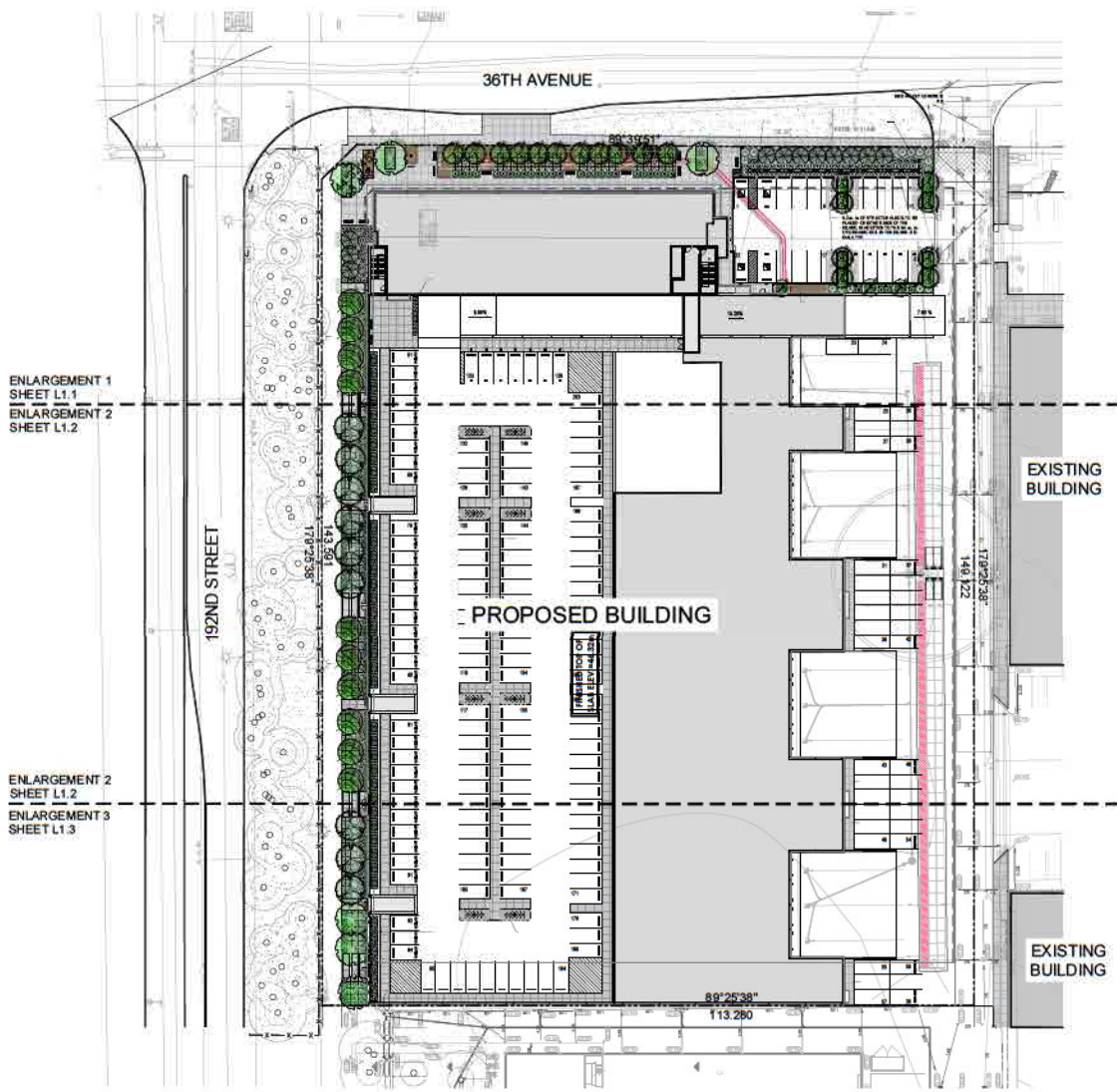
SCALE	1/32
DRAWN	ME
REVIEWED	
PROJECT NO.	200511A
DRAWING NO.	



POLLYCO GROUP CAMPBELL HEIGHTS

3550 -192nd STREET | SURREY | BC

LANDSCAPE PLANS



ENLARGEMENT 1
SHEET L1.1
ENLARGEMENT 2
SHEET L1.2

ENLARGEMENT 2
SHEET L1.2
ENLARGEMENT 3
SHEET L1.3

NOTES

GENERAL NOTES

1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL RESPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS. PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

PLANTING NOTES

1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
4. TREE PROTECTION PER THE MUNICIPAL DETAIL IF REQUIRED.
5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
6. SOIL DEPTH IN ALL PLANTING AREAS TO BE A MINIMUM OF 450mm AND A MINIMUM OF 600mm IN PLANTING BEDS WITH TREES.
7. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
9. ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
10. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DAMAGE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
11. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY OF ARBORISTS (ISA) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
12. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON. AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - 12.1 Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of when requested by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price on the back and otherwise recovered from the Contractor.
 - 12.2 Maintenance and additional installation of mulch
 - 12.3 Weed removal
 - 12.4 Disease control

MINIMUM TREE PLANTING CLEARANCES

1. TREES SHALL HAVE THE FOLLOWING MINIMUM CLEARANCES FROM:
 - 1.1 STREET LIGHT POLES - 6.0m
 - 1.2 UTILITY POLES - 3.0m
 - 1.3 EDGE OF DRIVEWAY, CURB RETURN, CATCHBASIN OR ABOVE GROUND UTILITY FACILITY - 2.0m
 - 1.4 SEWER AND DRAINAGE SERVICE CONNECTIONS/FIRE HYDRANTS - 1.5m
 - 1.5 MANHOLE/S VALVE BOXES, WATER SERVICES - 1.2m
 - 1.6 SOIL LIFT/PM/AVISTA SWITCH VAULTS - 2.25m
2. WHERE THERE IS A BOULEVARD PLANTING STRIP BETWEEN THE BACK OF THE CURB AND FRONT OF THE SIDEWALK, TREES SHALL BE PLANTED A MINIMUM OF 1.0m FROM BACK OF CURB AND 1.0m FROM BACK OF SIDEWALK.
3. IN OTHER CIRCUMSTANCES TREES SHALL BE PLANTED 1.0m FROM THE BACK OF THE SIDEWALK AND 2.0m FROM BACK OF CURB.

BIDDING NOTES

1. SOODED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOIL WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASS
 - USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
2. AREAS TO BE SOODED SHALL HAVE A MINIMUM 100MM TOPSOIL BASE
3. LOOSEN SOIL SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
4. PRIOR TO SOODING OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
5. DELIVER SOO TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOO FROM DRYING AND WATER SOO AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOO WILL BE REJECTED.
6. LAY SOO DURING GROWING SEASON. LAY SOO IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
7. WATER SOO IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 100MM OF TOPSOIL. MAINTAIN SOODED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

IRRIGATION NOTES

1. IRRIGATION TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREA AS SHOWN ON THE DRAWING USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB CUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
3. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
5. USE POP-UP SPRINKLER HEADS.
6. DO NOT SPRAY WATER ONTO TREE TRUNKS.

BORWALE SOIL SPECIFICATION

COARSE GRAVEL	0-1%		
ALL GRAVEL	0-6%		
SAND	70-80%	Larger than 0.0025mm	Smaller than 2mm
SILT	6-15%	Larger than 0.0025mm	Smaller than 0.006mm
CLAY	10-20%	Smaller than 0.0025mm	
CLAY AND SILT COMBINED	MAX 25%		
ORGANIC CONTENT (by weight)	1%		Organics not to be derived from food waste
ACIDITY (pH)	6.0-8.5		



1	304120	ISSUED FOR P.E.C.
2	304931	ISSUED FOR REVIEW
ED.	DATE	ISSUE/REVISION
MAJOR REVISIONS		
REVISIONS		



PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
**3550 - 192 STREET
SURREY, BC**

OVERALL LANDSCAPE PLAN

SCALE	1:500
DRAWN	AK
CHECKED	JT
SCALE BAR	3000 L

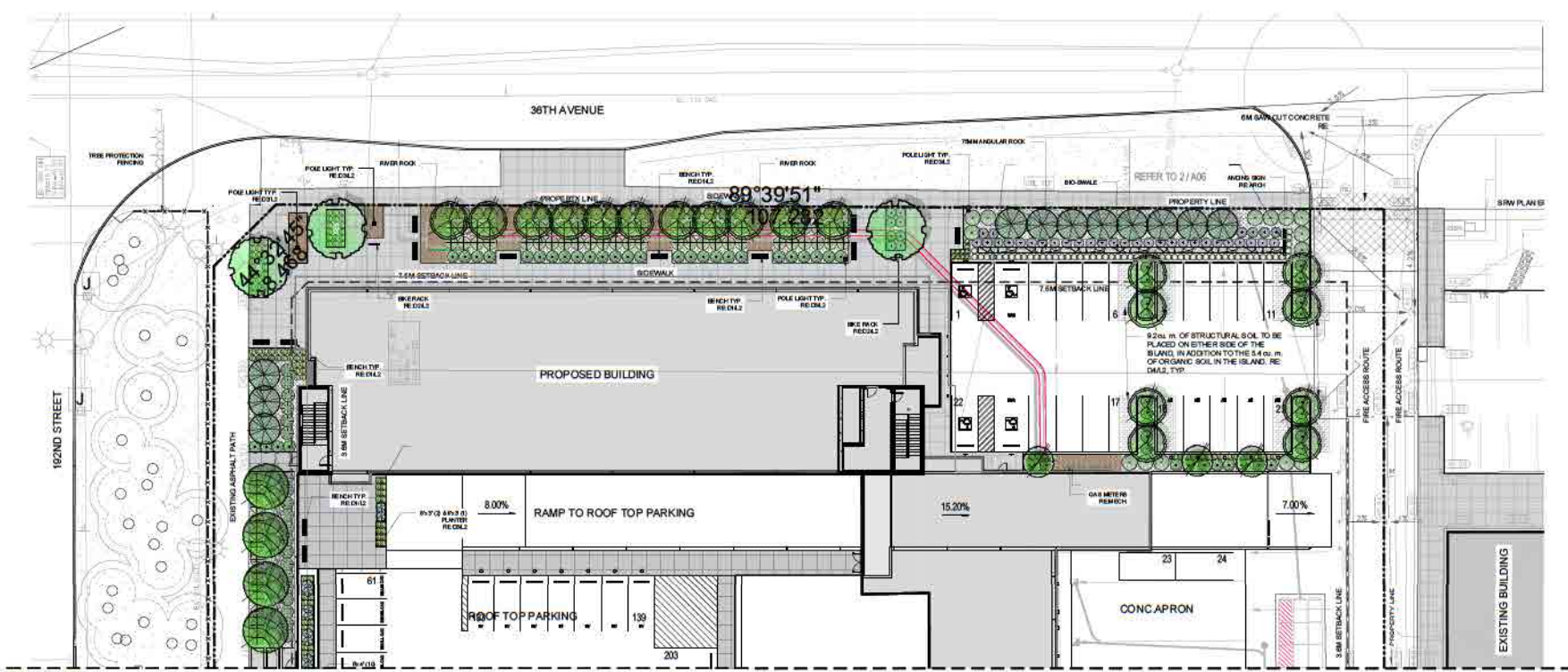
DATE: 09/20/2024

L1

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- LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - TRIANGULAR ROCK
 - PLANTING MEDIUM
 - TRIANGULAR ROCK
 - CONCRETE SIDEWALK
 - DIRTING TREES TO REMAIN
 - TREE PROTECTION FENCING

- REVISIONS**
- | | | |
|---------------------------|------------|--------------------|
| 1 | 2024/02/28 | ISSUED FOR PERMITS |
| 2 | 2024/03/21 | ISSUED FOR REVIEW |
| NO. DATE USER DESCRIPTION | | |
| DRAWN: LANDSCAPE | | |
| SCALE: | | |



ENLARGEMENT 2
SHEET L1.2

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
8	1	Acer rubrum 'Red Valley'	Red Valley Red Maple	8m Cal.	As Shown	WB
10	2	Salix caprea	Japanese Salix	8m Cal.	As Shown	WB
9	1	Osipendula chinensis	Starwood	8m Cal.	As Shown	WB
19	1	Acer palmatum 'Dissectum'	Japanese Dissected Maple	8m Cal.	As Shown	WB
5	1	Magnolia 'satanii' 'Lanceol Magnol'	Pink Lanceol Magnolia	8m Cal.	As Shown	WB
CONIFEROUS TREES						
11	1	Picea canadensis	White Spruce	3m H.	As Shown	WB
SHRUBS						
60	1	Spiraea japonica 'Thornburn'	Stemmed Spirea	40cm H.	As Shown	80 Pkt
36	1	Clivia nobilis	White Rock Rose	40cm H.	As Shown	80 Pkt
14	1	Hydrangea 'Peaches'	Michael Hydrangea	40cm H.	As Shown	80 Pkt
23	1	Berberis thunbergii 'Nana'	Dwarf Red Barberry	40cm Spread	As Shown	80 Pkt
189	1	Physocarpus opulifolius 'Coccy's Little Devil'	Little Devil Hostler	40cm H.	As Shown	80 Pkt
102	1	Calluna vulgaris 'Spring Toss'	Heather	40cm H.	As Shown	80 Pkt
62	1	Yucca filamentosa	Clayton's Yucca	40cm H.	As Shown	80 Pkt
41	1	Salix purpurea 'Tristis'	Clayton's Willow	40cm H.	As Shown	80 Pkt
188	1	Samolus floribundus var. alpinus 'Purple Star'	Purple Star Rock Star	40cm Spread	As Shown	80 Pkt
PERENNIALS, GROUND COVERS, AND GRASSES						
30	1	Hydrangea 'Peaches'	Michael Hydrangea	10cm	As Shown	Perpet
25	1	Aster 'Starburst'	Starburst Aster	10cm	As Shown	Perpet

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
**3550 - 192 STREET
SURREY, BC**

DRAWING TITLE
ENLARGEMENT 1

SCALE
1:500

DRAWN: **AK**

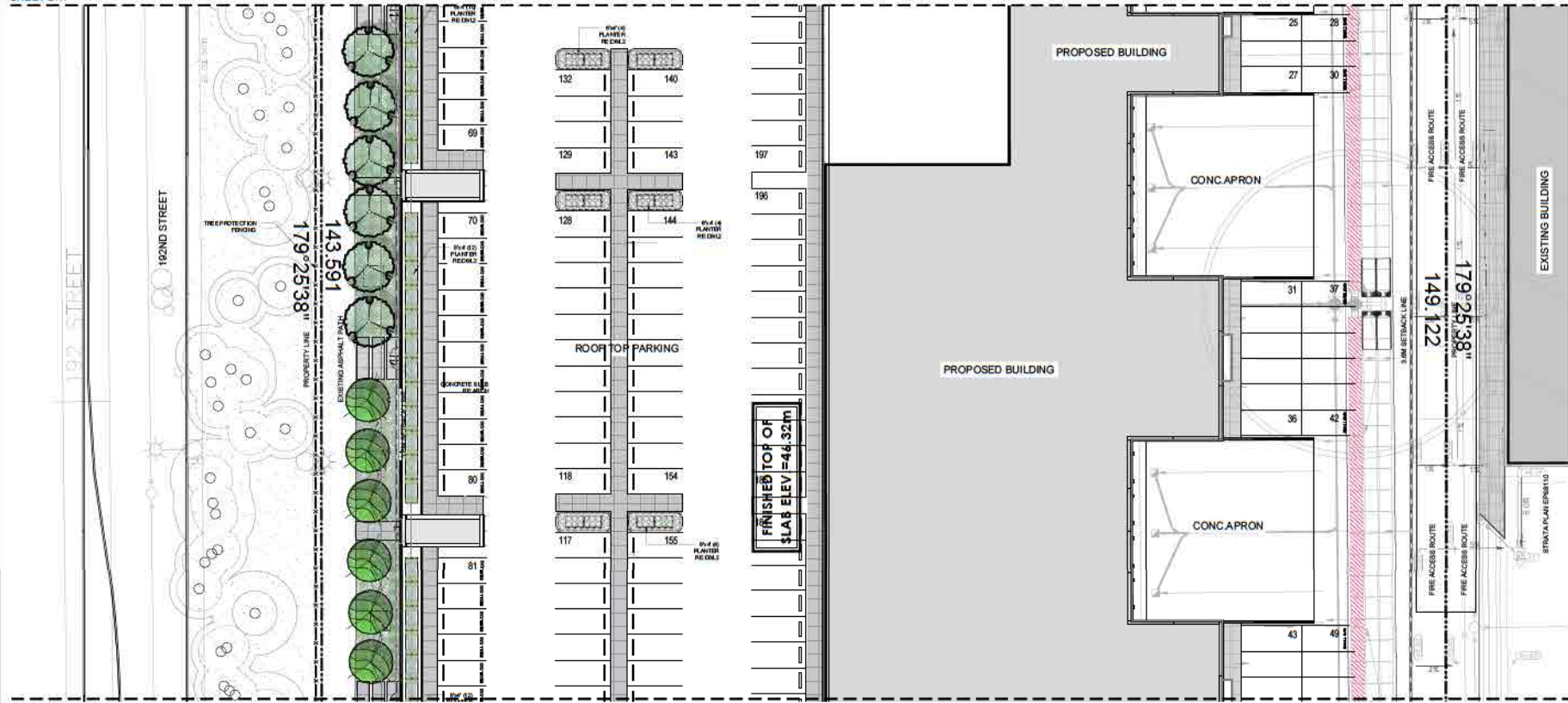
CHECKED: **JT**

PROJECT NO: **30021-L**

DRAWING NO: **L1.1**

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- LEGEND**
- PROPERTY LINE
 - - - SETBACK LINE
 - 75MM RIVER ROCK
 - PLANTING MEDIA
 - 75MM ANGULAR ROCK
 - CONCRETE SIDEWALK
 - EXISTING TREE TO REMAIN
 - TRIE PROTECTION FENCING

1. SECTION 1 ISSUED FOR PERC
2. SECTION 2 ISSUED FOR REVIEW
NO. DATE USER DESCRIPTION
MAJOR REVISIONS
DATE

REV	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
6		Acer rubrum 'Sun Valley'	Sun Valley Red Maple	80m Gal	As Shown	WB
10		Zelkova serrata	Japanese Zelkova	80m Gal	As Shown	WB
9		Ostrya japonica	Sourwood	80m Gal	As Shown	WB
18		Acer japonicum 'Yamagata 7'	Japanese Emperor Maple	80m Gal	As Shown	WB
3		Magnolia - kobori 'Lacepede'	Pink Lacepede Magnolia	80m Gal	As Shown	WB
CONIFEROUS TREES						
11		Picea canadica	Canadian Spruce	7x 14	As Shown	WB
SHRUBS						
60		Spiraea japonica 'Snowmound'	Snowmound Spiraea	40cm Ht.	As Shown	85 Pot
36		Celastrus hybridus	White Rock Rose	40cm Ht.	As Shown	85 Pot
14		Hortensia 'Praclear'	White Hortensia	40cm Ht.	As Shown	85 Pot
23		Berberis buxifolia 'Yard'	Dark Berberis	400mm Spread	As Shown	85 Pot
159		Physocarpus opulifolius 'Dance My Little Dream'	Little Dream Physocarpus	40cm Ht.	As Shown	85 Pot
152		Calluna vulgaris 'Spring Frost'	Heather	40cm Ht.	As Shown	85 Pot
62		Manisuris 'Gold'	Gold Manisuris	40cm Ht.	As Shown	85 Pot
41		Salix purpurea 'Royal'	Dark Purple Willow	40cm Ht.	As Shown	85 Pot
189		Sarcocolla imbricaria var. alba 'Purple Star'	Purple Star Sarcocolla	400mm Spread	As Shown	85 Pot
PERENNIALS, GRASSES, AND GROUND COVERS						
28		Dracopis 'Fragrant'	Black-eyed Susan	1 1/2m	As Shown	Potted
22		Aster 'Bluebird'	Pink Aster	1 1/2m	As Shown	Potted

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
**3550 - 192 STREET
SURREY, BC**

PROJECT TITLE
ENLARGEMENT 2

SCALE
1:500

DATE
04

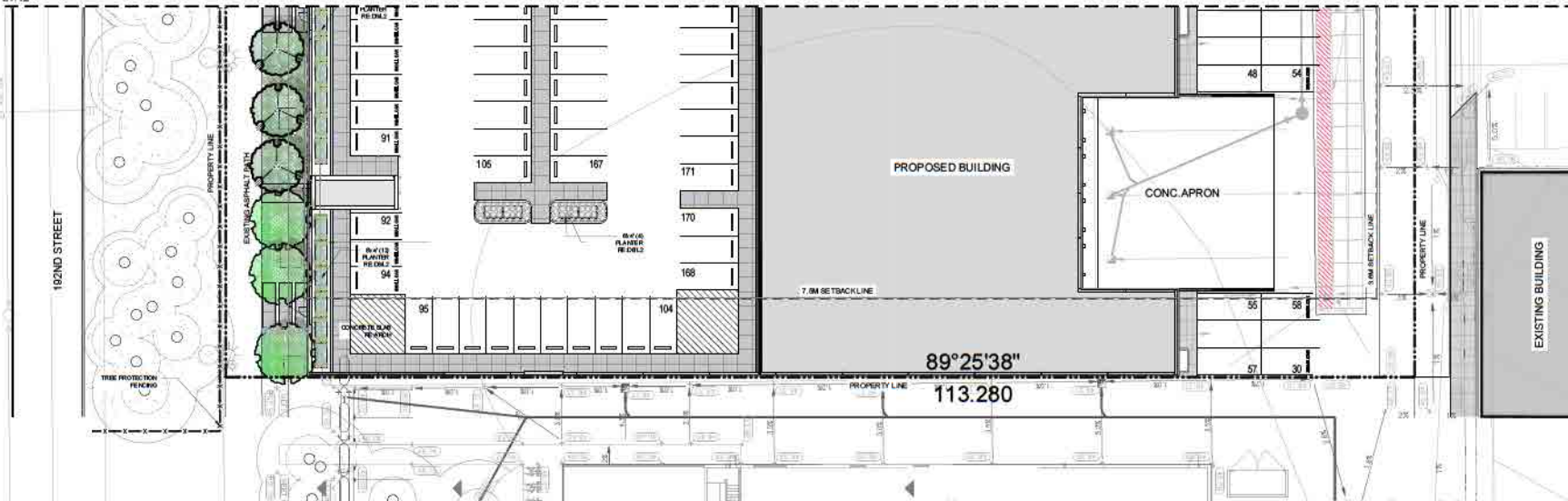
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JT

CHECKED BY
3000-L

DATE
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- LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - 75MM FEVER ROCK
 - PLANTING MEDIUM
 - 75MM ANGLULAR ROCK
 - CONCRETE SIDEWALK
 - EXISTING TREE TO REMAIN
 - TREE PROTECTION FENCING

PLANT LIST

REV	QTY	BOTANICAL NAME	COMMON NAME	SEC	SPACING	COMMENTS
DECIDUOUS TREES						
8		Acer glabrum 'var. laevis'	Smooth Yellow Birch	Rm CA	As Shown	WB
10		Salix caprea	Japanese Willow	Rm CA	As Shown	WB
9		Opuntia basilaris	Saguaro	Rm CA	As Shown	WB
10		Acer palmatum 'Dissectum'	Japanese Dissected Maple	Rm CA	As Shown	WB
3		Magnolia 'botanical' 'Leucostylis'	Fls. Laurel Magnolia	Rm CA	As Shown	WB
CONIFEROUS TREES						
11		Picea canadica	Setback Spruce	Sh H	As Shown	WB
SHRUBS						
80		Spirea japonica 'Snowmound'	Snowmound Spirea	400mm H	As Shown	Plat
36		Claytonia hybridica	White Rock Rose	400mm H	As Shown	Plat
14		Hydrangea 'Prunifolia'	Myriad Hydrangea	400mm H	As Shown	Plat
23		Berberis 'houkii' 'Rosea'	Cherry Berberis	400mm Spaced	As Shown	Plat
150		Physocarpus opulifolius 'Diana'	Little Devil Hosta	400mm H	As Shown	Plat
102		Calluna vulgaris 'Spring Tuffet'	Heather	400mm H	As Shown	Plat
62		Viburnum cedrici	Doan's Viburnum	400mm H	As Shown	Plat
41		Salix purpurea 'Virens'	Cherry Purple Cedar	400mm H	As Shown	Plat
100		Sarcococca hookeriana var. alba 'Purple Heart'	Purple Heart Sweet Box	400mm Spaced	As Shown	Plat
PERENNIALS, GRASSES, COVERS, AND CROPPERS						
203		Rudbeckia hirta var. subvar. 'Goldstrum'	Black-eyed Susan	1 Grid	As Shown	Plat
22		Aster 'Black Knight'	Black Aster	1 Grid	As Shown	Plat

- 1. 2024/03/15 ISSUED FOR PERMIT
 - 2. 2024/03/15 ISSUED FOR REVIEW
- NO. 0176 (LAND SUBDIVISION)
MAYOR APPROVAL

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
**3550 - 192 STREET
SURREY, BC**

DRAWING TITLE
ENLARGEMENT 3

SCALE
1:50

DATE
2024

DRAWN BY
JT

CHECKED BY
3003-L

DATE
2024

SCALE
L1.3

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D1 BENCH N.T.S.

MANUFACTURER: SMOOR
MODEL: 2000 SERIES CONC BENCH
MATERIAL: CAST ALUMINUM AND PEWEEOOD
QUANTITY: 12
OR APPROVED EQUAL



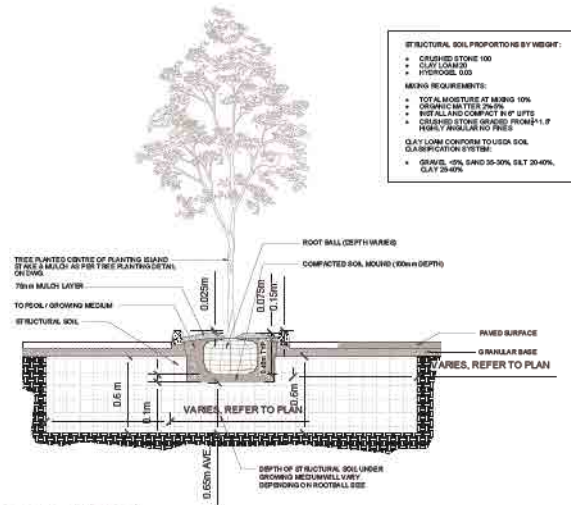
D2 BIKE RACK N.T.S.

MANUFACTURER: SERO
PRODUCT: SQUARE RACK
COLOR: OCEAN BLUE
QUANTITY: 3
OR APPROVED EQUAL



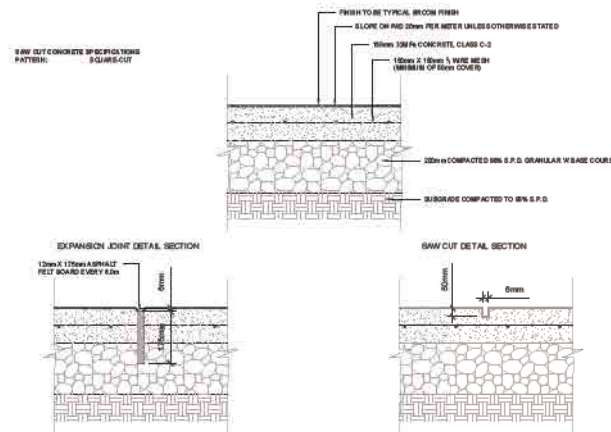
D3 POLE LIGHT N.T.S.

MANUFACTURER: LANDSCAPE FORMS
MODEL: PROFILE COLUMN LIGHT
QUANTITY: 4
OR APPROVED EQUAL



D4 STRUCTURAL SOIL N.T.S.

- NOTES:**
- CONCRETE TO BE 30M Pa CLASS C-2 AT 25 DASH WITH 4-6% AIR ENTRAINED
 - CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THICKNESS OF THE SURFACE
 - EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PARTS ADJUTS OTHER STRUCTURES OR BUILDINGS
 - SAW-CUT JOINTS TO BE LOCATED AT INTERVALS OF 6.0m
 - CONCRETE TO BE FINISHED WITH WHITE PIGMENT DURING CONPOUND
 - ALL DIMENSIONS ARE IN MILLIMETRES



D5 SAW CUT CONCRETE N.T.S.

D6 PLANTER N.T.S.

MANUFACTURER: VICTOR STANLEY
PRODUCT: SEMA LOW PROFILE SLABS
QUANTITY: 65
OR APPROVED EQUAL

3	304928	ISSUED FOR RE-OP
1	304691	ISSUED FOR REVIEW
NO. DATE (MM/DD) DESCRIPTION		
ISSUER APPROVALS		
SCALE		

NORTH ARROW

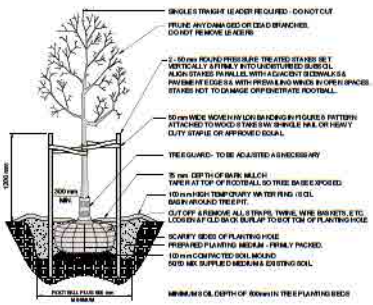
PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
**3500 - 192 STREET
SURREY, BC**

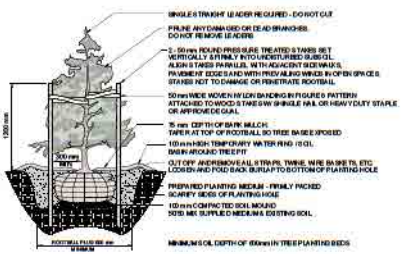
DRAWING TITLE
DETAILS

SCALE:	AS NOTED
DRAWN:	AM
CHECKED:	JT
PROJECT NO:	2023-L
DRAWING NO:	L2

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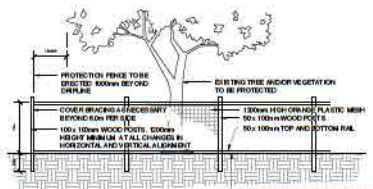
DECIDUOUS TREE N.T.S.



CONIFEROUS TREE N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL N.T.S.



NOTES:
 1. ATTACHMENT OF FENCE TO TREE WILL NOT BE PERMITTED.
 2. ANY EXPOSED ROOTS ARE TO BE HAND PRUNED USING PROPER ANTI-COLLARING PRACTICES.
 3. UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION TOOLS, EQUIPMENT OR VEHICLES ARE TO BE KEPT OUT OF THE TREE PROTECTION ZONE.
 4. ALL TREE PROTECTION TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY AND IS TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED. OBTAIN WRITTEN APPROVAL FROM CONTRACTOR PRIOR TO REMOVAL OF FENCING.

TREE PROTECTION DETAIL

1	3049209	ISSUED FOR RE-CP
2	3049291	ISSUED FOR REVIEW
3	3049291	ISSUED FOR REVIEW
4	3049291	ISSUED FOR REVIEW
5	3049291	ISSUED FOR REVIEW
6	3049291	ISSUED FOR REVIEW
7	3049291	ISSUED FOR REVIEW
8	3049291	ISSUED FOR REVIEW
9	3049291	ISSUED FOR REVIEW
10	3049291	ISSUED FOR REVIEW

DATE: 10/10/2023

PROJECT NAME:

**POLLYCO GROUP
 CAMPBELL HEIGHTS**

PROJECT ADDRESS:
**3550 - 192 STREET
 SURREY, BC**

DRAWING TITLE:
DETAILS

DATE:	AS NOTED
SCALE:	AS NOTED
PROJECT NO.:	23
DRAWING NO.:	30001-L

DRAWING NO. **L2.1**

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TO: **Director, Development Planning, Planning and Development Department**

FROM: **Acting Director, Land Development, Engineering Department**

DATE: **October 28, 2024**

PROJECT FILE: **7824-0159-00**

RE: **Engineering Requirements (Commercial/Industrial)**
Location: 3550 192 St

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.

BUILDING PERMIT

The following are to be addressed prior to issuance of the Building Permit (BP):

- Confirm existing reciprocal access easement conforms with proposed on-site drive aisle.
- Evaluate adequacy of existing sanitary connection and driveway provided under 7807-0326-00 and relocate/modify as required through the BP process.
- Install Backflow Preventor and Water meter on-site.
- Provide on-site drainage mitigation following Campbell Heights Land Use Plan requirements.
- Register applicable Restrictive Covenants on title through the BP process.

A Servicing Agreement is not required.



Jeff Pang, P.Eng.
Acting Director, Land Development

BD

TREE PRESERVATION SUMMARY

Surrey File Number:

Address: 3550 192nd Street Surrey

Arborist: Alexander Groenewold

Date of Report/Revision: 28th October 2024

Arborist Signature

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

<u>ONSITE TREES</u>		<u># of Trees</u>
Existing Bylaw Trees		<u>325</u>
Proposed Removed Bylaw Trees		<u>325</u>
Proposed Retained Bylaw Trees		<u>0</u>
Total Replacement Trees Required		
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio		
	Removed	Subtotal
	12 x 1	12
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio		
	Removed	Subtotal
	0 x 2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio		
	Removed	Subtotal
	313 x 2	626
Required Replacement Trees		<u>638</u>
Proposed Replacement Trees		<u>0</u>
Deficit of Replacement Trees		<u>638</u>
Total Onsite Retained and Replacement Trees		<u>0</u>

<u>OFFSITE TREES</u>		<u># of Trees</u>
Existing Bylaw Trees		<u>5</u>
Proposed Removed Bylaw Trees		<u>0</u>
Proposed Retained Bylaw Trees		<u>5</u>
Total Replacement Trees Required		
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio		
	Removed	
	0 x 1	0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio		
	Removed	
	0 x 2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio		
	Removed	
	0 x 2	0
Required Replacement Trees		<u>0</u>
*To be taken as cash-in-lieu		<u>0</u>
Total Offsite Retained Trees		<u>5</u>

<u>CITY TREES</u>	<u>Existing</u>	<u>Removed</u>	<u>Retained</u>
Park/City Lot Trees	0	0	0
Boulevard Trees	72	0	72
Total	72	0	72

TREE PRESERVATION BY LOCATION

Surrey File Number:

Address:

Arborist:

Date of Report/Revision:

3550 192nd Street Surrey

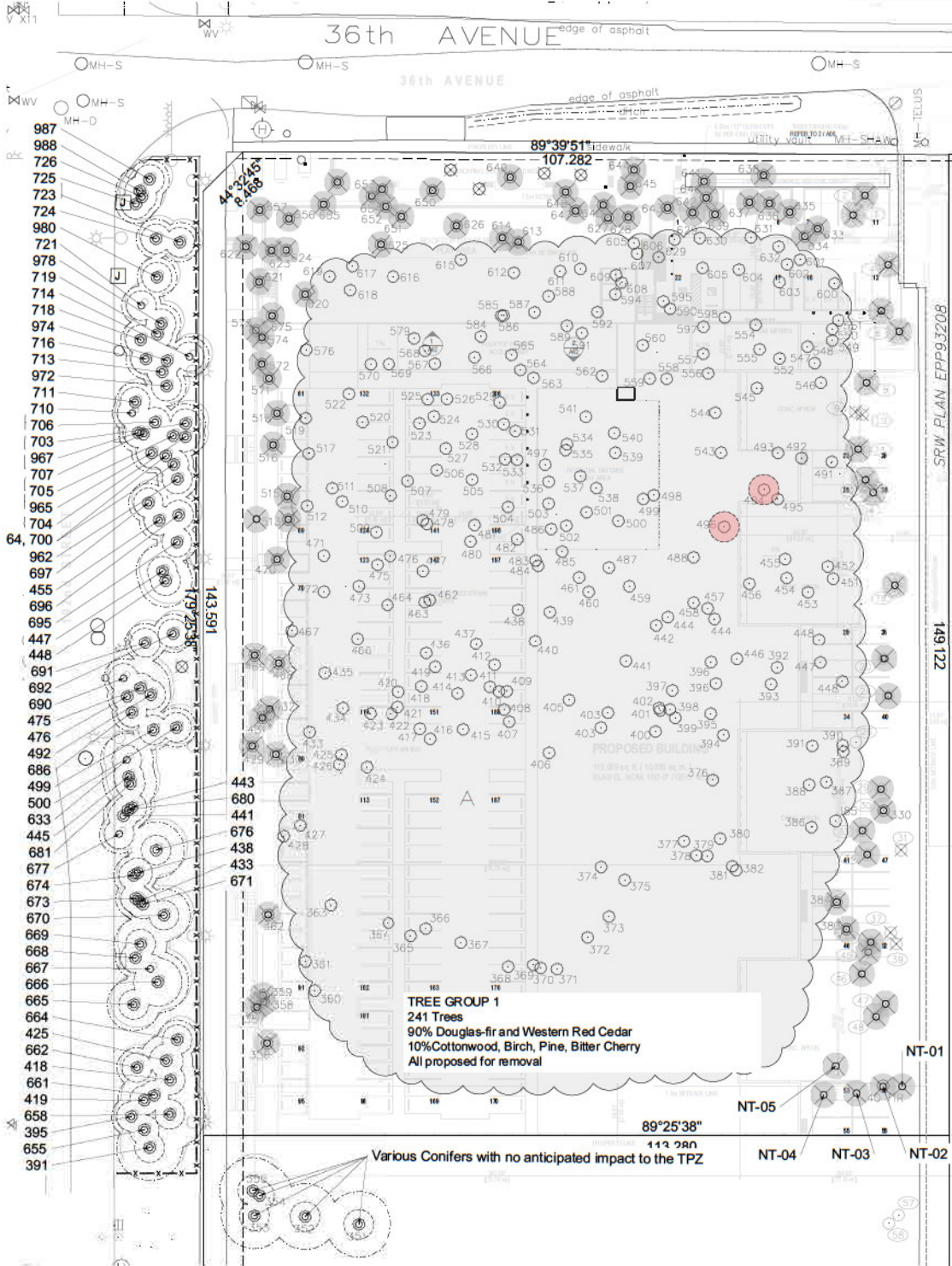
Alexander Groenewold

28th October 2024

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

ONSITE	<u>Alder & Cottonwood Trees</u>			
		Existing	Remove	Retain
	Alder/Cottonwood (outside riparian area)	12	12	0
	Alder/Cottonwood (within riparian area)			
	Total	12	12	0
	<u>Deciduous Trees</u> (excluding Alder & Cottonwood Trees)			
	Tree Species	Existing	Remove	Retain
	<i>Bitter Cherry</i>	3	3	0
	<i>Birch</i>	2	2	0
	Deciduous Subtotal	5	5	0
<u>Coniferous Trees</u>				
Tree Species	Existing	Remove	Retain	
<i>Douglas Fir</i>	177	177	0	
<i>Western Red Cedar</i>	128	128	0	
<i>Pinus sp</i>	1	1	0	
<i>Hemlock</i>	2	2	0	
Coniferous Subtotal	308	308	0	
Deciduous & Coniferous Total	313	313	0	
Onsite Tree Totals	325	325	0	
Onsite Replacement Trees Proposed *insert "0" if TBD or unknown				
Total Onsite Retained and Replacement Trees		0		

Alder & Cottonwood Trees				
OFFSITE		Existing	Remove	Retain
	Alder/Cottonwood (outside riparian area)			
	Alder/Cottonwood (within riparian area)			
	Total	0	0	0
Deciduous & Coniferous (excluding Alder & Cottonwood Trees)				
OFFSITE	Tree Species	Existing	Remove	Retain
	<i>Notassessed due to distance(7.5m+) from PL (tag351 - 355)</i>	5		5
	Deciduous & Coniferous Total	5	0	5
	Offsite Tree Totals	5	0	5
Total Offsite Retained Trees		5		
CITY		Existing	Remove	Retain
	Park/City Lot Trees			
	Boulevard Trees	72	0	72
	Total	72	0	72



PROTECTING AND MANAGING TREES DURING CONSTRUCTION

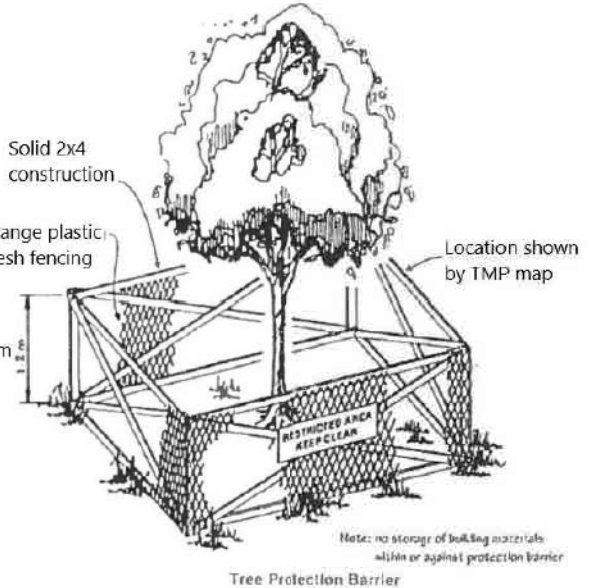
1. Refer to the most recent arborist report for full details on recommendations, required protection and management of trees. Contact the undersigned consulting arborist if any questions arise.
2. Tree Protection Fencing must be installed to municipal specifications prior to demolition, tree removal or construction work and be kept in good order until the completion of project or final landscaping. Consulting arborist to be contacted prior to Tree Protection Fencing removal.
3. The following activities are prohibited within the area enclosed by the Tree Protection Fencing unless specifically exempt by the consulting arborist:
 - a. Excavation, trenching, stump grinding, stump removal or subsurface work,
 - b. Grade alteration,
 - c. Storage of any construction material or demolition debris,
 - d. Parking or storage of vehicles or machinery,
 - e. Installation of parking, sidewalk, curbing, asphalt or building, or
 - f. Contamination of soil by processes of washing, dumping or cleaning out materials (Especially concrete, or oil based materials) within the Tree Protection Fencing or in a location such as to allow the contaminants to flow into the area designated by the Tree Protection Fencing.
4. Within the Arborist Supervision Zone, outside of the Tree Protection Fencing:
 - a. Excavation, trenching, stump grinding, stump removal or subsurface work can proceed only under the supervision of the consulting arborist,
 - b. All activities prohibited within the Tree Protection Fencing (See 3. above) should be minimized where possible within the Arborist Supervision Zone.
 - c. Consulting arborist to be contacted minimum 48 hours prior to required supervision.



LEGEND

- EXISTING TREE PROPOSED FOR REMOVAL
- EXISTING TREE TO BE RETAINED
- UNDER-SIZE TREE
- TREE PROTECTION FENCING
- ARBORIST SUPERVISION ZONE
- 19 TREE TAG NO.
- 19+ UNSURVEYED TREE TAG NO.
- CRITICAL ROOT ZONE
- TREE PROTECTION ZONE (LARGER OF CRZ OR DRIPLINE)
- HAZARD PRESENT
- TREE ON SURVEY NOT VISIBLE ON SITE

NOTE:
 All Trees shown outside Tree Group 1 were individually assessed for potential retention.
NO SUITABLE CANDIDATES WERE FOUND.
 Assessment Details can be found in Tree Inventory - Table 1 in the latest Arborist Report Package



Assessment Done May 27, 2024
 By Alexander Greenwood, I.S.A. TRAQ

POLLYCO INDUSTRIAL

PROJECT ADDRESS:
 3550 192nd Street, Surrey, BC

DRAWING TITLE:
 TREE MANAGEMENT PLAN - OVERALL

SCALE: 1:500 AT ARCH. SIZE

DATE: 05

DESIGNED BY: KM

DRAWN BY: KM

PROJECT NO.: 3550 - I

DRAWING NO.: **T1**

THIS DRAWING IS PROPERTY OF A MEMBER OF POLLYCO AND WILL NOT BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF POLLYCO

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0159-00

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-873-177
Lot A Section 27 Township 7 New Westminster District Plan EPP93207

3550 - 192 Street

(the "Land")

3. If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection E. Lot Coverage of Part 47A Business Park 1 Zone, the maximum lot coverage is increased from 60% to 64%;
 - (b) In Subsection F. Yards and Setbacks of Part 47A Business Park 1 Zone, the minimum rear (south) setback is reduced from 7.5 metres to 0.0 metres to the principal building face; and

- (c) In Subsection G. Height of Buildings of Part 47A Business Park 1 Zone, the maximum building height for principal buildings is increased from 14 metres to 16 metres.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli



PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
POLLYCO GROUP
CAMPBELL HEIGHTS

PROJECT ADDRESS
5550 - 162ND STREET
SURREY, BC V3S 0L5

DRAWING TITLE
SITE PLAN

SCALE	AS SHOWN
DRAWN	ME
REVIEWED	
PROJECT NO.	34831A
DRAWING NO.	

ZONING BY-LAW ANALYSIS

PROJECT DATA
 QVC ADDRESS: 355 162ND STREET, SURREY, BC BUILDING USE: LIGHT INDUSTRIAL
 LEGAL ADDRESS:
 DT AREA: 8,911 sq ft [160 hectares] [613,254 sq ft] [1.11 acres]
 ZONING: B1 - INDUSTRIAL BUSINESS PARK CNE

B1 - ZONING BY-LAW ANALYSIS (CITY OF SURREY)

- ZONING:** B1 - INDUSTRIAL BUSINESS PARK CNE
- SITE AREA:** 8,911 sq ft [160 hectares] [613,254 sq ft] [1.11 acres]
- SITE COVERAGE:** 18,058 sq ft [1,048 sq m]
- TOTAL SITE COVERAGE:** 18,058 sq ft [1,048 sq m] OR 63.2%
DWP REQUIRED
- BUILDING HEIGHT:** 14.66 m (48.07')
MAXIMUM HEIGHT: 15.24 m (50.00')
PROPOSED HEIGHT: 15.24 m (50.00') DWP REQUIRED
- REQUIRED STALLS:**

REQUIRED	PROPOSED	
FRONT (SIDE) DECK:	7.56 m (24.81')	7.56 m (24.81')
REAR (SIDE) DECK:	7.56 m (24.81')	7.56 m (24.81')
REAR (SIDE) DECK:	7.56 m (24.81')	7.56 m (24.81')
REAR (SIDE) DECK:	7.56 m (24.81')	7.56 m (24.81')
- LANDSCAPING REQUIREMENTS:** LANDSCAPING AREA A LAKEN (P) AND SCREENING AND FENCING SHALL COMPLY WITH CITY OF SURREY BY-LAW REQUIREMENTS.
- VEHICLE PARKING AND LOADING:** REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATION, UNLESS NOTED OTHERWISE.
- LIGHT IMPACT INDUSTRIAL:** 1 STALL PER 100 sq m GFA 11.666 / 1,678 sq ft
- OFFICE (MEZZANINE / SECOND):** 22 STALL PER 100 sq m GFA 13.222 sq ft / 1,478 sq ft x 2.5
- CHILD CARE FACILITY:** 0.9 STALL PER EMPLOYEE
- RECREATION (THIRD FLOOR):** 0.8 STALL PER CHILD GROUP OFF. 246 x 15
- EMPLOYEES = 670**
- TOTAL PARKING STALLS REQUIRED:** 4.8 STALLS PER CHILD GROUP OFF.
- VEHICLE PARKING PROVIDED:** 33
- PARKING TYPE:**

NO. OF SPACES	
ACCESSIBLE PARKING	4
SMALL CAR	6
STANDARD PARKING	MS
STANDARD PARKING - EV	0
TOTAL PARKING SPACES PROVIDED:	33
- STALL DIMENSIONS:**

STANDARD STALL	2.06 m (6.75') W	5.26 m (17.26') L
TANGENT PARKING STALL	2.06 m (6.75') W	6.06 m (19.88') L
PARALLEL STANDING STALL	2.06 m (6.75') W	6.76 m (22.18') L
ACCESSIBLE STALL	2.06 m (6.75') W	5.26 m (17.26') L
SMALL CAR STALL (MAX X 2.06)	2.06 m (6.75') W	4.96 m (16.28') L
LOADING STALL	4.06 m (13.32') W	5.26 m (17.26') L
- OVERHANG WIDTH:** 7.06 m (23.16') @ 40° (2ND FLOOR)
- LOADING CALCULATION:** LOADING SPACE ADJACENT TO EACH OVERHANG ROOF OF BUILDING
- BICYCLE PARKING:** REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATION, UNLESS NOTED OTHERWISE.
- INDUSTRY LIGHT IMPACT - BICYCLE PARKING REQUIREMENT NOT APPLICABLE PER TABLE 1.1 OF SECTION 6**

GROSS FLOOR AREA

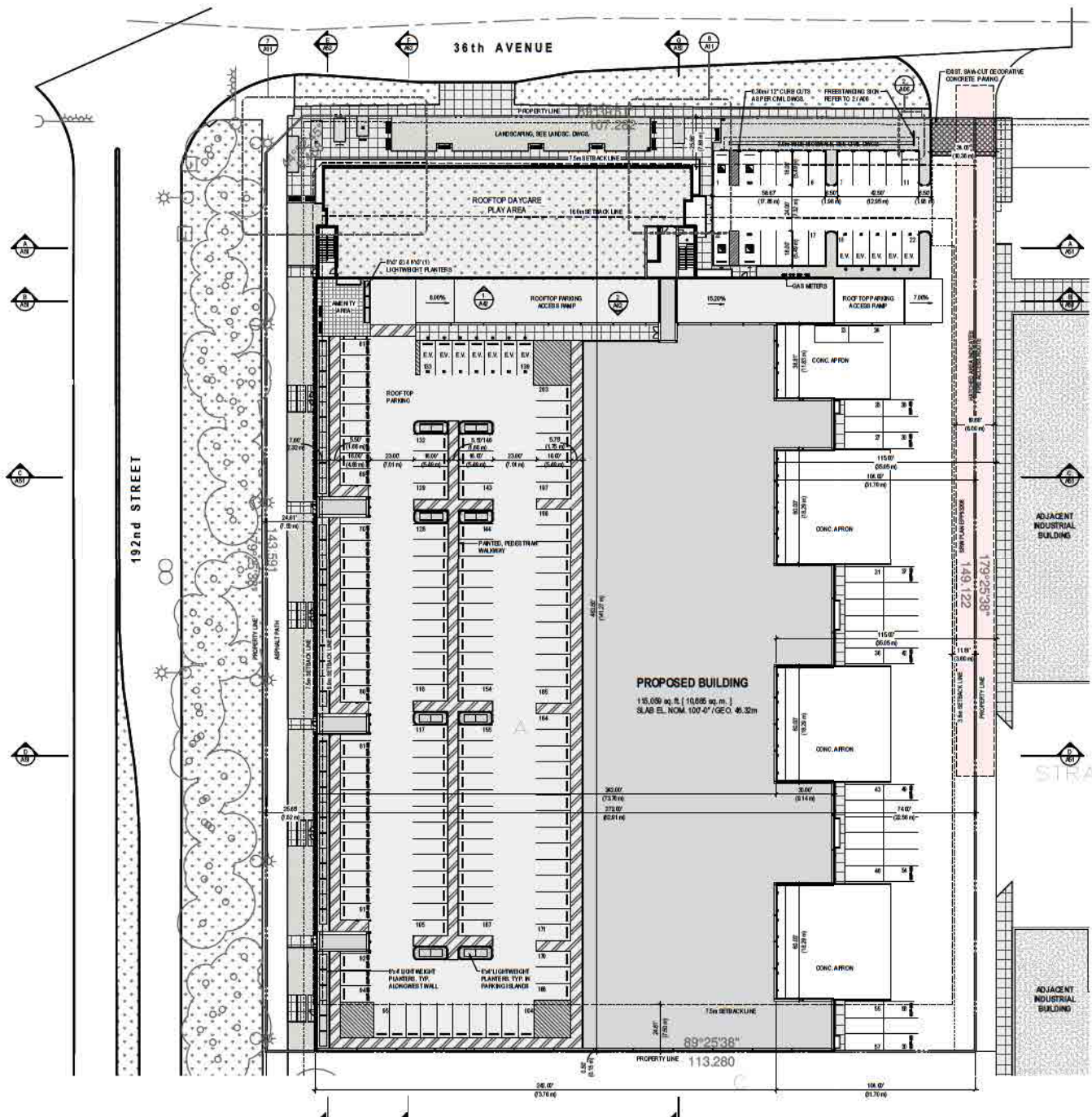
MAIN FLOOR LIGHT INDUSTRIAL	18,058 sq ft [1,048 sq m]
MEZZANINE	12,855 sq ft [1,186 sq m]
SECOND FLOOR DAYCARE	11,955 sq ft [1,107 sq m]
THIRD FLOOR DAYCARE	11,955 sq ft [1,107 sq m]
TOTAL GROSS FLOOR AREA	54,823 sq ft [5,058 sq m]
DENSITY:	19,688 CREDS (MAX ALLOWABLE = 19)

reduce rear (south) setback from 7.5 m to 0.0 m

1 SITE PLAN
SCALE: 1:50

increase lot coverage from 60 % to 64 %

increase maximum building height from 14 m to 16 m



PROPOSED BUILDING
 15,059 sq ft [1,048 sq m]
 SLAB EL. NOM. 100.0' / GEO. 46.32m

PROPERTY LINE 113.280

