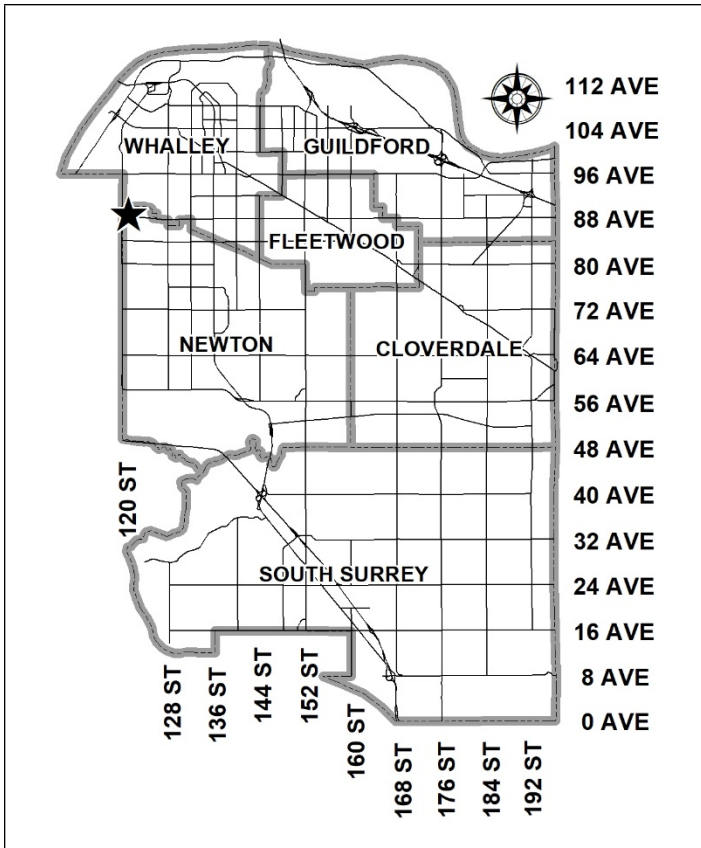


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7924-0185-00

Planning Report Date: February 24, 2025



PROPOSAL:

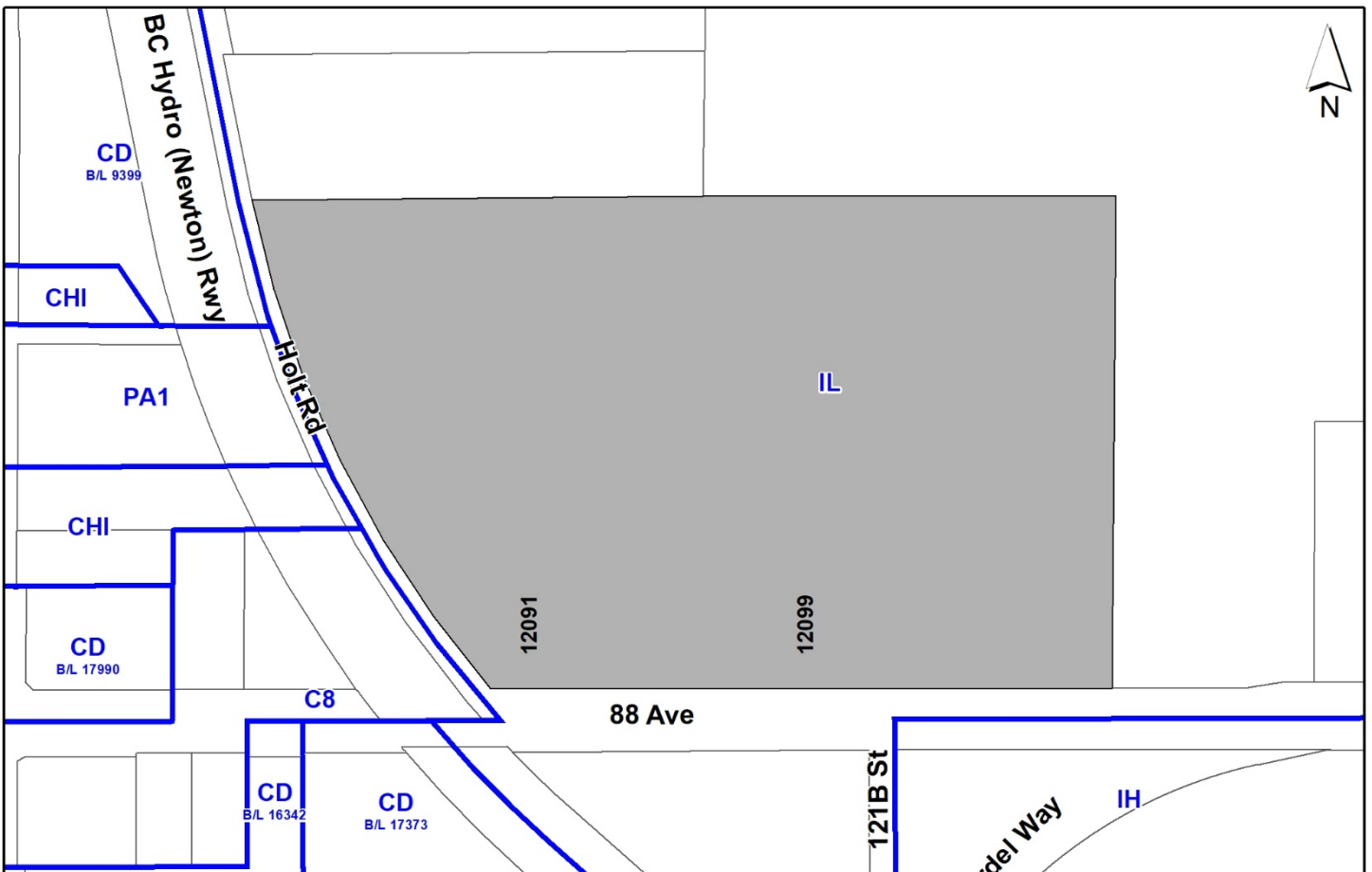
- **Rezoning** the site from IL to CD (based on IL)
- **Development Permit**

to permit the development of a multi-tenant industrial building, with accessory offices and commercial uses, for a total floor area of 13,792 square metres.

LOCATION: 12091 - 88 Avenue
12099 - 88 Avenue

ZONING: IL

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Industrial designation in the Official Community Plan (OCP).
- The proposal complies with the Industrial designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of the Newton industrial area.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the site from "Light Impact Industrial Zone (IL)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7924-0185-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) Final Approval from the Ministry of Environment, regarding remediation on the site;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department, except for those identified in the Spatial Separation Report for retention; and
 - (h) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Industrial	Industrial	IL
North:	Industrial/BC Hydro	Industrial	IL
East:	BC Hydro	Industrial	IL
South (Across 88 Avenue):	Industrial	Industrial	IL
West (Across Holt Road):	Railway	Industrial and Commercial	C8, CHI, PA1, CD Bylaw No. 9399

Context & Background

- The subject site is a 55,854 square metre site located along 88 Avenue at Holt Road. The property is currently zoned "Light Impact Industrial Zone (IL)" and designated Industrial in the Official Community Plan (OCP) and Regional Growth Strategy (RGS).
- There is a large existing building currently on the central and western portions of the site, which was previously occupied by Post Media and subsequently Surrey Studio City which will be retained.

DEVELOPMENT PROPOSAL

Planning Considerations

- The application proposes to subdivide the site into two lots and to rezone the eastern lot to "Comprehensive Development Zone (CD)" based on the "Light Impact Industrial Zone (IL)" and a Development Permit to allow development of a new 3-storey multi-tenant industrial building, with accessory offices and commercial uses, for a total floor area of 13,792 square metres. The western portion of the site is proposed "Comprehensive Development Zone (CD)" based on the "Light Impact Industrial Zone (IL)", to allow for additional uses, particularly to accommodate a Data Centre (general service use).
- Given the proximity to transit and the Scott Road commercial areas, additional commercial uses are permitted under the proposed CD By-law, but these are restricted to the ground floor only. Over 50% of the proposal is industrial, with accessory commercial and office uses.
- The new building is proposed with the commercial and office uses along the frontage of the building near 88 Ave, and the industrial uses occupying the rear of the site. All uses are to be located within one building.
- The proposed new development (eastern site) will have 13,792 square metres of floor area, with a Floor Area Ratio of 0.83.

	Proposed
Lot Area	
Gross Site Area:	55,890 square metres
Road Dedication:	850.1 square metres
Net Site Area:	Lot 1: 3.84 hectares Lot 2: 1.66 hectares
Number of Lots:	2
Building Height:	14 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	0.83
Floor Area	
Industrial:	8,053 square metres
Commercial:	941 square metres
Offices:	4,798 square metres
Total:	13,792 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation and Culture	Kennedy Park is the closest active park with natural area and amenities including, trails, tennis courts, dog off-leash area, and is 500 metres walking distance from the development.
Surrey Fire Department:	No objections.
Advisory Design Panel:	The application was not subject to review by the ADP as review of this building type is not required by the ADP Terms of Reference, but was reviewed by staff and found satisfactory.
Ministry of Environment	The MoE is reviewing the Site Profile that has been submitted by the applicant in support of their proposal. Final Approval from the MoE would be required prior to Final Adoption of the associated Rezoning By-law should Council support the subject development application. Remediation is required due to ink/dye manufacturing, petroleum product, dispensing facilities, or other similar uses that have occurred on the property.

Transportation Considerations

- There is a portion of road dedication required along the western portion of the site (Lot 1) along 88 Avenue, representing 850.1 square metres of land.
- Access to the site will be from the south on 88 Avenue, and is proposed as a shared access between proposed lots 1 and 2. This is an existing access that will be modified, with an easement proposed between the sites.

- A total of 214 parking spaces are proposed, which includes a reduction of the parking rate for offices from 2.5 spaces per 100 m², to 2.2 spaces per 100 m², which is reflected in the proposed CD Zone. Industrial and commercial parking rates are provided as per the Zoning By-law. A small parking lot is proposed along the frontage of the site, with most parking along the east and west sides of the proposed building.
- There are several bus routes, including bus rapid transit on 120 Street, approximately 350 metres from the site. There is also a peak only bus route to 22nd Street Station and Carvolth Exchange at peak times only, fronting the site.
- There is a multi-use pathway along the north side of 88 Avenue, fronting the site which will remain.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the Industrial designation in the Metro Vancouver Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the Industrial designation in the Official Community Plan (OCP).
- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development is oriented towards 88 Avenue with expansive two-level spandrel glazing along the frontage).

CD By-law

- The applicant proposes to rezone the subject site from "Light Impact Industrial Zone (IL)" to "Comprehensive Development Zone (CD)" to accommodate a new building. The CD Zone will be split between Blocks A (west) and B (east).

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a Data Centre on Block A, and additional office and service uses on Block B in relation to the current Light Impact Industrial (IL) Zone . The proposed CD By-law for the development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Light Impact Industrial Zone (IL)". A comparison of the density, lot coverage, setbacks, building height and permitted uses in the IL Zone and the proposed CD By-law is illustrated in the following table:

Zoning	IL Zone (Part 48)	Proposed CD Zone
Floor Area Ratio:	1.00	1.00
Lot Coverage:	60%	60%
Yards and Setbacks	7.5 m. One side yard setback shall be 7.5 m or 0.0 m if the said side yard abuts land which is designated Commercial, Mixed Employment or Industrial in the OCP.	7.5 m. One side yard setback shall be 7.5 m or 0.0 m if the said side yard abuts land which is designated Commercial, Mixed Employment or Industrial in the OCP.
Principal Building Height:	18 m	18 m
Permitted Uses:	<p><u>Principal Uses:</u></p> <ol style="list-style-type: none"> Light impact industry. Recycling depots, pursuant to Section J.5 of this Zone. Transportation industry. Automotive service uses. Automobile painting and body work. Vehicle storage, including recreational vehicle storage. Industrial equipment rentals. General service uses, limited to the following: (a) Driving schools; (b) Fleet dispatch offices; (c) Industrial first aid training; (d) and Trade schools. Warehouse uses. Distribution centres Office uses, limited to the following: (a) Architectural and landscape architectural offices; (b) (c) (d) (e) Engineering and surveying offices; General contractor offices; Government offices; and Utility company offices. Self-Storage Warehouse. Liquor manufacturing, provided that: (a) If there is a liquor tasting lounge it shall not exceed 40% of the gross floor area of the entire liquor manufacturing business or 150 sq. m., whichever is lesser; (b) If there is an on-site store endorsement it must be included in the calculation of the maximum area permitted for the liquor tasting lounge in Sub-section B.13(a); and (c) If there is an outdoor patio associated with the liquor tasting lounge it must not exceed the total area of the permitted liquor tasting lounge in Sub-section B.13(a), or 80 sq. m., whichever is lesser. <p><u>Accessory Uses:</u></p> <ol style="list-style-type: none"> Coffee shops, limited to a maximum of 35 seats, pursuant to Section J.6 of this Zone. Recreation facilities, excluding go-kart operations, drag racing and rifle ranges. 	<p><u>Block A:</u></p> <p><u>Principal Uses:</u></p> <ol style="list-style-type: none"> Light impact industry. Recycling depots, pursuant to Section J.5 of this Zone. Transportation industry. Automotive service uses. Automobile painting and body work. Vehicle storage, including recreational vehicle storage. Industrial equipment rentals. General service use limited to the following: (a) Driving schools; (b) Fleet dispatch offices; (c) Industrial first aid training; (d) Trade schools; and (e) Data Centre Warehouse uses. Distribution centres Office uses, limited to the following: (a) Architectural and landscape architectural offices; (b) (c) (d) (e) Engineering and surveying offices; General contractor offices; Government offices; and Utility company offices. Self-Storage Warehouse. Liquor manufacturing, provided that: (a) If there is a liquor tasting lounge it shall not exceed 40% of the gross floor area of the entire liquor manufacturing business or 150 sq. m., whichever is lesser; (b) If there is an on-site store endorsement it must be included in the calculation of the maximum area permitted for the liquor tasting lounge in Sub-section B.13(a); and (c) If there is an outdoor patio associated with the liquor tasting lounge it must not exceed the total area of the permitted liquor tasting lounge in Sub-

	<p>16. Community services.</p> <p>17. Assembly halls, limited to places of worship, to a maximum of 300 seats, pursuant to Section D.2 below</p> <p>18. Child care centres, pursuant to Section J.7 of this Zone.</p> <p>19. Caretaker unit, pursuant to Section D.3 of this Zone.</p> <p>20. Sales of rebuilt vehicles < 5,000 kg G.V.W. provided that:</p> <p>(a) It is part of an automobile painting and body work business;</p> <p>(b) The number of rebuilt vehicles ready for sale shall not exceed 5 at any time;</p> <p>(c) The business operator holds a current and valid Motor Dealer's certificate; and</p> <p>(d) The business operator is an approved Insurance Corporation of British Columbia Salvage Buyer.</p>	<p>section B.13(a), or 80 sq. m., whichever is lesser.</p> <p><u>Accessory Uses:</u></p> <p>14. Coffee shops, limited to a maximum of 35 seats, pursuant to Section J.6 of this Zone.</p> <p>15. Recreation facilities, excluding go-kart operations, drag racing and rifle ranges.</p> <p>16. Community services.</p> <p>17. Assembly halls, limited to places of worship, to a maximum of 300 seats, pursuant to Section D.2 below</p> <p>18. Child care centres, pursuant to Section J.7 of this Zone.</p> <p>19. Caretaker unit, pursuant to Section D.3 of this Zone.</p> <p>20. Sales of rebuilt vehicles < 5,000 kg G.V.W. provided that:</p> <p>(a) It is part of an automobile painting and body work business;</p> <p>(b) The number of rebuilt vehicles ready for sale shall not exceed 5 at any time;</p> <p>(c) The business operator holds a current and valid Motor Dealer's certificate; and</p> <p>(d) The business operator is an approved Insurance Corporation of British Columbia Salvage Buyer.</p> <p><u>Block B:</u></p> <p><u>Principal Uses:</u></p> <ol style="list-style-type: none"> 1. <i>Light impact industry.</i> 2. <i>Recycling depots</i>, pursuant to Section J.5. of this Zone. 3. <i>Transportation industry.</i> 4. <i>Automotive service uses.</i> 5. <i>Automobile painting and body work.</i> 6. <i>Warehouse uses.</i> 7. <i>Distribution centres.</i> 8. <i>Self-Storage Warehouse.</i> 9. <i>Liquor manufacturing</i>, provided that: <ol style="list-style-type: none"> (a) If there is a <i>liquor tasting lounge</i> it shall not exceed 40% of the <i>gross floor area</i> of the entire <i>liquor manufacturing</i> business or 150 sq. m., whichever is lesser; (b) If there is an on-site store endorsement it must be included in the calculation of the maximum area permitted for the <i>liquor tasting lounge</i> in Sub-section B.13.(a); and (c) If there is an outdoor patio associated with the liquor tasting lounge it must not exceed the total area of the permitted <i>liquor tasting lounge</i> in Sub-section B.13.(a), or 80 sq. m., whichever is lesser. <p><u>Accessory Uses:</u></p> <ol style="list-style-type: none"> 10. Office uses.
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		<ol style="list-style-type: none"> 11. <i>Coffee shops</i>, limited to a maximum of 35 seats, pursuant to Section J.6. of this Zone. 12. <i>Recreation facilities</i>, excluding go-kart operations, drag racing and rifle ranges. 13. <i>Community services</i>. 14. <i>Eating establishments</i>, limited to a maximum of 400 sq. m., and limited to the ground floor. 15. <i>General service uses</i>, limited to the ground floor. 16. <i>Personal services uses</i>, limited to the ground floor. 17. <i>Child care centres</i>, pursuant to Section J.7. of this Zone. 18. <i>Caretaker unit</i>, pursuant to Section D.3. of this Zone."
Parking (Part 5)		Proposed
Industrial:	81	81
Commercial:	24	24
Office:	118	106
Total:	223	211 (214 provided)

Block A

- Under General Services Uses, the IL zone restricts them to very specific uses. The applicant proposes a Data Centre, which falls under General Service Uses, so this use has been added to the General Service Uses that are permitted.
- The proposed Block A will have a proposed Data Centre, which has a much lower parking demand than typical General Service Uses, as there are typically no costumers visiting, and only a small skeleton staff. The applicant proposed a parking rate of 1 space for every 100 square metres, which is equivalent to most typical industrial uses. This is supported due to the very specific demand of the proposed Data Centre.

Block B

- Uses that have been eliminated:
 - Vehicle storage, including recreational vehicle storage (due to the built form proposed)
 - Industrial equipment rentals (due to the built form proposed)
 - Assembly Halls (high parking requirements)
 - Sales of rebuilt vehicles (due to the built form proposed)
- Uses that have been added:
 - Eating establishments, limited to a maximum of 400 sq. m., and limited to the ground floor.
 - Personal services uses, limited to the ground floor.
- Uses that have been modified:

- General services uses were permitted with restrictions, under the Principal uses of the IL Zone. This is proposed without restrictions, but under Accessory uses, to ensure no more than 50% of the floor area can have those uses. These uses have also been restricted to the ground floor.
- Office uses were permitted with restrictions, under the Principal uses of the IL Zone. This is proposed without restrictions, but under Accessory uses, to ensure no more than 50% of the floor area can have these uses.
- The proposed Block B mostly differs from the IL zone in terms of permitted uses. The applicant is proposing a 10% parking reduction to the office parking rate (from 2.5 space for every 100 square metres to 2.2 spaces for every 100 square metres), with the required parking spaces reduced to 214 spaces. The parking rate for the industrial, retail and other uses remains the same. This is supported due to the elimination of assembly hall as an accessory use, and the proximity to transit along 120 Street.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on January 28, 2025, and the Development Proposal Signs were installed on January 25, 2025. Staff received no responses.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant is proposing to construct a 3-storey industrial and office building with 8 commercial units along the 88 Avenue frontage. The design features substantial glazing on the south and west facades. The dominant exterior colour will be light grey with cedar finish fibre cement board siding and dark grey fibre cement board trim. Canopies over the clear glazing on the south and east elevations adds an element of interest and provide weather protection to the two street-facing elevations.
- The commercial units and office units are concentrated along the frontage of the site, and the industrial uses are further back in the building. 58% of the building floor area is proposed with industrial uses, and the other uses as accessory.
- An outdoor amenity space is proposed above the floors where industrial uses are proposed, with access provided on the 3rd floor (offices).

Landscaping

- A 3-metre wide landscape buffer is proposed along 88 Avenue, with planting within the site restricted to the landscape islands every 6 stalls.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include refinement of the signage, and additional screening for the loading bays.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Alexander Groenewold, ISA Certified Arborist of Greenwood Tree Health Care and Consulting prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix III).

All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood	20	15	5
Deciduous Trees	35	16	19
Coniferous Trees	10	0	10
Onsite Tree Totals	65	31	34
Onsite Replacement Trees Proposed	26		
Total Onsite Retained and Replacement Trees	60		

- The Arborist Assessment states that there are a total of 65 bylaw protected trees on the site. Additionally, there are 2 bylaw protected offsite trees and 31 bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain 34 onsite trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading. Additionally, 1 offsite tree is proposed for removal and 17 City trees are proposed for removal to allow for required road widening. City trees will be compensated at a rate of 2 to 1.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 47 replacement trees on the site. Since the proposed 26 replacement trees cannot be accommodated on the site, the proposed deficit of 21 replacement trees will require an estimated cash-in-lieu payment of \$11,550, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety including Katsura tree, Blook Good Japanese Maple, Austrian Pine and a variety of shrubs.
- In summary, a total of 60 trees are proposed to be retained or replaced on the site with an estimated contribution of \$11,550 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- | | |
|---------------|---|
| Appendix I. | Survey Plan, Block Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix II. | Engineering Summary |
| Appendix III. | Summary of Tree Survey, Tree Preservation and Tree Plans |

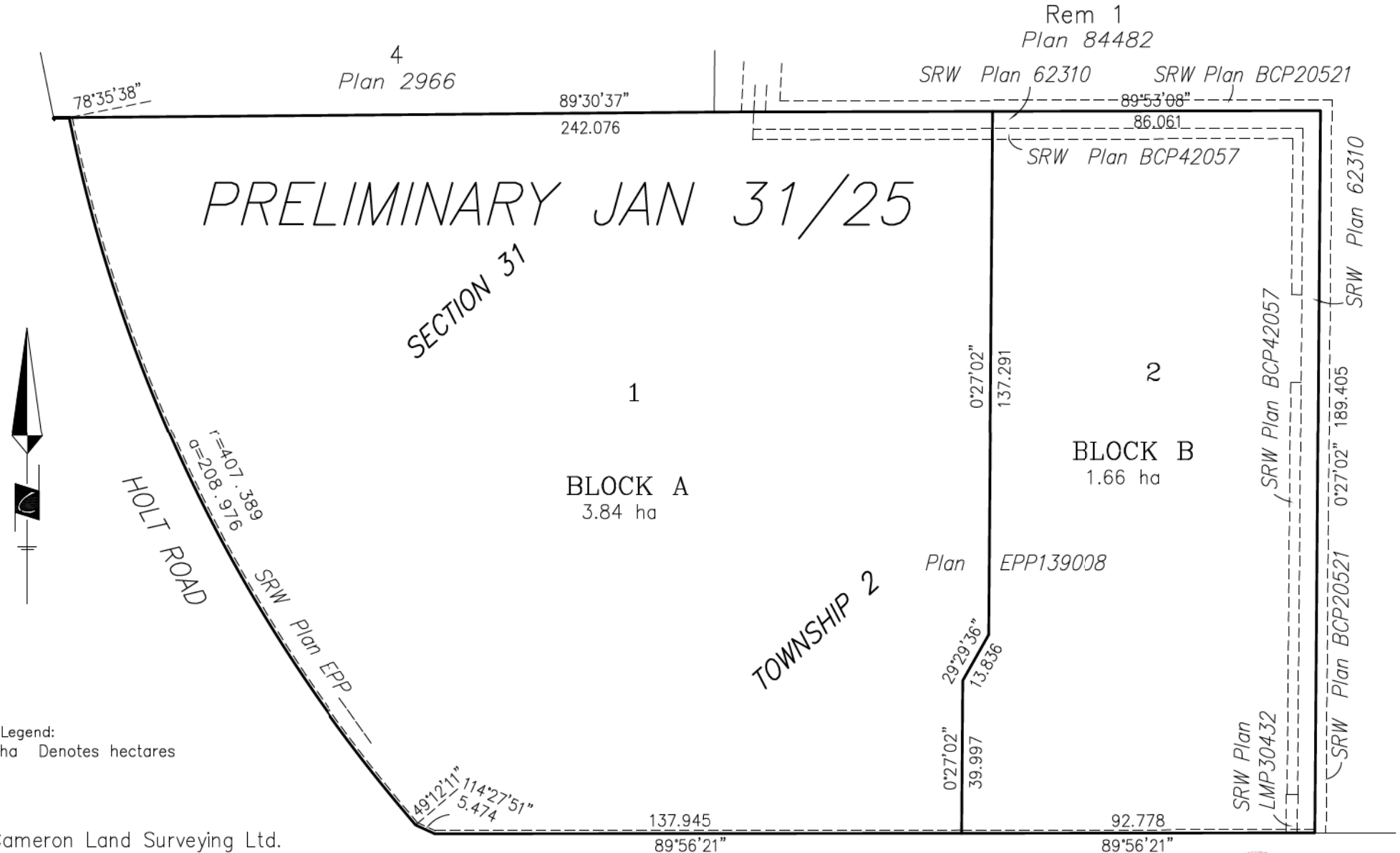
approved by Shawn Low

Ron Gill
General Manager
Planning and Development

LFM/cb

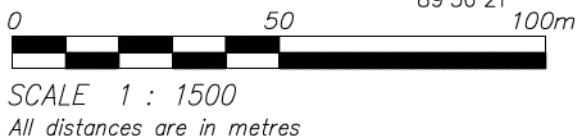
SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____
 OF LOTS 1 AND 2, SECTION 31, TOWNSHIP 2, NWD, PLAN EPP139008

City of Surrey B.C.G.S. 92G.016



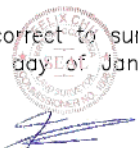
Legend:
 ha Denotes hectares

Cameron Land Surveying Ltd.
 B.C. Land Surveyors
 Unit 234 - 18525-53rd Avenue
 Surrey, B.C. V3S 7A4
 Phone: 604-597-3777
 File: 9179 block



88th AVENUE

Certified correct to survey dated
 this 31st day of January, 2025.



Felix Chu, B.C.L.S.

This plan lies within the Metro Vancouver Regional District

SUBDIVISION PLAN OF LOT 1 SECTION 31 TOWNSHIP 2
 GROUP 2 NEW WESTMINSTER DISTRICT PLAN LMP26311

PLAN EPP139008

City of Surrey B.C.G.S. 92G.016
 Pursuant to Section 67, Land Title Act



SCALE - 1 : 750

All distances are in metres

The intended plot size of this plan is 854mm
 in width by 560mm in height (D Size) when
 plotted at a scale of 1:750

Integrated Survey Area No. 1
 City of Surrey NAD83 (CSRS) 4.0.0.BC.1.MVRD

Old Bearings are derived from observations between
 Control Monuments 8755 and 92H0877 and are referenced
 to the central meridian of UTM zone 10.

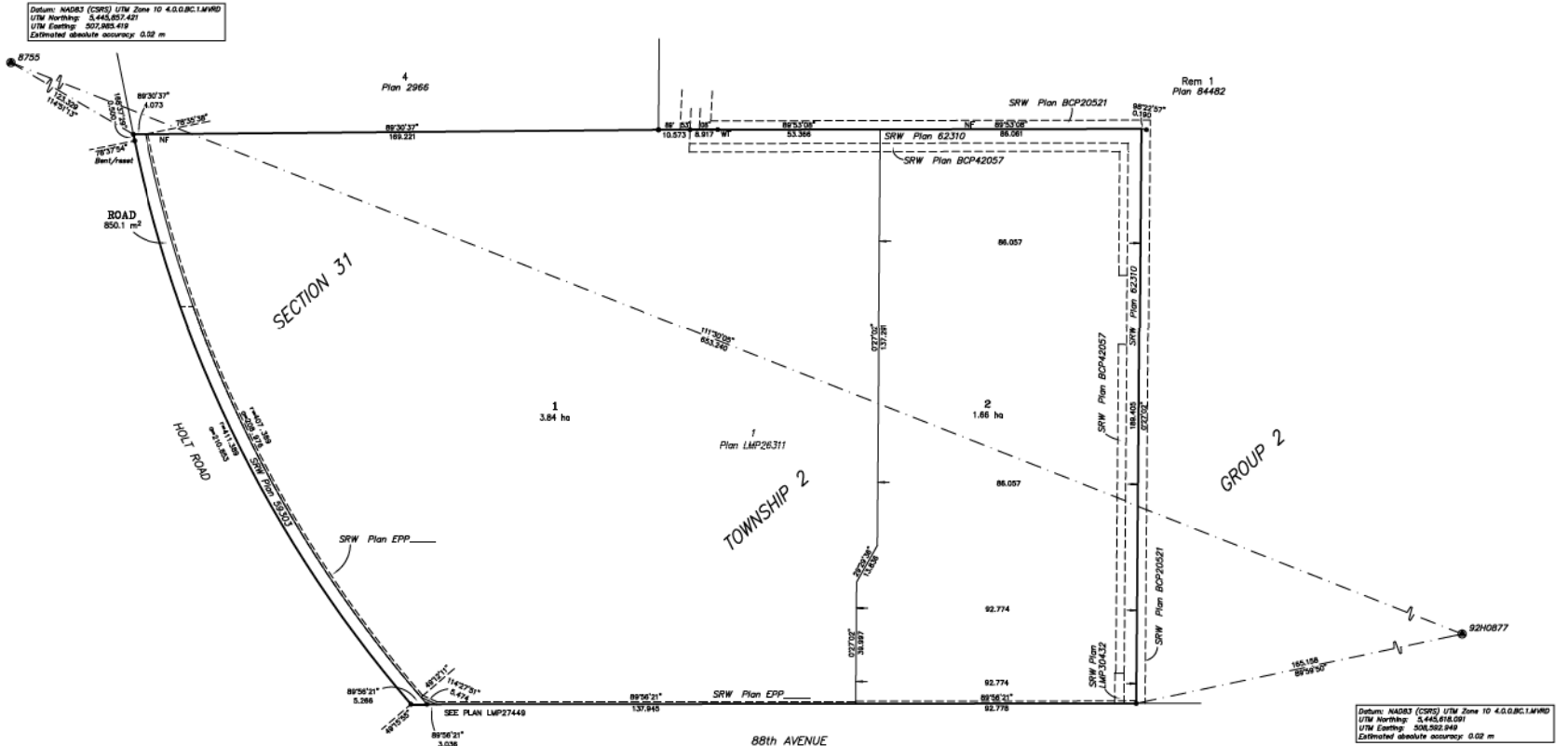
The UTM co-ordinates and estimated absolute accuracy
 achieved are derived from the MASCOI published
 coordinates and standard deviations for geodetic control
 monuments 8755 and 92H0877.

This plan shows horizontal ground-level distances
 unless otherwise specified. To compute grid
 distances, multiply ground-level distances by the
 average combined factor of 0.9999856 which has
 been derived from geodetic control monuments
 8755 and 92H0877.

- Legend:
- Denotes control monument found
 - Denotes standard iron post found
 - Denotes standard iron post set
 - Rem Denotes remainder
 - WT Denotes witness

Note: This plan shows one or more
 witness posts which are not set on
 the true corner(s).
 Witness posts are set along the
 production of a boundary unless
 otherwise noted.
 Some symbols and trees have been
 esopgetated for clarity.

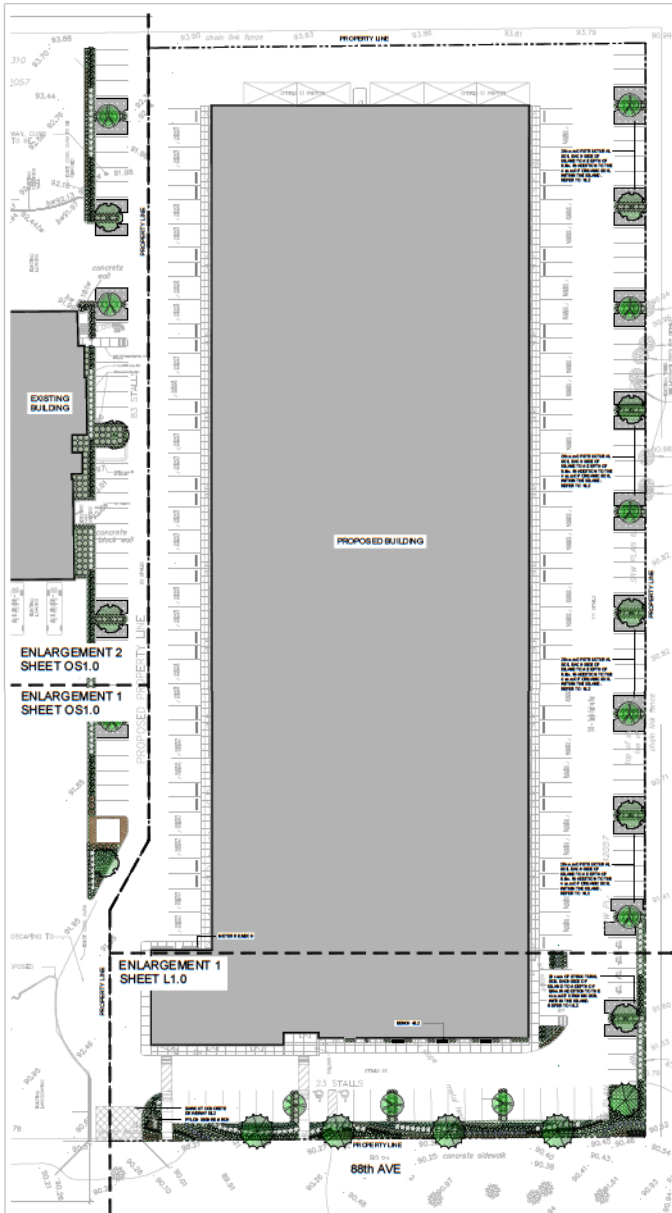
PRELIMINARY 18OCT2024



Cameron Land Surveying Ltd.
 B.C. Land Surveyors
 Unit 234 - 16525 53rd Avenue
 Surrey, B.C. V0S 7A4
 Phone: 604-597-3777
 Fax: 9179-508

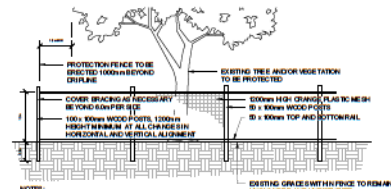
This plan lies within the jurisdiction of the
 Approving Officer for the City of Surrey
 This plan lies within the Metro Vancouver Regional District

The field survey represented by this plan was
 completed on the 18th day of June, 2024.
 Sean Costello, B.C.L.S. (900)



PLANT LIST - ENTIRE SITE

LEV	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
1	9	<i>Cordylifera japonica</i>	Kakura Tree	8m O.C.	As Shown
2	11	<i>Acer palmatum 'Nippon'</i>	Blot ginkgo japonica High	8m O.C.	As Shown
CONIFEROUS TREES					
3	8	<i>Pinus nigra</i>	Autumn Pine	3m H.	As Shown
SHRUBS					
4	7	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Cedar	3.6M	As Shown
5	130	<i>Rosa rugosa</i>	Rosie Rose	80 P.C.	As Shown
6	140	<i>Spiraea vanhouttei</i>	Spiraea	80 P.C.	As Shown
7	100	<i>Taxus canadensis 'Maid'</i>	Angie Japanese Yew	80 P.C.	As Shown
8	40	<i>Ignea Douglasii</i>	Western Spirea	80 P.C.	As Shown
9	140	<i>Neuchamaeviana</i>	Emerald Hollyherry	80 P.C.	As Shown
PERENNIALS, GROUND COVERS, AND GRASSES					
10	12	<i>Andropogon distachyoides</i>	Stachery	#1 P.C.	As Shown
11	400	<i>Liriodendron tulipifera</i>	Lily Turf	#1 P.C.	As Shown
12	70	<i>Cakile hirsuta</i>	Joystick	#1 P.C.	As Shown
13	150	<i>Chamaecrista nictitans 'Green Ball'</i>	Green Ball Polecrops	#1 P.C.	As Shown



NOTES:
 1. ATTACHMENT OF FENCE TO TREES WILL NOT BE PERMITTED.
 2. ANY EXPOSED ROOTS ARE TO BE HAND FILED LEAVING PROPER ARBORICULTURAL PRACTICES.
 3. UNDER NO CIRCUMSTANCES SHALL ANY CONSTRUCTION MATERIAL, EQUIPMENT OR VEHICLE BE PLACED WITHIN THE TREE PROTECTION ZONE.
 4. ALL TREE PROTECTION TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY AND IS TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED OBTAIN WRITTEN APPROVAL FROM CONTRACT ADMINISTRATOR PRIOR TO REMOVAL OF FENCING.

TREE PROTECTION DETAIL N.T.S.

LEGEND

- PLANTING MEDIUM
- CONCRETE SIDEWALK PAVING
- GRAVEL
- SAWCUT CONCRETE DRIVEWAY
- BENCH
- RETAINING WALL
- BIKE RACK
- PROPERTY LINE
- SETBACK LINE
- ARBORETUM BUFFER AREA
- TREE PROTECTION FENCE
- EXISTING TREE TO REMAIN

NO.	DATE	ISSUED FOR COORDINATION	DESCRIPTION
1	2024/11/14	ISSUED FOR COORDINATION	
2	2024/11/14	ISSUED FOR COORDINATION	

NO. DATE ISSUED DESCRIPTION
 DRAWN APPROVALS
 SEAL



PROJECT NAME
 88th HOLT Rd.

PROJECT ADDRESS
 12091/12099 88 Ave
 SURREY, BC

DRAWING TITLE
 LANDSCAPE OVERALL PLAN

SCALE	1:200
DRAWN	NA
CHECKED	SW
PROJECT NO.	24-01L
SHEET DATE	2025.01.02
DRAWING NO.	

L1



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PROPOSED:
MIXED USE DEVELOPMENT

88th & Holt

CIVIC ADDRESS: 12091/12099 88 AVE, SURREY BC



SOUTHEAST VIEW OF SITE

ARCHITECTURAL DRAWING LIST

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ROOF PLAN	A-3-0
ELEVATIONS	A-4-0



ARCHITECTURE PANEL INC.
ARCHITECTURAL SERVICES DIVISION
12091/12099 88 AVE, SURREY BC
VANICAN BC V4A 4K8
TEL: (604) 273-8888
WWW.ARCHITECTUREPANEL.COM

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PROJECT MANAGER / CONTRACTOR:

ORION CONSTRUCTION
UNIT 205 19023 80A AVE
LANGLEY, BC V3V 0E2
PHONE: (804) 362-2994

PROJECT: PROPOSED MIXED-USE DEVELOPMENT
88th & Holt
ADDRESS: 12091/12099 88 AVE, SURREY BC

DRAWING: **COVERSHEET**

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PROJECT / DRAWING NUMBER	DATE	REV.
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SOUTHWEST VIEW



WEST VIEW OF OFFICES



SOUTH VIEW OF OFFICES



AERIAL VIEW OF SITE



EAST VIEW OF OFFICES



VIEW OF ENTRANCE



SOUTHEAST VIEW



ARCHITECTURE PANEL INC.
 ARCHITECTS ARCHITECTURE ARCHITECTS ARCHITECTS
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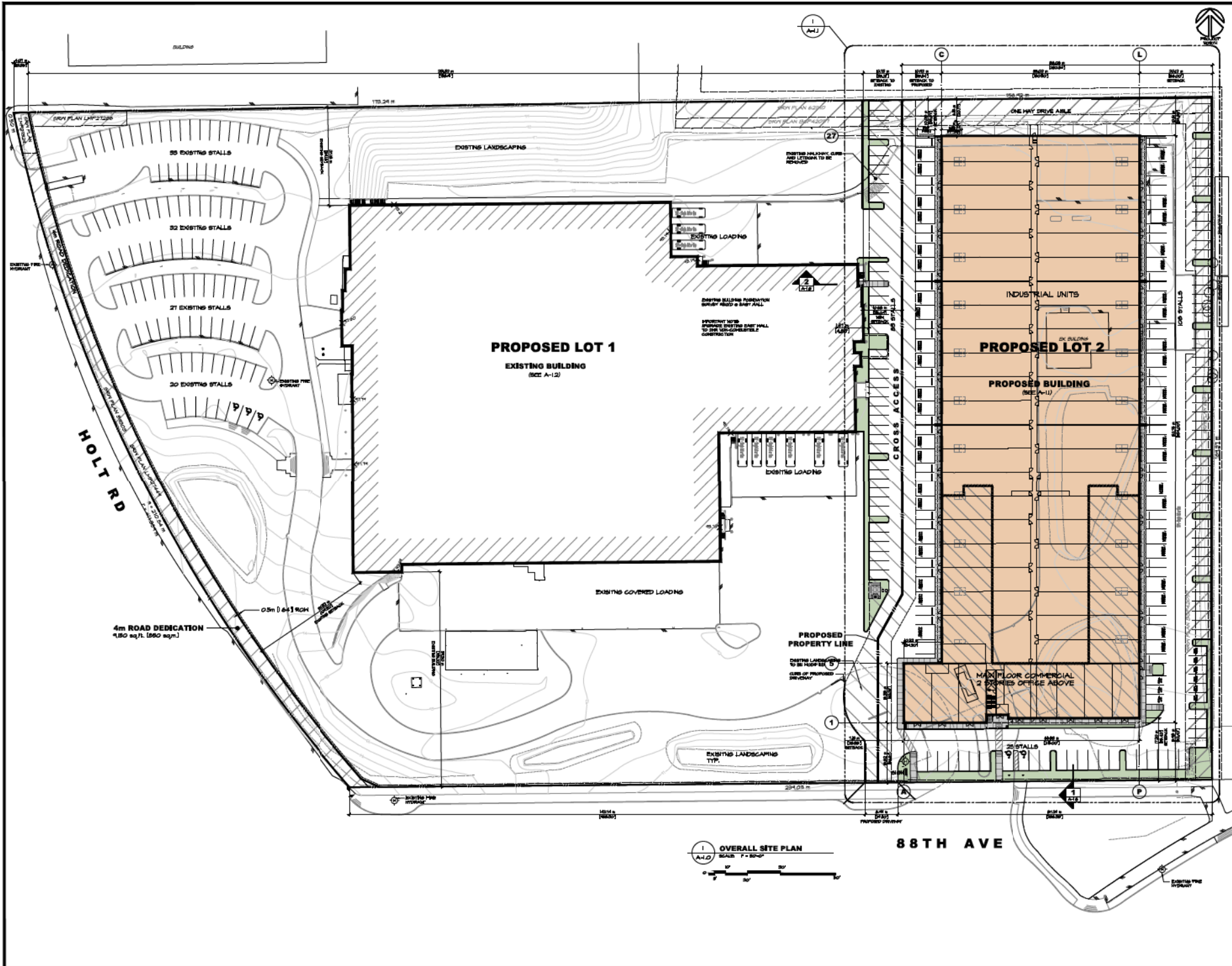
HORION
 ARCHITECTURE PROJECT TEAM
 ORION CONSTRUCTION
 UNIT 105 15523 204 AVE
 LANGLEY, BC V2Y 0E2
 PHONE: (604) 360-2094

PROJECT:
 PROPOSED MIXED USE DEVELOPMENT
88th & Holt
 ADDRESS: 18951800 88 AVE, BURNBY BC
 DRAWING

RENDERINGS

DATE:	DATE:	DATE:
FOR NO. 2448	FOR NO. 2448	FOR NO. 2448
DESIGNED	CHECKED	DATE
DATE	DATE	DATE

PROJECT NUMBER: **A-0,1** REV: **8**



ARCHITECTURE PANEL INC.
ARCHITECTS, LANDSCAPE ARCHITECTS, DESIGN-BUILD
105 15523 88A AVE
VANCOUVER, BC V2Y 2S2
TEL: 604-273-1111
WWW.ARCHITECTUREPANEL.COM

REVISIONS

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ORION
ORION CONSTRUCTION PROJECT INC.
ORION CONSTRUCTION
UNIT 105 15523 88A AVE
LANGLEY, BC V2Y 2S2
PHONE: (604) 300-2104

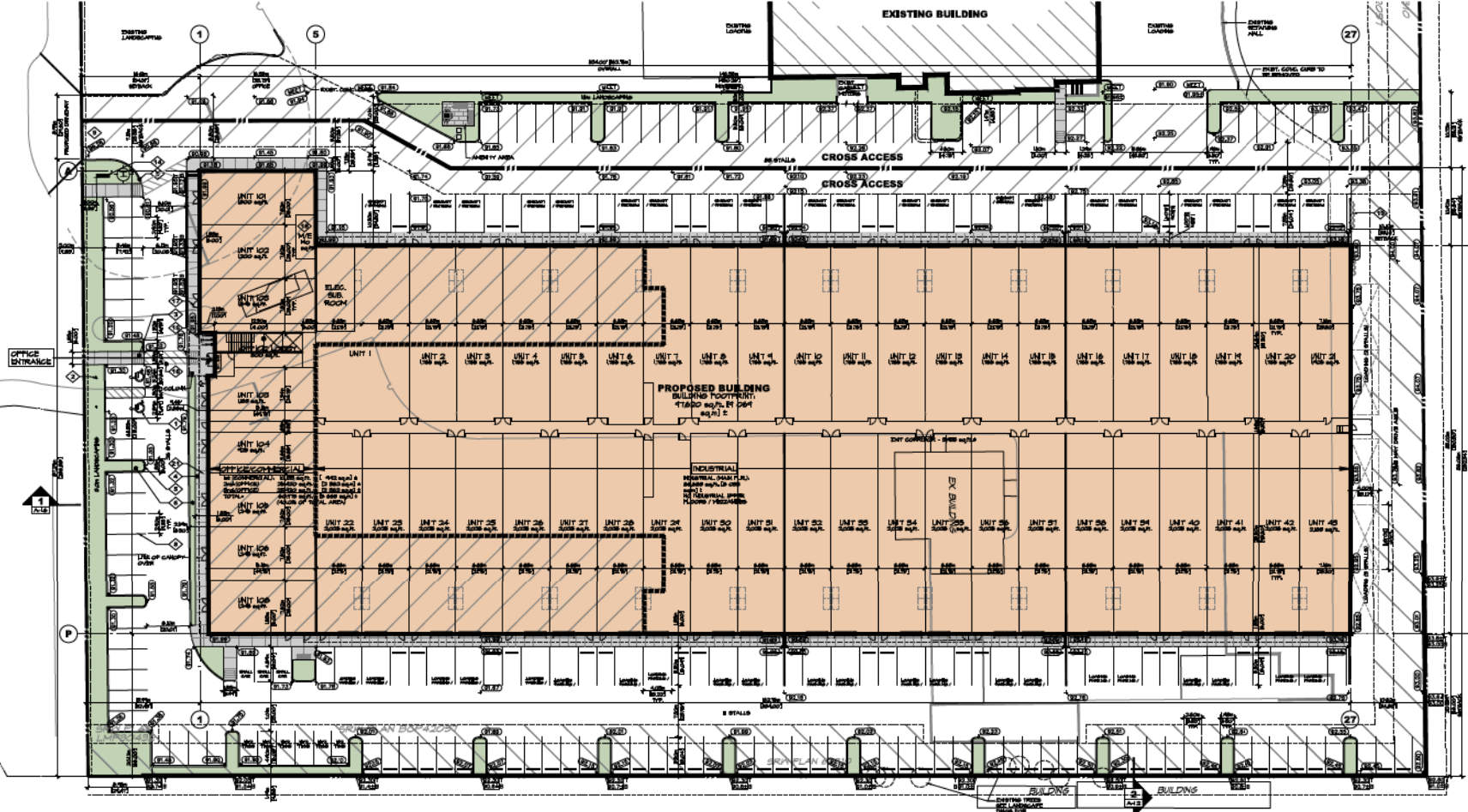
88th & Holt
ADDRESS: 15511 88A AVE, BURNBY BC
DRAWING

OVERALL SITE PLAN

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ARCHITECTURE PANEL INC.
ARCHITECTS, INTERIORS ARCHITECTS, DESIGN-BUILD
400 WEST 140TH STREET, SUITE 200A, LAUREL, MD 20646
301.278.1111 | WWW.ARCHITECTUREPANEL.COM



SITE DATA - PROPOSED (LOT 2)

GRID ADDRESS: 15210000 86 AVE, GARY, MD
 LEGAL DESCRIPTION: LOT 1 SECTION 21 TOWNSHIP 2 PLAN LINDSEY AND GROUP 2
 TOTAL AREA: 14.39 AC (624,000 SQ. FT.)
 GROSS LOT AREA: 14.39 AC (624,000 SQ. FT.)
 NET LOT AREA: 14.39 AC (624,000 SQ. FT.)
 PROPOSED BUILDING AREA FOOTPRINT: 4,710 SQ. FT. (108,640 SQ. FT.)
 LOT COVERAGE: 30%
 MAX. LOT AREA: 14.39 AC (624,000 SQ. FT.)

BUILDING AREA BY ASSIGNED ZONING:

ASSIGNED ZONING	PERMITTED	PROPOSED
FRONT YARD	10% (10,240)	0% (0)
REAR YARD	10% (10,240)	0% (0)
SEAR YARD	10% (10,240)	0% (0)
MAXIMUM	30% (30,720)	4,710 (108,640)

EXISTING IMPROVEMENTS:

EXISTING IMPROVEMENTS	1 STALL PER 100 SQ. FT. (100 SQ. FT. MIN)	2 STALL PER 400 SQ. FT. (400 SQ. FT. MIN)
RESIDENTIAL	0	0
COMMERCIAL	0	0
INDUSTRIAL	0	0

PERMITTED PARKING: 31 STALLS

SMALL FORM STALLS ALLOWED: 000 OR 18 STALLS

SMALL FORM STALLS PROVIDED: 000 OR 18 STALLS

GENERAL NOTES

1. LANDSCAPE, SIGNAGE AND APPROVED GREY, BROWN AND PURPLE PAINT LOCATIONS.
2. APPROVAL: 1. SIGNAGE DESIGNATION: SOLID REPORT.
3. CONTRACTOR TO PROVIDE FOOTPRINT & WALL SECTIONS OR RECONSTRUCTED (A.L.I.) DRAWING CONSTRUCTION. VERIFY COORDINATE TO CITY RECORDS (NOT...).
4. SEE MECHANICAL HANGING DRAWINGS FOR FINAL LOCATION OF THIS DEPARTMENT CONNECTOR. 1 FROM BENCH.
5. SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL.
6. SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALARM PANEL.
7. RECONSTRUCTION FROM SOLID REPORT: TO BE BUILT IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
8. THE CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND APPROVED ASBESTOS REMOVAL OF ALL ASBESTOS CONTAINING MATERIALS AND REMOVE ASBESTOS FROM THE WORK AREA. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVED ASBESTOS REMOVAL OF ALL ASBESTOS CONTAINING MATERIALS AND REMOVE ASBESTOS FROM THE WORK AREA. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVED ASBESTOS REMOVAL OF ALL ASBESTOS CONTAINING MATERIALS AND REMOVE ASBESTOS FROM THE WORK AREA.
9. ALL MATERIALS IN THE CONSTRUCTION TO BE USED FOR THEIR INTENDED PURPOSE AND TO BE APPROVED BY THE APPLICABLE AGENCIES. ALL CONTRACT AND FITTINGS MUST BE CMAA APPROVED AND APPROVED TO ARCHITECT.
10. VARIATION BETWEEN SHALL BE CONTRACTOR AND DETAILER SO THAT ALL UNITS AND WALLS BE LAPPED 100% AND END SEALS AT TRANSOM SECTIONS. TRANSOM OR GLASS DOOR OR WINDOW UNITS OR WALLS SHALL BE SEATED TO MAINTAIN THE INTEGRITY OF THE VARIOUS MATERIALS OVER THE ENTIRE SURFACE.
11. THE CONTRACTOR IS NOT RESPONSIBLE FOR CHANGES IN CONSTRUCTION FROM WHAT IS SHOWN ON ANY PARTY.
12. THE CONTRACTOR IS NOT RESPONSIBLE FOR ALL CONDITIONS, CHARACTERISTICS AND CAPACITY TO SUPPORT THE STRUCTURE OR THIS DRAWING.
13. ALL CONSTRUCTION MUST BE COMPLETED IN ACCORDANCE WITH GOOD BUILDING PRACTICES BASED ON THE CONTRACT DOCUMENTS.
14. THERE SHALL BE SHOP DRAWINGS PROVIDED FOR ALL HOUSE BUILDING COMPONENTS, ARCHITECTURE AND ALL OTHER RELATED COMPONENTS.
15. IN ANY PROPOSED DESCRIPTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF CONSTRUCTION.
16. SAMPLES OF ALL MATERIALS TO BE USED IN CONSTRUCTION MUST BE PROVIDED TO ARCHITECT FOR APPROVAL. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING: ALL MATERIALS TO BE USED IN CONSTRUCTION MUST BE PROVIDED TO ARCHITECT FOR APPROVAL. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING: ALL MATERIALS TO BE USED IN CONSTRUCTION MUST BE PROVIDED TO ARCHITECT FOR APPROVAL. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING: ALL MATERIALS TO BE USED IN CONSTRUCTION MUST BE PROVIDED TO ARCHITECT FOR APPROVAL.
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18. ALL INTERIORS AND EXTERIORS TO BE FINISHED AS SHOWN ON ARCHITECTURE AND MECHANICAL DRAWINGS.
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42. IN ANY PROPOSED DESCRIPTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF CONSTRUCTION.

- KEYED SITE PLAN NOTES**
- 1. STRUCTURAL SYMBOLS OF ACCESS PAVED ON ASPHALT PER DETAIL 100-14
 - 2. POINT OF BUILDING MOUNTED TO SIGN PER DETAIL 100-14
 - 3. SEE DETAIL 100-14 FOR MORE INFORMATION
 - 4. CONCRETE SIDEWALK 6\"
 - 5. PER DETAIL 100-14
 - 6. LANDSCAPE FOR LANDSCAPE ARCHITECT'S DRAWING
 - 7. FINISH OF ASPHALT
 - 8. 4\"
 - 9. ASPHALT CROSSING TO PAVEMENT STRIP
 - 10. SEE DETAIL 100-14
 - 11. REBAR SHALL BE LAPPED 48\"
 - 12. REBAR SHALL BE LAPPED 48\"

- KEYED SITE PLAN NOTES**
- 1. LINE OF GRASSY AREAS, SEE PLAN & DETAILS FOR MORE INFORMATION
 - 2. SIGNAGE LOCATION PER DETAIL 100-14, PER DETAIL 100-14
 - 3. TREE STRIP WIDTH, SEE DETAIL 100-14
 - 4. BRICK PAVING, SEE DETAIL 100-14
 - 5. BRICK CONCRETE
 - 6. TYP. ACCESSIBLE ENTRANCE
 - 7. SEE DETAIL 100-14
 - 8. SEE DETAIL 100-14
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PROJECT MANAGER: CONTRACTOR

ORION ARCHITECTURE PANEL INC.

ORION CONSTRUCTION
 UNIT 105 15523 86A AVE
 LAUREL, MD 20727-0522
 PHONE: (304) 300-2004

PROJECT: PROPOSED 88TH & HOLT DEVELOPMENT

88th & Holt

ADDRESS: 15210000 86 AVE, GARY, MD
 DRAWING:

SITE PLAN

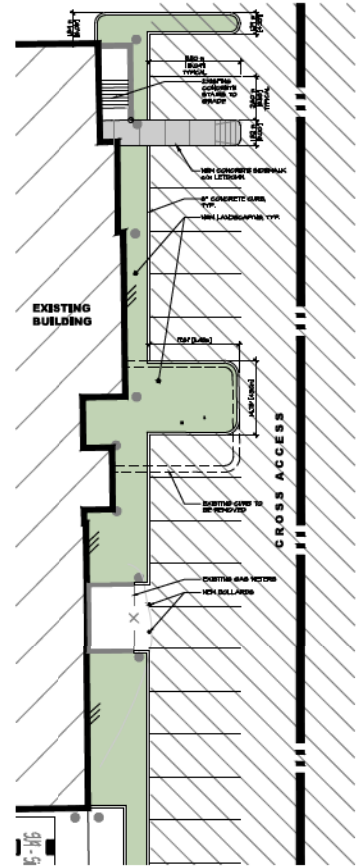
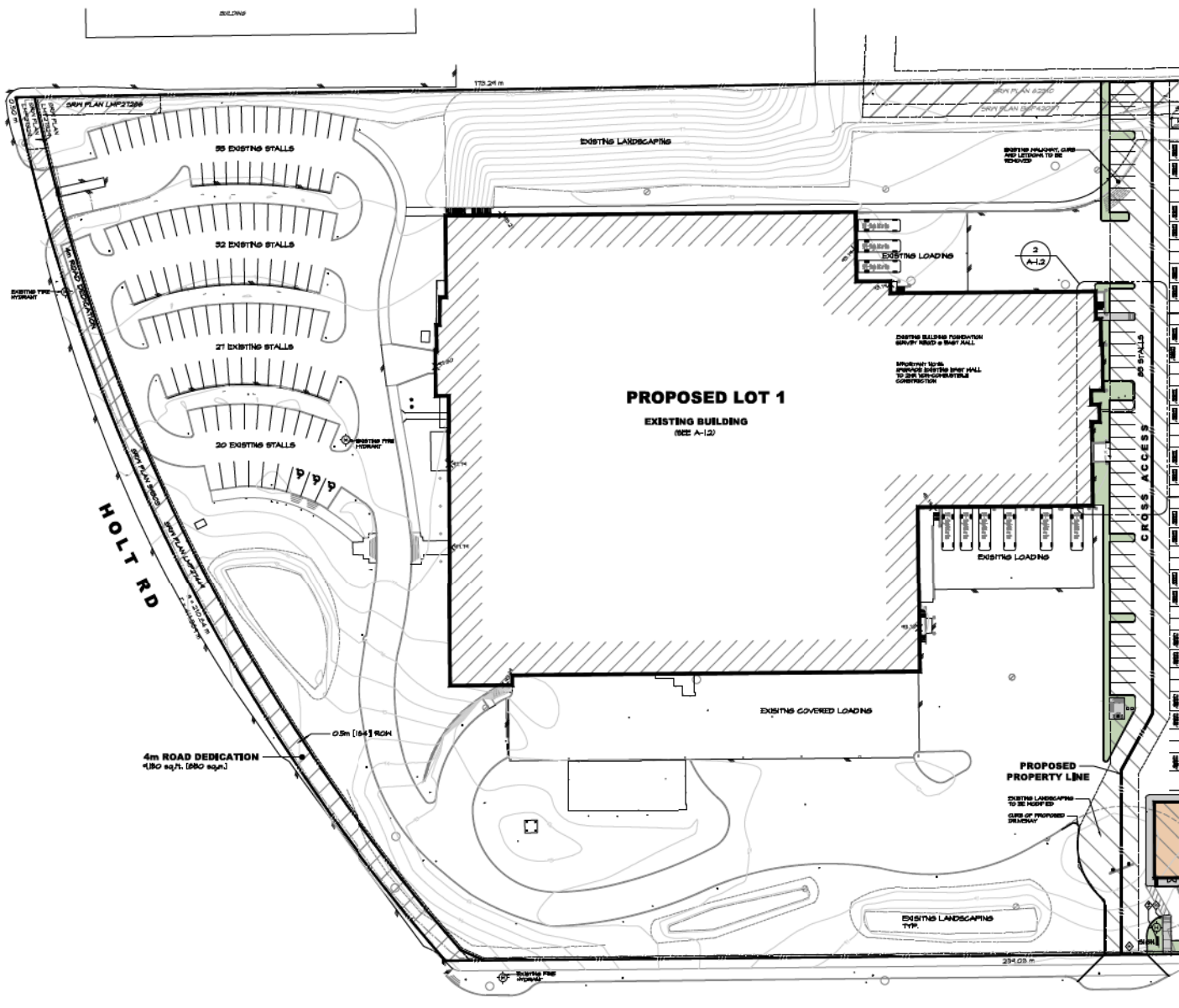
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PROJECT MANAGER: CONTRACTOR

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ARCHITECTURE PANEL INC.
 PROJECTS: 10000 ARCHITECTURAL DESIGN
 4075 168 STREET WEST, VANCOUVER, BC V6L 1W4
 604 755 3011 • 604 755 3011



SITE DATA - EXISTING (LOT 1)

ORIG. ADDRESS:	2240-2244 88 AVE, BURNBY BC
LEGAL DESCRIPTION:	LOT 1 SECTION 61 TOWNSHIP 21 RANGE 102S BRITISH COLUMBIA
OWNER:	ORION CONSTRUCTION
CREATED BY:	ORION CONSTRUCTION
DATE:	2024-03-28
PROJECT MANAGER:	ORION CONSTRUCTION
CONTRACTOR:	ORION CONSTRUCTION
DESIGNER:	ORION CONSTRUCTION
DATE:	2024-03-28
PROJECT MANAGER:	ORION CONSTRUCTION
CONTRACTOR:	ORION CONSTRUCTION
DESIGNER:	ORION CONSTRUCTION
DATE:	2024-03-28
PROJECT MANAGER:	ORION CONSTRUCTION
CONTRACTOR:	ORION CONSTRUCTION
DESIGNER:	ORION CONSTRUCTION
DATE:	2024-03-28

DATE	DESCRIPTION
2024-03-28	EXISTING SITE PLAN
2024-03-28	ENLARGED PLAN
2024-03-28	PROPOSED LOT 1
2024-03-28	PROPOSED LOT 2
2024-03-28	PROPOSED LOT 3
2024-03-28	PROPOSED LOT 4
2024-03-28	PROPOSED LOT 5
2024-03-28	PROPOSED LOT 6
2024-03-28	PROPOSED LOT 7
2024-03-28	PROPOSED LOT 8
2024-03-28	PROPOSED LOT 9
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2024-03-28	PROPOSED LOT 21
2024-03-28	PROPOSED LOT 22
2024-03-28	PROPOSED LOT 23
2024-03-28	PROPOSED LOT 24
2024-03-28	PROPOSED LOT 25
2024-03-28	PROPOSED LOT 26
2024-03-28	PROPOSED LOT 27
2024-03-28	PROPOSED LOT 28
2024-03-28	PROPOSED LOT 29
2024-03-28	PROPOSED LOT 30



88th & Holt
 ADDRESS: 10510 88 AVE, BURNBY BC
 DRAWING:

EXISTING SITE PLAN

DATE	DESCRIPTION	DATE	DESCRIPTION
2024-03-28	EXISTING SITE PLAN	2024-03-28	EXISTING SITE PLAN
2024-03-28	ENLARGED PLAN	2024-03-28	ENLARGED PLAN
2024-03-28	PROPOSED LOT 1	2024-03-28	PROPOSED LOT 1
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2024-03-28	PROPOSED LOT 3	2024-03-28	PROPOSED LOT 3
2024-03-28	PROPOSED LOT 4	2024-03-28	PROPOSED LOT 4
2024-03-28	PROPOSED LOT 5	2024-03-28	PROPOSED LOT 5
2024-03-28	PROPOSED LOT 6	2024-03-28	PROPOSED LOT 6
2024-03-28	PROPOSED LOT 7	2024-03-28	PROPOSED LOT 7
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2024-03-28	PROPOSED LOT 9	2024-03-28	PROPOSED LOT 9
2024-03-28	PROPOSED LOT 10	2024-03-28	PROPOSED LOT 10
2024-03-28	PROPOSED LOT 11	2024-03-28	PROPOSED LOT 11
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2024-03-28	PROPOSED LOT 15	2024-03-28	PROPOSED LOT 15
2024-03-28	PROPOSED LOT 16	2024-03-28	PROPOSED LOT 16
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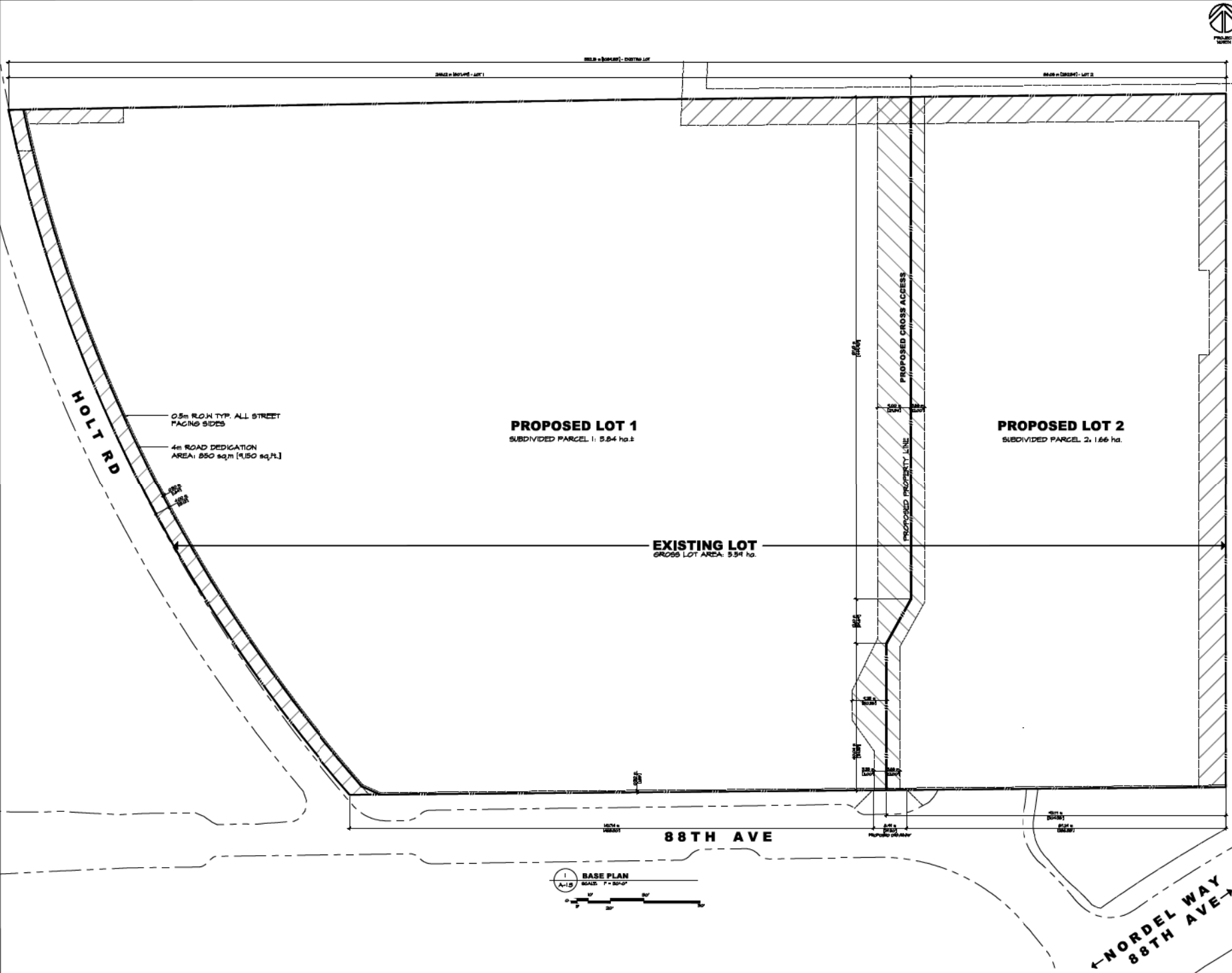
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ARCHITECTURE PANEL INC.
 ARCHITECTS, ENGINEERS, ARCHITECTS, DESIGNERS
 107 ST. JAMES STREET, VANCOUVER, BC V6C 2K4
 TEL: 604.681.1111 FAX: 604.681.1112

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BASE PLAN
 SCALE: 1" = 50'-0"
 A-1.3

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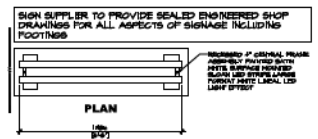
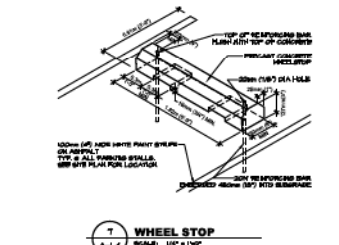
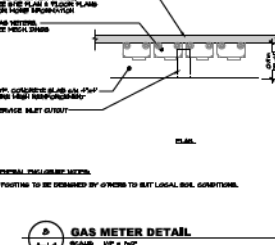
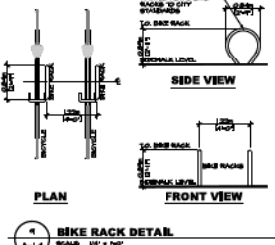
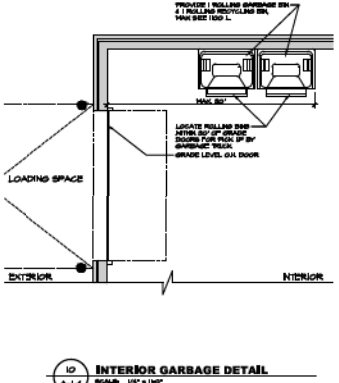
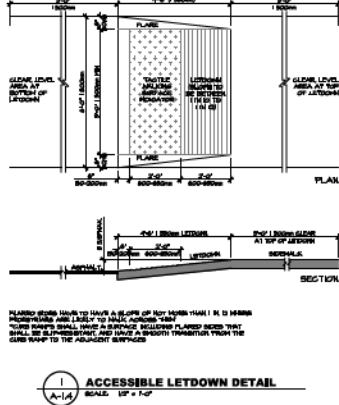
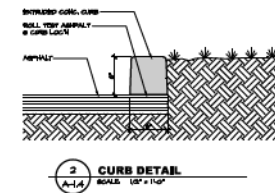
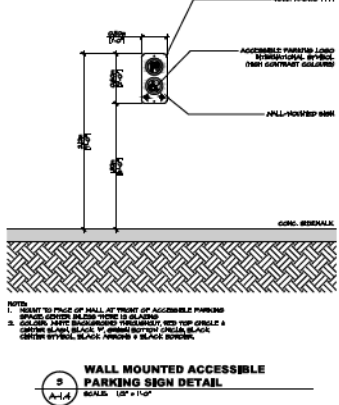
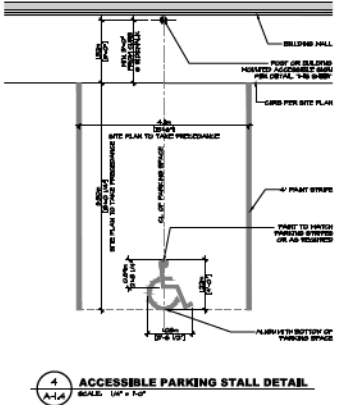
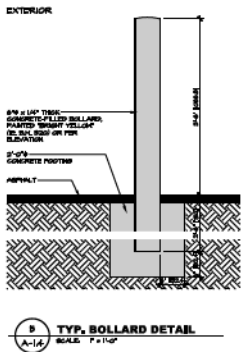
ORION
 ORION CONSTRUCTION
 UNIT 105 15523 85A AVE
 LANGLEY, BC V2Y 0E2
 PHONE: (604) 360-2104

88th & Holt
 ADDRESS: 18851888 88 AVE, SURREY BC
 DRAWING

BASE PLAN

DATE:	JOB NO.:	DESIGN:
CHECKED:	DATE:	DATE:
PROJECT NUMBER:	DATE:	DATE:

A-1.3 REV. 5



ORION ARCHITECTURE PANEL INC.
 ARCHITECTURE PANEL INC. 10100 300TH AVE. UNIT 1000
 SURREY, BC V3V 2S2
 TEL: 604.271.9474 FAX: 604.271.9475
 WWW.ORIONARCHITECTURE.COM

ORION CONSTRUCTION
 ORION CONSTRUCTION
 UNIT 105 15923 204 AVE.
 LANGLEY, BC V2Y 2G2
 PHONE: (604) 300-3944

88th & Holt
 12091 12099 88 AVE
 SURREY, BC

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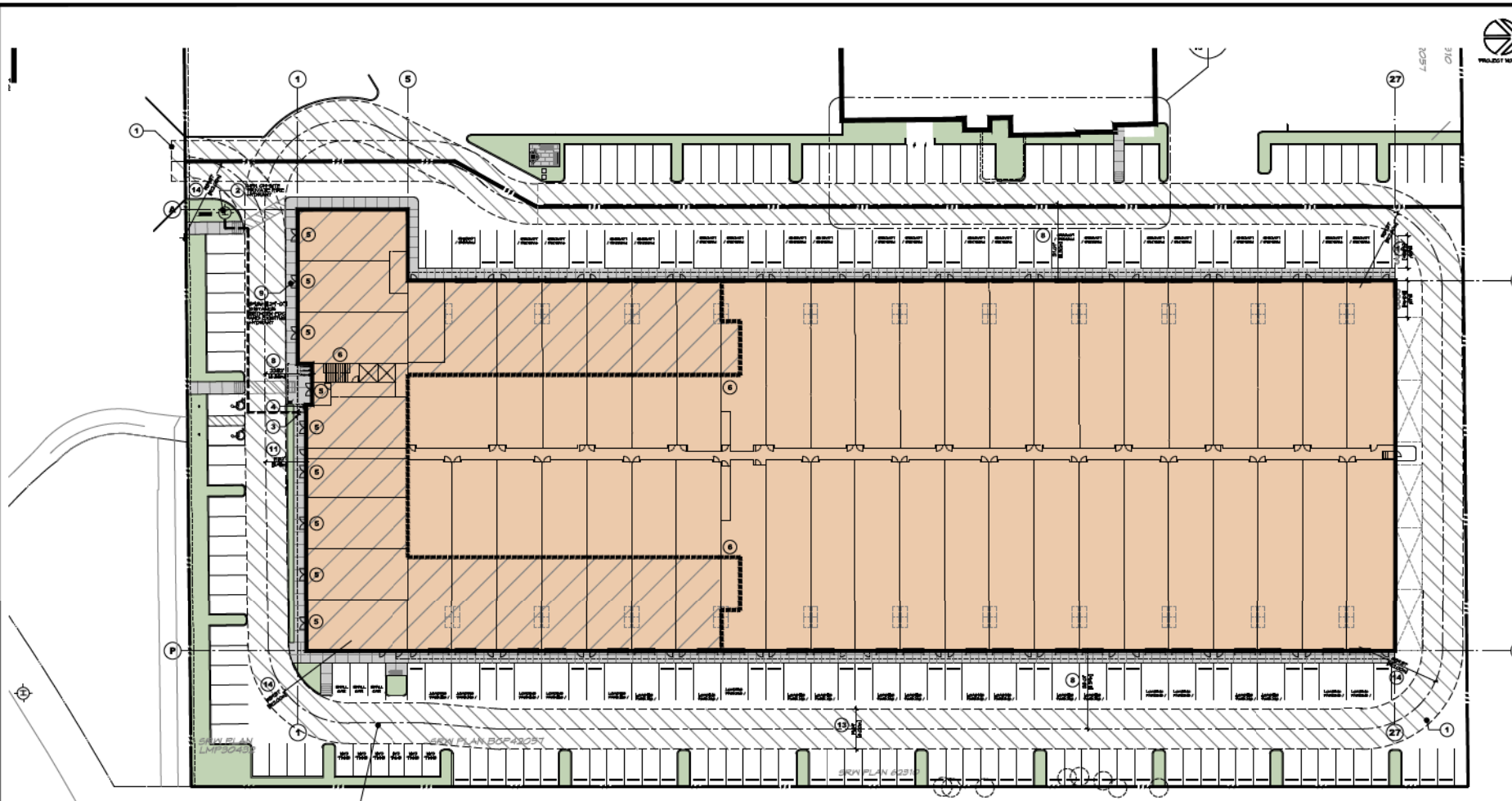
SITE DETAILS

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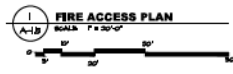
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ARCHITECTURE PANELING
 ARCHITECTURE | INTERIOR ARCHITECTURE | DESIGN SERVICES
 10100 160 STREET, WEST VANCOUVER, BC V8W 2M1
 TEL: 604.681.1111 | WWW.ARCHITECTUREPANELING.COM



12. VERIFY AREA AROUND THE 'VEHICLE ACCESS ROUTE' IS CLEAR OF OBSTRUCTIONS AND IS ACCESSIBLE TO ALL VEHICLES. VERIFY THAT THE 'VEHICLE ACCESS ROUTE' IS CLEAR OF OBSTRUCTIONS AND IS ACCESSIBLE TO ALL VEHICLES. VERIFY THAT THE 'VEHICLE ACCESS ROUTE' IS CLEAR OF OBSTRUCTIONS AND IS ACCESSIBLE TO ALL VEHICLES.



KEYED FIRE RESPONSE PLAN NOTES

1	A GALLERY IDENTIFIED OR UNIDENTIFIED ACCESS ROUTE(S).
2	THE LOCATION OF RDM AND EXISTING FIRE HYDRANTS.
3	THE LOCATION OF THE FIRE DEPARTMENT CONNECTIONS.
4	THE LOCATION OF THE FIRE ALARM AMBULATORS PANELS.
5	THE LOCATION OF THE ENTRY OF THE MAIN ENTRANCE AND THE LOCATION OF THE ENTRY OF THE MAIN ENTRANCE AND THE LOCATION OF THE ENTRY OF THE MAIN ENTRANCE.
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7	THE LOCATION OF ALL OBSTRUCTIONS AND ITEMS FROM THE UNRESTRICTED PARKING AREA.
8	THE DIMENSIONED DISTANCE FROM THE PRINCIPAL ENTRANCE TO THE CURBLINE PORTION OF THE ACCESS ROUTE (S.B.S. 9.2.3.4).
9	THE DIMENSIONED UNRESTRICTED CLEARANCE BETWEEN THE FIRE HYDRANT AND THE FIRE DEPARTMENT CONNECTIONS (S.B.S. 9.2.3.5).

N/A	10	IF THE BUILDING IS NOT PROVIDED WITH A FIRE DEPARTMENT CONNECTION, THE LOCATION OF THE MAIN ENTRANCE AND THE LOCATION OF THE MAIN ENTRANCE AND THE LOCATION OF THE MAIN ENTRANCE.
	11	THE DIMENSIONED DISTANCE OF PARTS OF THE ROUTE FROM ALL RDM AND RDM FROM EXISTING FIRE HYDRANTS TO THE LOCATION OF THE IDENTIFIED FIRE TRUCK ACCESS (S.B.S. 9.2.3.4).
	12	THE ACCESS ROUTE THAT MAY BE REQUIRED TO SUPPORT A 1000KG HEIGHT OF 1000KG TO 1000KG (S.B.S. 9.2.3.4).
	13	THE DIMENSIONED HEIGHT OF THE ACCESS ROUTE (S.B.S. 9.2.3.4).
	14	THE DIMENSIONED CENTERLINE WIDTH OF THE ACCESS ROUTE (S.B.S. 9.2.3.4).
N/A	15	IDENTIFY ANY PORTIONS OF THE ACCESS ROUTE THAT ALL NEARBY OBSTRUCTIONS EXCEEDING CLEARANCE OF LESS THAN 8' IN (S.B.S. 9.2.3.4).
N/A	16	THE DIMENSIONED DISTANCE FROM ANY OBSTRUCTION FROM THE ACCESS ROUTE (S.B.S. 9.2.3.4).
N/A	17	IDENTIFY ANY PORTIONS OF THE ACCESS ROUTE THAT ALL HAVE A CHANGE IN ELEVATION GREATER THAN 0.6 METERS (S.B.S. 9.2.3.4).

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PROJECT MANAGER / CONTRACTOR
ORION
 ORION CONSTRUCTION
 UNIT 105 15523 82A AVE
 LANGLEY, BC V2Y 0E2
 PHONE: (604) 363-2394

PROJECT: PROPOSED NEW FIRE DEVELOPMENT
88th & Holt
 ADDRESS: 10511088 88 AVE, BURNBY BC
 DRAWING

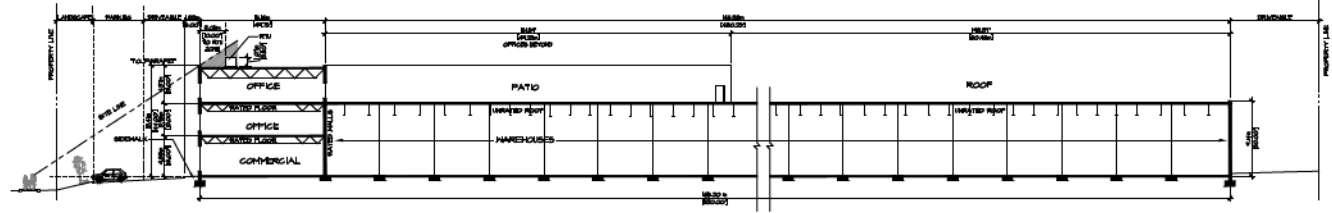
FIRE ACCESS PLAN

DATE:	FOR NO. / DATE:	DESIGN:
	DESIGNED:	
CHECKED:	BY:	RD:
PROJECT NUMBER:	PROJECT NUMBER:	PROJECT NUMBER:

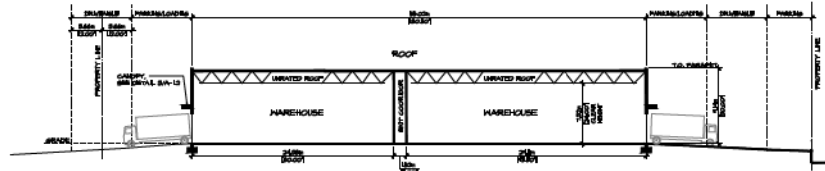
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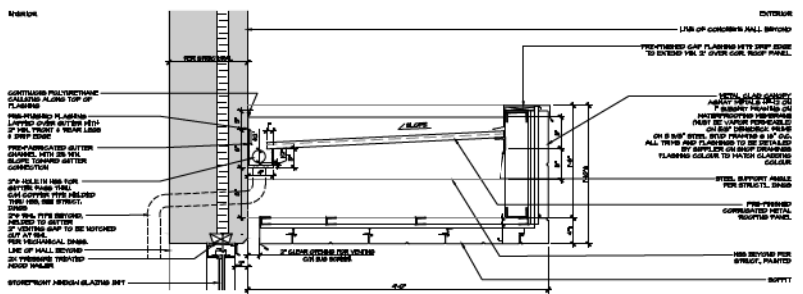
ARCHITECTURE PANEL INC.
 ARCHITECTURE • INTERIOR ARCHITECTURE • DESIGN SERVICES
 10730 BARNETT DRIVE, VANCOUVER, BC V6N 3G9
 604.765.5011 | www.architecturepanel.com



SECTION 1
 A-1.6 SCALE: 1/8" = 1'-0"



SECTION 2
 A-1.6 SCALE: 1/8" = 1'-0"



TYPICAL STEEL CANOPY DETAIL
 OVER ENTRANCES
 A-1.6 SCALE: 1/2" = 1'-0"

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DATE: 2024-07-01
 PROJECT MANAGER / CONTRACTOR: HORIZON CONSTRUCTION
 ORION CONSTRUCTION
 HORIZON CONSTRUCTION
 UNIT 105 19233 80A AVE
 LANGLEY, BC V2Y 0Z2
 PHONE: (604) 300-0304

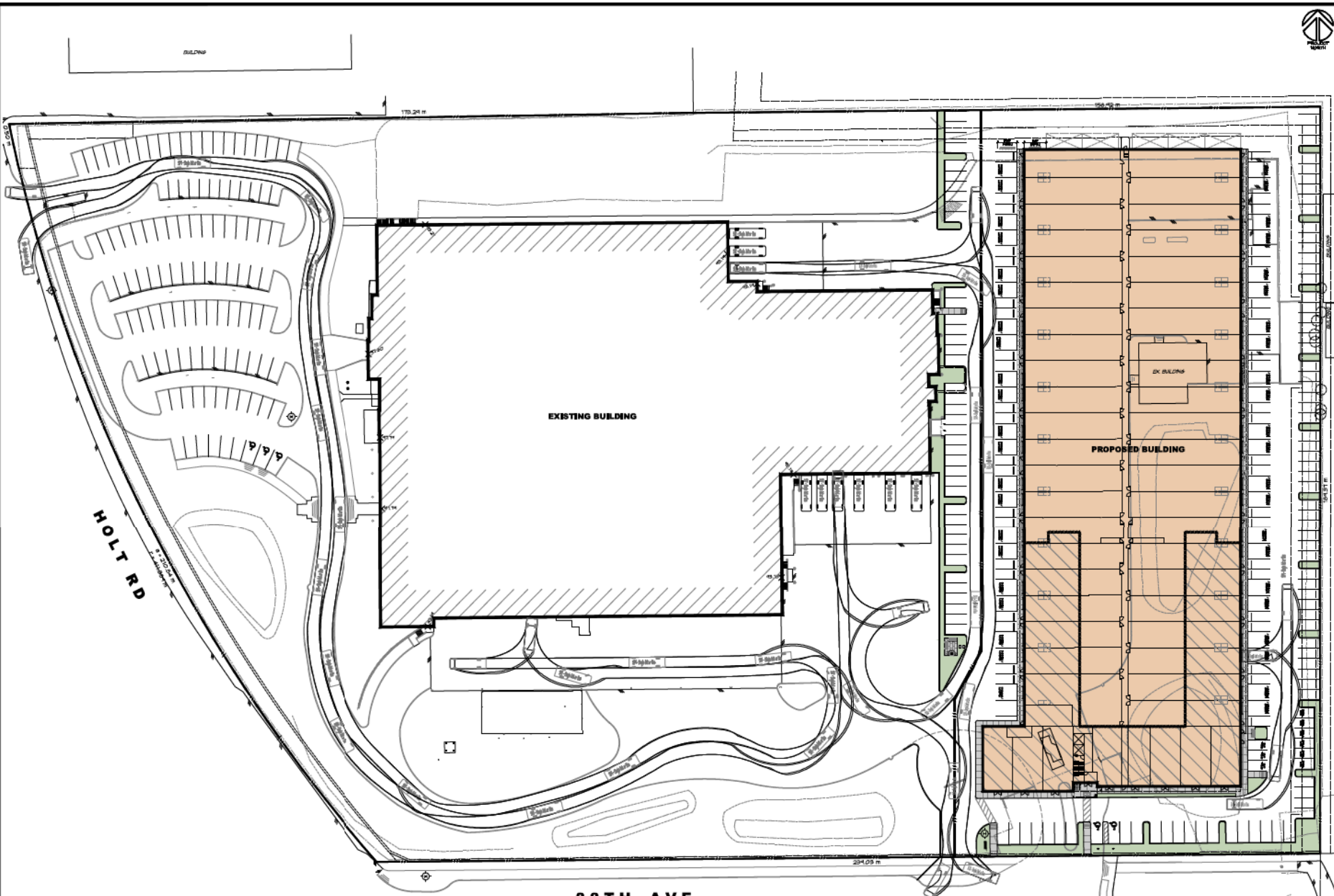
PROJECT: PROPOSED WAREHOUSE DEVELOPMENT
88th & Holt
 ADDRESS: 105190W 88 AVE, SURREY BC
 DRAWING

SITE SECTIONS		
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CHECKED	R.D.	
	PLT DATE	REVISED
PROJECT DRAWING NUMBER	REV. 9	



ARCHITECTURE PANEL INC.
 ARCHITECTURE ARCHITECTURE ARCHITECTURE ARCHITECTURE ARCHITECTURE
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CONTRACT PROJECT INFORMATION
 PROJECT: PROPOSED MIXED USE DEVELOPMENT
 ADDRESS: 18851 88th Ave, Surrey BC
 DRAWING: **A-1.7**

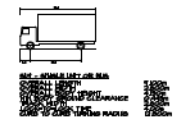
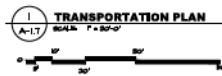


EXISTING BUILDING

PROPOSED BUILDING

HOLT RD

88TH AVE



2 SU-9 VEHICLE DIAGRAM
 SCALE: NTS

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ORION
 CONSULTING ENGINEERS
 100-1000 100-1000 100-1000 100-1000 100-1000
 UNIT 105 18223 88A AVE
 LANGLEY, BC V2Y 8E2
 PHONE: (604) 363-2104

88th & Holt
 ADDRESS: 18851 88th Ave, Surrey BC
 DRAWING: **A-1.7**

TRANSPORTATION PLAN

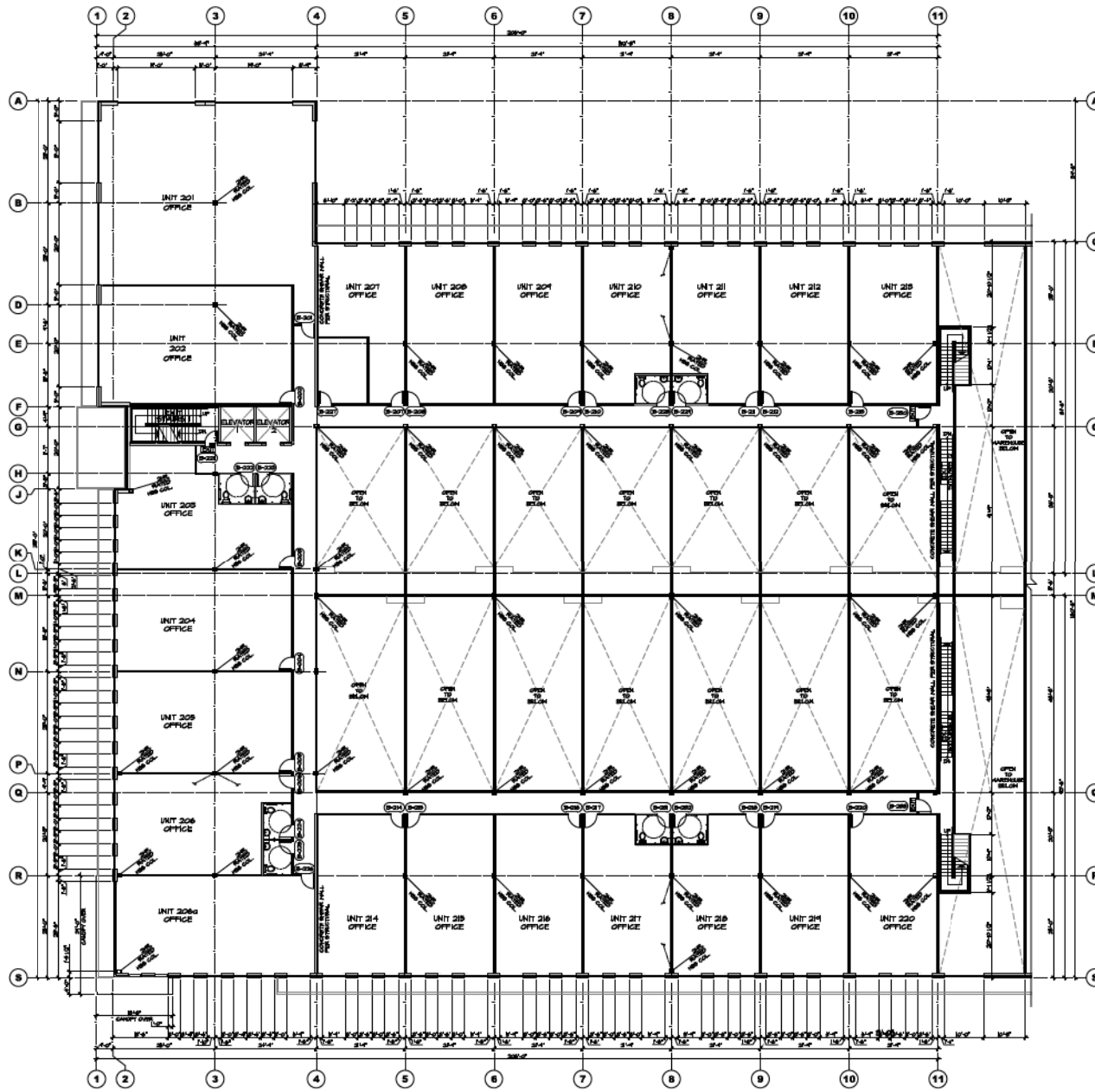
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ARCHITECTURE PANEL, INC.

ARCHITECT: 1001 N. WINDY HILL DR., SUITE 100
 FARMINGHAM, VA 22031
 (540) 352-2934
 WWW.ARCHITECTUREPANEL.COM

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3	OCT/23	ISSUED FOR CLIENT REVIEW	
2	JUN/23	ISSUED FOR IP	
1	JAN/24	ISSUED FOR CLIENT REVIEW	
	JAN/24	RESULTS FOR CLIENT REVIEW	
NO.	DATE	DESCRIPTION	

ORION CONSTRUCTION
 CORP. IN CONNECTION WITH
 ORION CONSTRUCTION
 UNIT 105 19829 RIA AVE
 LANGLEY, BC V3V 2G2
 PHONE: (604) 362-2934

PROJECT PROVIDED FROM THE DEVELOPER:
88th & Holt
 ADDRESS: 12012988 R AVE, SURREY BC

DRAWING
2ND FLOOR PLAN

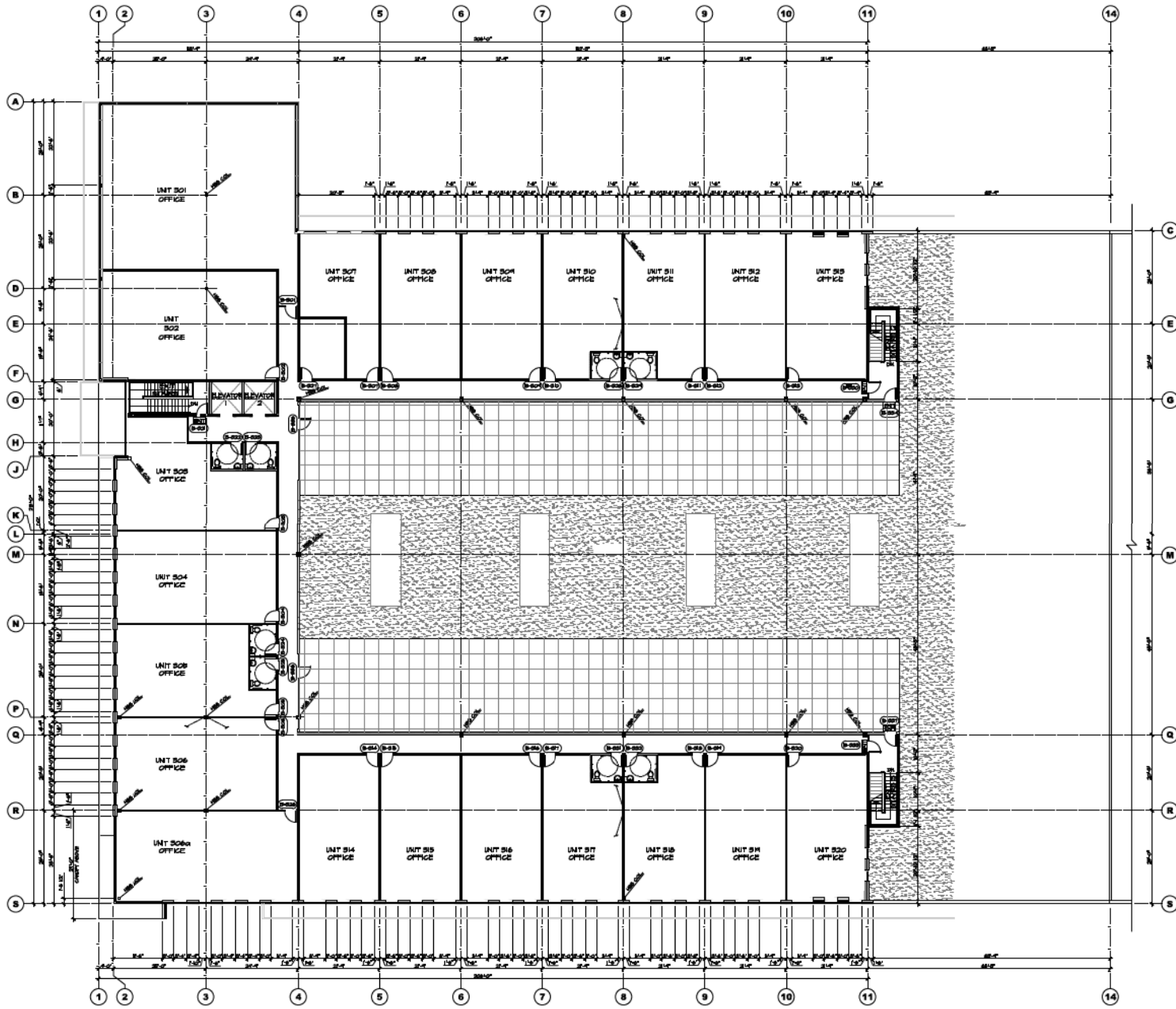
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		CHECKED
		PLOT DATE
PROJECT - DRAWING NUMBER		REV.
A-2.1		7

1 2ND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



ARCHITECTURE PANEL INC.
REGISTERED ARCHITECTS
1801 W. 12th Avenue, Suite 200
Edmonton, Alberta T6A 1R5
PHONE: (780) 443-2222
WWW.ARCHITECTUREPANEL.COM

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1 3RD FLOOR PLAN
A-22 SCALE 3/32"=1'-0"

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PROJECT MANAGERS / CONTRACTORS
ORION
CONCRETE CONSTRUCTION

ORION CONSTRUCTION
UNIT 105 1823 8th AVE
LANGLEY, BC V3V 2G2
PHONE: (604) 364-0994

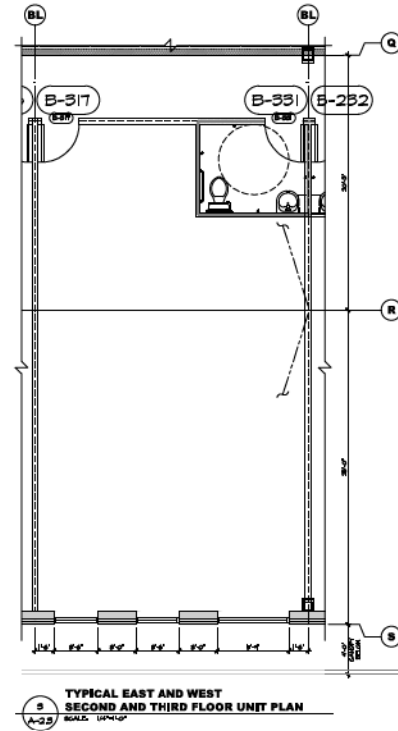
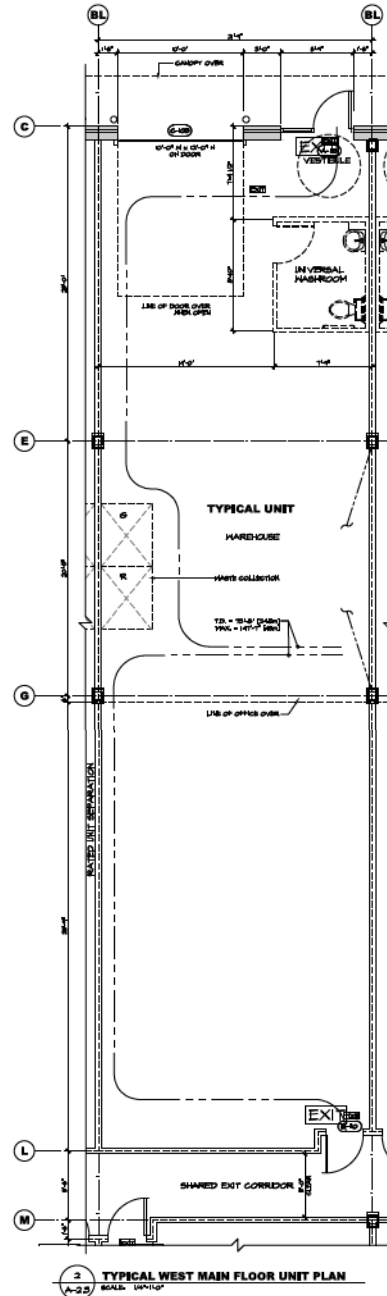
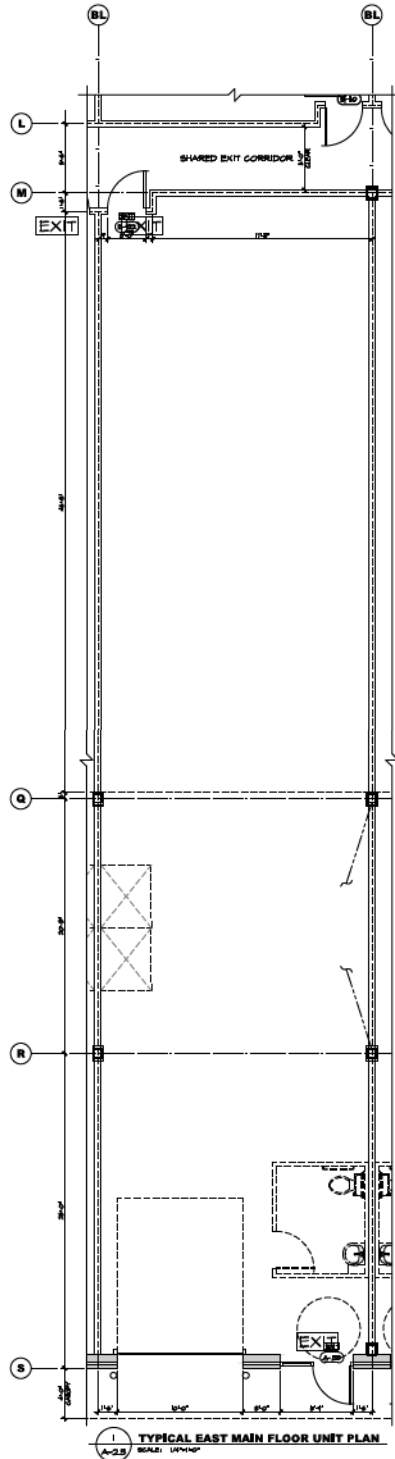
PROJECT: PROPOSED mixed use development

88th & Holt

ADDRESS: 126112088 HWY 1, SURREY, BC
DRAWN BY:

3RD FLOOR PLAN

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PROJECT MANAGER / CONTRACTOR:
DORION CONSTRUCTION
DORION CONSTRUCTION
UNIT 105 1820 80A AVE
LANGLEY BC V2Y 6E2
PHONE: (604) 362-6994

PROJECT: PROFESSED USE DEVELOPMENT
88th & Holt
ADDRESS: 12811/128th ST AVE, SURREY BC

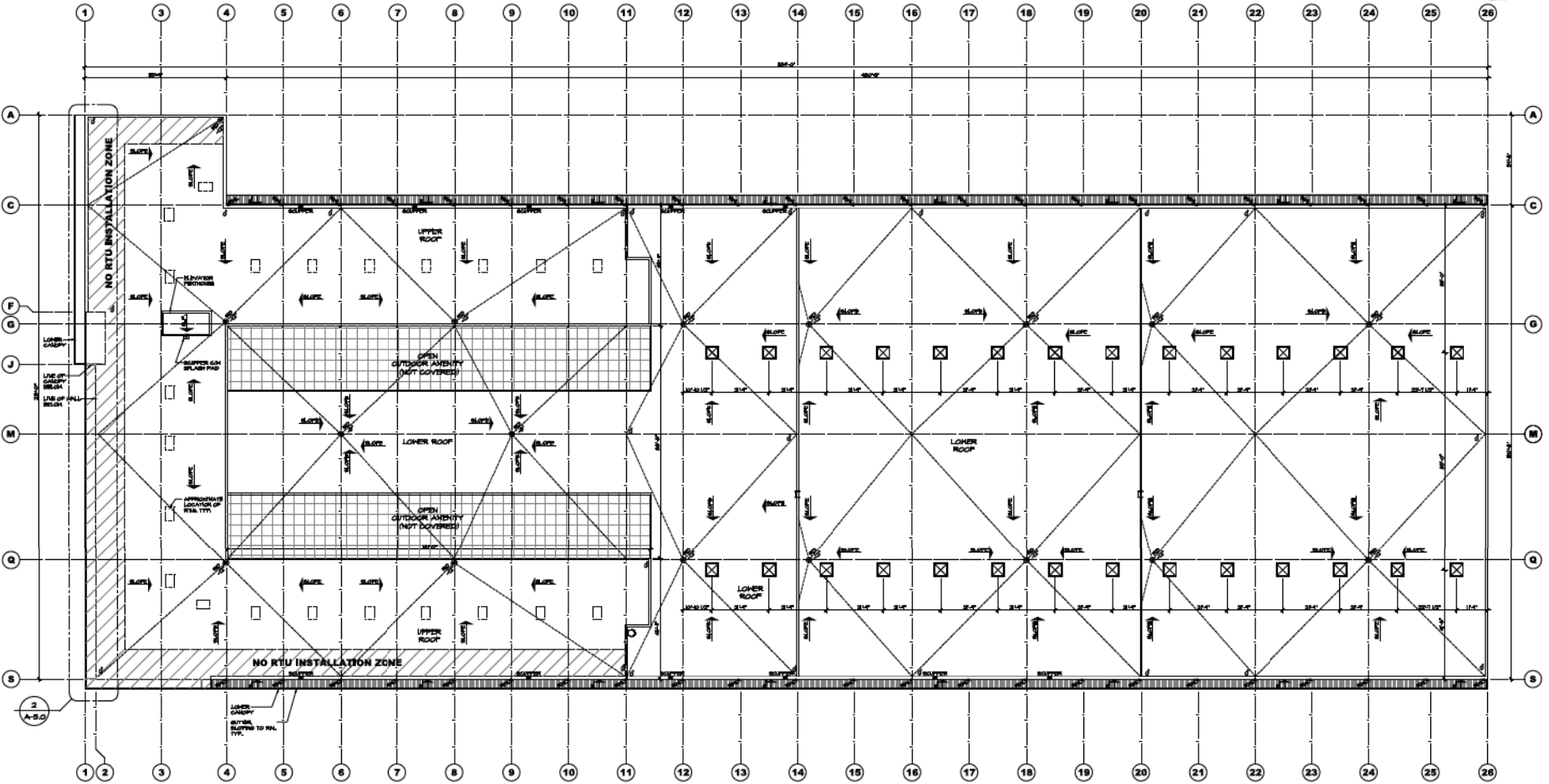
TYPICAL FLOOR UNIT PLANS

REV.	DATE	BY	CHKD.	DATE

PROJECT: 88th & Holt
DRAWING: **A-2.3**



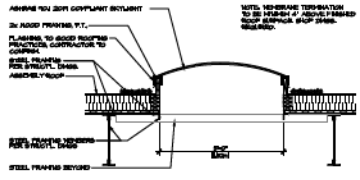
ARCHITECTURE PANEL INC.
 ARCHITECTS / ENGINEERS / INTERIORS
 4000 WEST 10TH AVE. SUITE 1000
 DENVER, CO 80202
 PHONE: (303) 733-1100
 FAX: (303) 733-1101
 WWW: ARCHITECTUREPANEL.COM



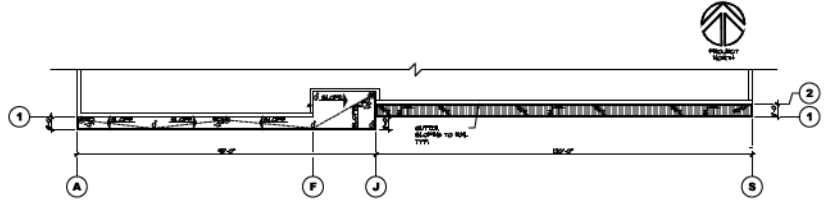
1 ROOF PLAN
 SCALE: 1/8"=1'-0"

ROOF NOTES

- SEE STRUCTURAL DRAWING FOR PAUL STEEL ELEVATIONS
- ALL DETAILS OF ROOF JOINTS MUST BE REVIEWED BY QUALIFIED ROOFING INSPECTOR TO ENSURE COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND TO CONFIRM:
- PROFILES TO THE MANUFACTURER'S SPECIFICATIONS & TYPE 3 25# IRON INSULATION BARS - TO BE CONFIRMED BY DIMENSION
- INSULATION MUST:
- ROOF TO BE COMPLIANT TO ALL APPLICABLE REQUIREMENTS FOR NON-COMBUSTIBLE CONSTRUCTION FOR THE USE CLASS.



5 TYPICAL SKYLIGHT DETAIL
 SCALE: 1/2"=1'-0"



2 SOUTH CANOPY PLAN
 SCALE: 1/8"=1'-0"

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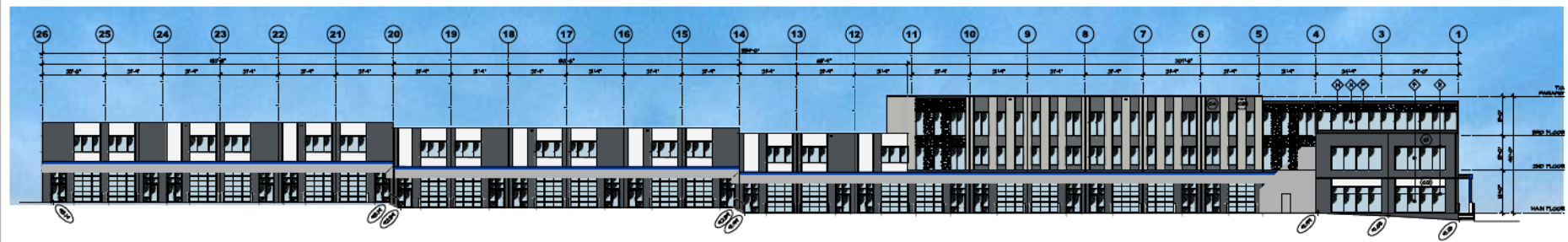
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PROJECT MANAGER/ CONTRACTOR:		
ORION CONSTRUCTION		
ORION CONSTRUCTION 4167 E. 190th ST. AVE LAKELAND, CO 80122 PHONE: (303) 382-2094		
PROJECT PROVIDED USED USE DEVELOPMENT:		
88th & Holt		
ADDRESS: 128178th AVE, SUITE 100 DRAWN		
ROOF PLAN		
REV.	DATE	BY

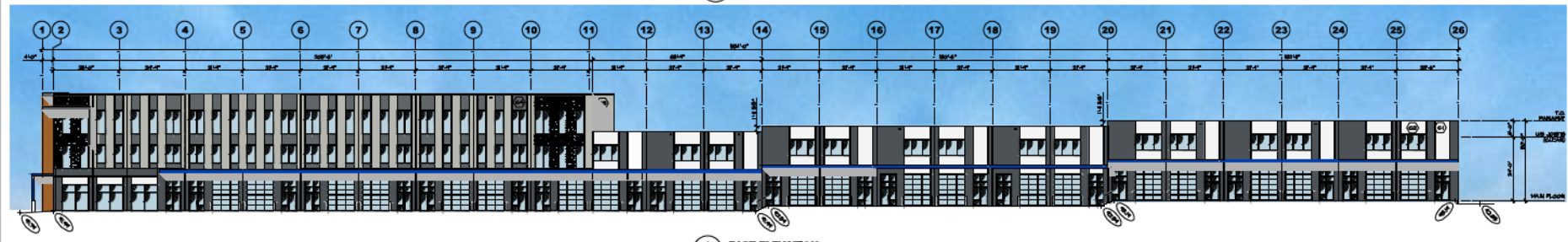


ARCHITECTURE PANEL INC.
ARCHITECTURE, INTERIOR ARCHITECTURE, DESIGN SERVICES
1170 155 STREET WEST, SUITE 1000
VANCOUVER, BC V6L 2H4

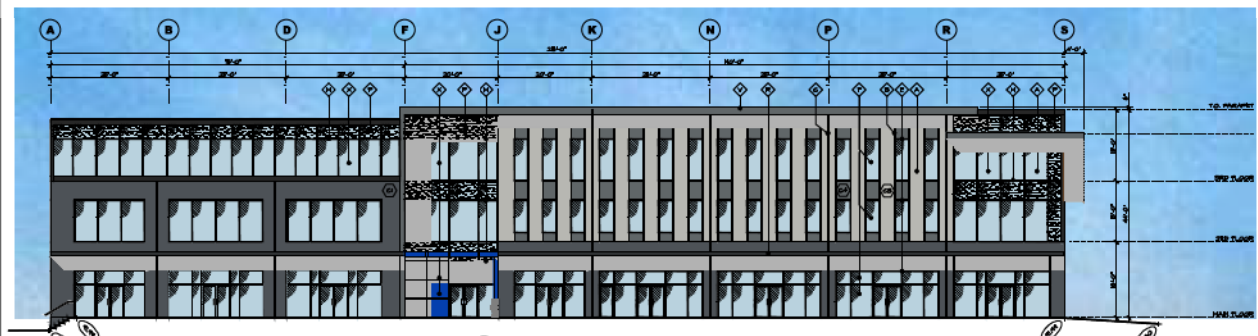
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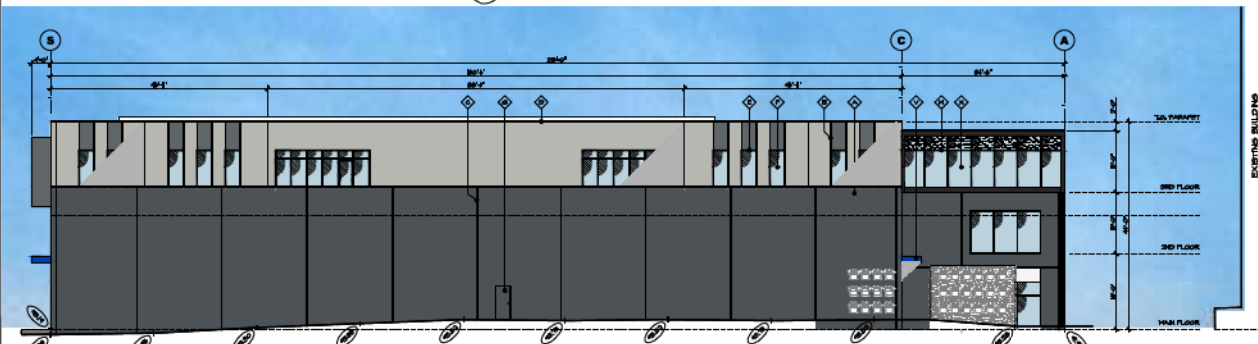
1 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION (FRONTING 88TH AVE)
SCALE: 1/8"=1'-0"



4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

MATERIAL LEGEND

- ① CONCRETE FILL-UP WALL TYP. - PAINTED
- ② GENERAL H. CONCRETE - PAINTED
- ③ PANEL JOINT
- ④ PREFABRICATED METAL CAP FLASHING
- ⑤ SECRET BRICK FRAMES - BLACK PAINTED ALUMINUM
- ⑥ STREETFRONT GLASS - GLASS
- ⑦ STEEL HANDRAILS - PAINTED
- ⑧ SECTIONAL OVERHEAD DOORS
- ⑨ STEEL SHOWERALS - PAINTED
- ⑩ CONCRETE REPAIRING WALLS - NATURAL FINISH PAINTED TYP.
- ⑪ LIGHT FIXTURES - MB ELECTRICAL OWNER
- ⑫ CONCRETE STAR OF STEEL TYP. SHOWERALS
- ⑬ 2" X 4" RISERS IN CONCRETE
- ⑭ SPINNEL GLAZING SYSTEMS - TO MATCH VISION GLAZING
- ⑮ SCOFFER
- ⑯ PAINTS/PAINTS GASKETS
- ⑰ STEEL BOLLARDS - PAINTED
- ⑱ CONCRETE CURB ISLES, PAINTED
- ⑲ HORIZONTAL CORRUGATED METAL CONCRETE FORMWORK
- ⑳ ADV. GLASS GASKETS
- ㉑ GLASS/FRONT HALL FRAMES - BLACK PAINTED ALUMINUM
- ㉒ CORNER HALL GLASS - GLASS

PROJECT COLOURS

- MAIN FELD COLOUR 1
- FELD ASSECT COLOUR 1
- FELD ASSECT COLOUR 2
- FELD ASSECT COLOUR 3
- ASP. GASKETS 1
- GASKETS 2
- GASKETS 3
- ASP. GASKETS 4
- ASP. GASKETS 5
- ASP. GASKETS 6

PAINTING NOTES

ALL WORKSHOPS AND SITES SHALL CORRESPOND TO THE SPECIFICATIONS OF THE GENERAL CONTRACTOR CONTRACTOR ASSOCIATION.
FOR THE PAINTING OF CONCRETE SURFACES THE VARIETY HORIZON COLOURS OF THE CONCRETE SURFACE SHALL BE AS FOR ANY EXISTING PAINT.
IT IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR TO OBTAIN CONSENT FROM THE GENERAL CONTRACTOR BEFORE ANY WORK IS BEGUN. IT IS ALSO THE RESPONSIBILITY OF THE PAINTING CONTRACTOR TO FOLLOW ALL APPLICABLE CODES AND REGULATIONS AND TO OBTAIN ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY.
THE PAINTING CONTRACTOR IS TO EXAMINE ALL SURFACES TO BE PAINTED AND REPORT ALL DEFECTS TO THE GENERAL CONTRACTOR. ALL DEFECTS ARE TO BE REPAIRED BY THE GENERAL CONTRACTOR BEFORE ALL WORK BEGINS. ALL WORK IS TO BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER BEFORE ANY WORK BEGINS. ALL WORK IS TO BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER BEFORE ANY WORK BEGINS. ALL WORK IS TO BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER BEFORE ANY WORK BEGINS.

GENERAL NOTES

ALL EXISTING PAINT COLOURS ARE TO BE MATCHED AS FAR AS POSSIBLE AND TO BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER BEFORE ANY WORK BEGINS.
ALL EXISTING COLOURS BY EITHER REFINISH OR OVERLAY SHOULD BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER BEFORE ANY WORK BEGINS.
PAINT SURFACES AS FOLLOWS:
① CONCRETE FILL-UP WALLS - PAINT TO MATCH EXISTING WALLS.
② GENERAL H. CONCRETE - PAINT TO MATCH EXISTING WALLS.
③ STEEL BOLLARDS - TO BE PAINTED WITH 3 COATS OF LATEX PAINT.
④ SPINNEL GLAZING SYSTEMS - TO MATCH EXISTING SYSTEMS.
⑤ STEEL SHOWERALS AND FRAMES AND STEEL VERTICAL SURFACES - 1 COAT ALLOYED METAL 2 COATS OF ALLOYED METAL.
⑥ HANDRAILS - 1 COAT OF ALLOYED METAL 2 COATS OF ALLOYED METAL.
⑦ ASP. GASKETS - TO BE PAINTED WITH 3 COATS OF LATEX PAINT.
⑧ ALL PAINT TO BE APPLIED IN ACCORDANCE WITH THE GENERAL CONTRACTOR'S SPECIFICATIONS.
⑨ ALL EXISTING SURFACES AND ALL EXPOSED INTERIOR SURFACES ARE TO BE PAINTED WITH 2 COATS OF ALLOYED METAL 2 COATS OF ALLOYED METAL.

ORDER TO CONTRACTOR

ORDER TO CONTRACTOR: ALL COLOURS TO BE MATCHED WITH THE GENERAL CONTRACTOR'S SPECIFICATIONS.
① MATCH EXISTING WALLS AND FRAMES WITH THE GENERAL CONTRACTOR'S SPECIFICATIONS.
② MATCH EXISTING WALLS AND FRAMES WITH THE GENERAL CONTRACTOR'S SPECIFICATIONS.
③ MATCH EXISTING WALLS AND FRAMES WITH THE GENERAL CONTRACTOR'S SPECIFICATIONS.
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⑧ MATCH EXISTING WALLS AND FRAMES WITH THE GENERAL CONTRACTOR'S SPECIFICATIONS.
⑨ MATCH EXISTING WALLS AND FRAMES WITH THE GENERAL CONTRACTOR'S SPECIFICATIONS.

LEGEND

- PROPOSED BRIDGE
- EXISTING BRIDGE

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ORION CONSTRUCTION
GENERAL CONTRACTOR
UNIT 105 1822 BAY AVE
LANGLEY, BC V2Y 5G2
PHONE: (604) 304-9344

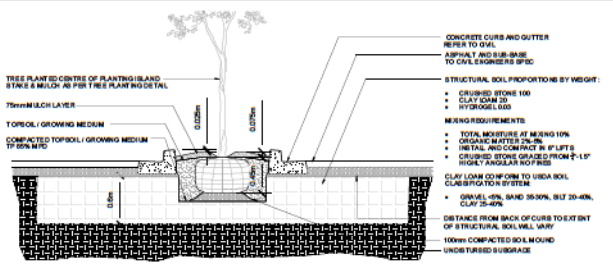
PROJECT INFORMATION

88th & Holt

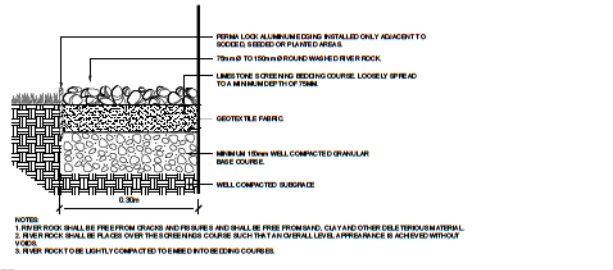
ADDRESS: 18018 BAY AVE, SURREY BC

ELEVATIONS	
DATE:	JOB NO.: 24020
DATE:	DESIGN: JH
DATE:	CHECKED: J.D.
DATE:	DATE: 2024
DATE:	PROJECT MANAGER: J.D.
DATE:	DATE: 2024
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A-4.0c 7



1 STRUCTURAL SOIL

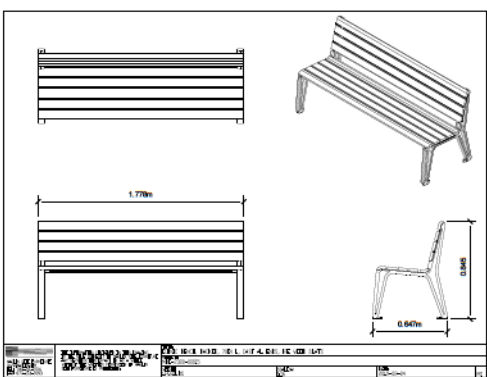


2 RIVER ROCK

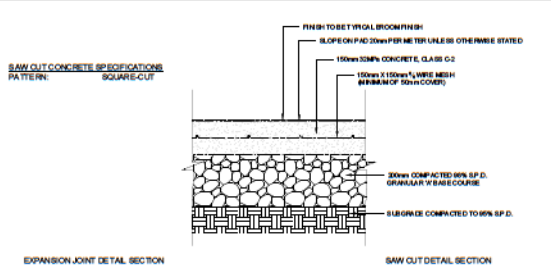


MANUFACTURER: ULINE
MODEL NUMBER: H-6572
COLOUR: ORION BLUE
QUANTITY: 4

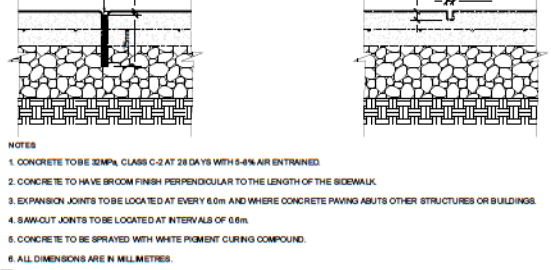
3 BIKE RACK



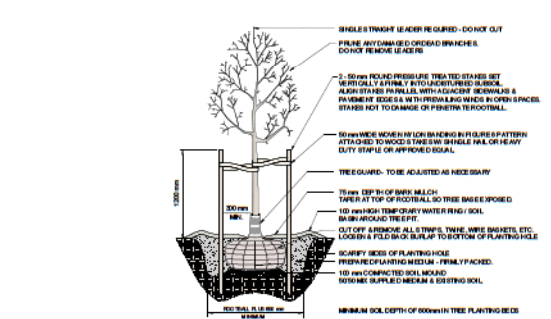
4 BENCH



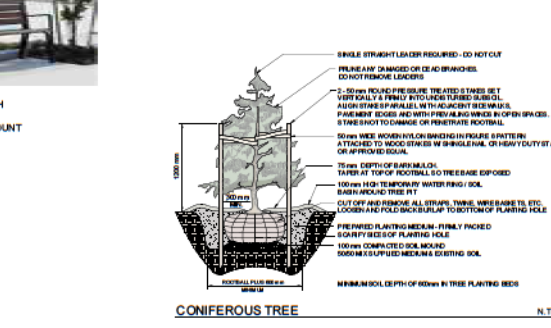
5 SAWCUT CONCRETE DRIVEWAY



5 SAWCUT CONCRETE DRIVEWAY



DECIDUOUS TREE



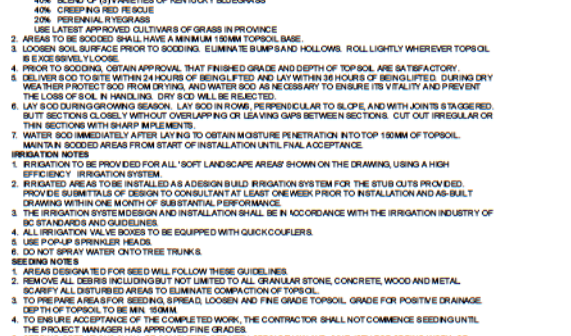
CONIFEROUS TREE

NOTES

- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
 - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
 - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS. PEDESTRIAN PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.
- PLANTING NOTES**
- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
 - PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
 - ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
 - TREE PROTECTION: REFER TO MUNICIPAL DETAIL IF REQUIRED.
 - ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
 - SOIL DEPTH ALL PLANTING AREAS TO BE MINIMUM 400mm.
 - SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
 - ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
 - PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING DROOP OR OTHER DEFECTS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
 - REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH CANADIAN HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (ISA) SPECIFICATIONS WITH APPROPRIATE TRAINING FOR EACH SPECIES.
 - PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR THE REPLACEMENT OF PLANT MATERIAL THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
G1. Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period.
Plants shall be watered
G2. Within 48 hours of when requested by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others.
G3. The cost of this shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
G4. Maintenance and additional installation of mulch
G5. Weed removal
G6. Disease control

- SOODING NOTES**
- SOODING AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADIAN CULTIVATED TURF SOIL WITH STRONG FIBROUS ROOT SYSTEM THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
40% BLEND OF 3 VARIETIES OF KENTUCKY BLUEGRASS
40% CREEPING RED FESCUE
20% PERENNIAL Ryegrass
 - USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
 - AREAS TO BE SOODING SHALL HAVE A MINIMUM 100mm TOPSOIL BASE
 - LOOSEN SOIL SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXPOSED. VIBRATE
 - PRIOR TO SOODING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY
 - DELIVER SOOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 30 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOOD FROM DR YNS, AND WATER SOOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN WINDS. DRY SOOD WILL BE REJECTED
 - LAY SOOD DURING GROWING SEASON. LAY SOOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
 - WATER SOOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 100mm OF TOPSOIL. MAINTAIN SOODING AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE
- IRRIGATION NOTES**
- IRRIGATION TO BE PROVIDED FOR ALL "SOFT" LANDSCAPE AREAS SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM
 - IRRIGATED AREAS TO BE INSTALLED AS AN ADDITION BUILT IRRIGATION SYSTEM FOR THE SUB CUTS PROVIDED. PROVIDE SUBMITTANT DESIGN TO COMPLY WITH AT LEAST ONE MEASUR PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
 - THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND REGULATIONS
 - ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS
 - USE POPUP SPRINKLER HEADS
 - DO NOT SPRAY WATER ON TO TREE TRUNKS
- SEEDING NOTES**
- AREAS DESIGNATED FOR SEED WILL FOLLOW THESE GUIDELINES
 - REMOVE ALL DEBRIS INCLUDING BUT NOT LIMITED TO ALL GRANULAR STONE, CONCRETE, WOOD AND METAL. SCARIFY ALL DISTURBED AREAS TO ELIMINATE COMPACTION OF TOPSOIL
 - TO PREPARE AREAS FOR SEEDING, SPREAD, LOOSEN AND FINE GRADE TOPSOIL. GRADE FOR POSITIVE DRAINAGE. DEPTH OF TOPSOIL TO BE MIN. 100mm
 - TO ENSURE ACCEPTANCE OF THE COMPLETED WORK, THE CONTRACTOR SHALL NOT COMMENCE SEEDING UNTIL THE PROJECT MANAGER HAS APPROVED FINE GRADES
 - SEEDING OPERATIONS SHALL BE COMPLETED BETWEEN SPRING 15th AND JUNE 15th FOR SPRING WORK, OR BETWEEN AUGUST 15th AND OCTOBER 15th FOR FALL WORK
 - SEED APPLICATION METHOD: HYDROSEEDING BY APPROVED CONTRACTOR
 - CONTRACTOR TO ENSURE ADEQUATE SEED MIX CATCH. SEEDING AREAS WILL BE ACCEPTED PROVIDED THAT A SUFFICIENT AMOUNT OF THE SEED HAS GERMINATED AND BECOME ESTABLISHED IN THE OPINION OF THE PROJECT MANAGER
 - MAINTENANCE FOR SEEDING AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE PROJECT MANAGER
 - SEED MIX TO BE AS FOLLOWS:
PREMIER PACIFIC SEEDS COAS TAL VEGETATION MIX AT A SEEDING RATE OF 90 KG/HECTARE OR APPROVED EQUAL AT SEEDING RATE OF 100KG/HECTARE

SHRUB AND PERENNIAL PLANTING DETAIL



SHRUB AND PERENNIAL PLANTING DETAIL

NO.	DATE	ISSUED / REVISION	DESCRIPTION
1	2024/11/14	ISSUED FOR COORDINATION	
2	2024/10/29	ISSUED FOR COORDINATION	
NO. DATE ISSUED / REVISION DESCRIPTION			
REVISIONS			
SCALE			
NORTH ARROW			
PROJECT NAME			
88th HOLT Rd.			
PROJECT ADDRESS			
12051/12059 88 Ave			
SURREY, BC			
DRAWING TITLE			
DETAILS			
DESIGNED BY	AS NOTED		
DRAWN BY	MA		
CHECKED BY	SW		
PROJECT NO.	24-014		
SHEET NO.	2024-01		
DRAWING NO.			

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41000 North Nelson Rd. Abbotsford, British Columbia
 T: 604.402.0031 www.amrsystems.ca

LEGEND

- PLANTING MEDIUM
- CONCRETE SIDEWALK PAVING
- GRAVEL
- SAWCUT CONCRETE DRIVEWAY
- BENCH
- RETAINING WALL
- BIKE RACK
- PROPERTY LINE
- SETBACK LINE
- ARBORETUM/PERFORMANCE AREA
- TREE PROTECTION FENCE
- EXISTING TREE TO REMAIN

NO.	DATE (MM/DD)	DESCRIPTION
1	2011/14	ISSUED FOR COORDINATION
2	2012/09	ISSUED FOR COORDINATION
DRAWN BY: [Name]		
CHECKED BY: [Name]		
SCALE:		



PROJECT NAME
88th HOLT Rd.

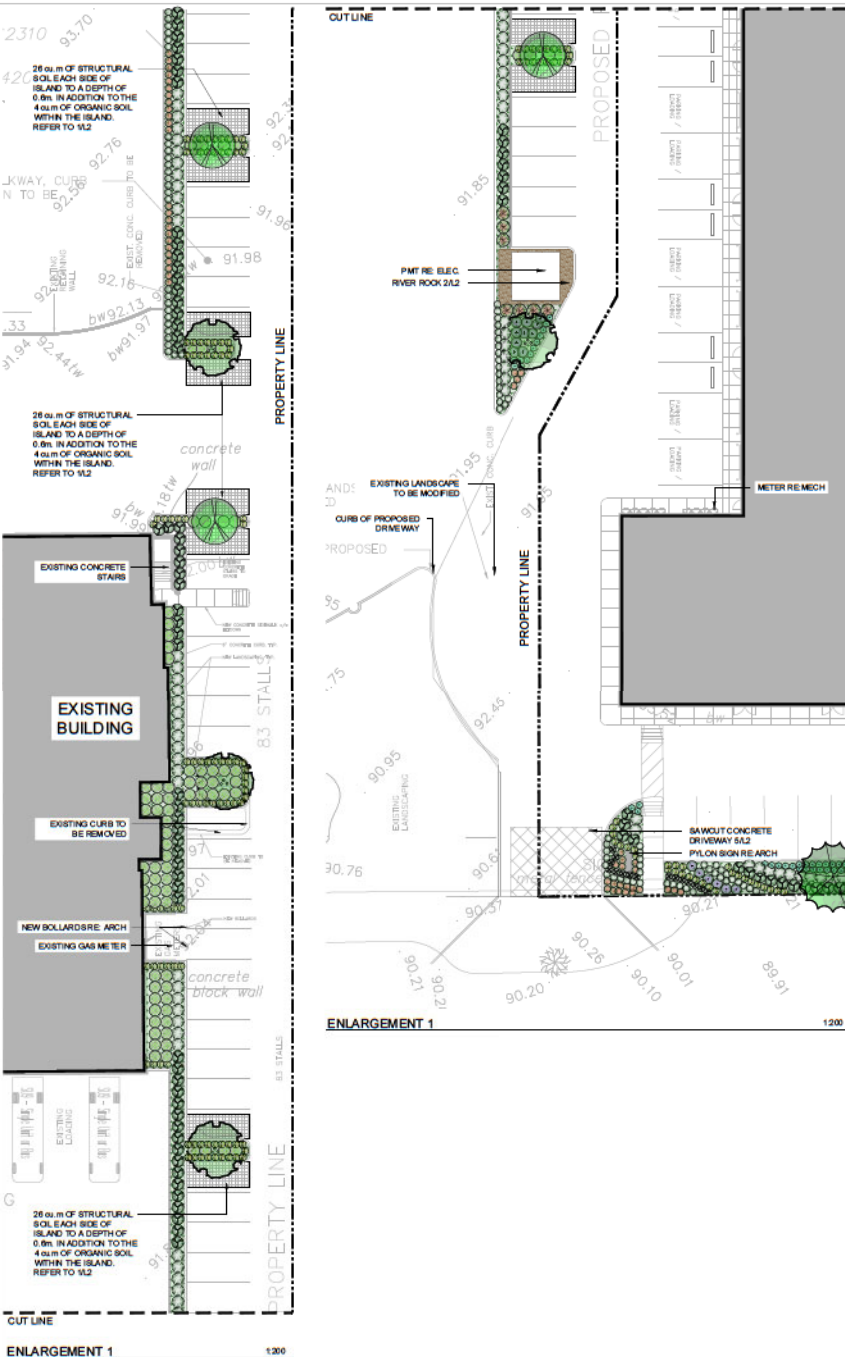
PROJECT ADDRESS
**12091/12099 88 Ave
 SURREY, BC**

DRAWING TITLE
**LANDSCAPE OFFSITE
 PLAN**

SCALE:	1:200
DRAWN:	MA
CHECKED:	SW
PROJECT NO.:	24-01L
START DATE:	2008-04
DRAWING NO.:	

OS 1.0

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ENLARGEMENT 1 1:200

INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Director, Land Development, Engineering Department**

DATE: **February 05, 2025**

PROJECT FILE: **7824-0185-00**

RE: **Engineering Requirements (Commercial/Industrial)**
Location: 12091 88 Ave

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 3.942m along Holt Road.
- Dedicate 6.0m x 6.0m corner cut at the intersection of Holt Rd and 88 Avenue.
- Register 0.5m SRW along Holt Rd and 88 Ave frontages.

Works and Services

- Construct Holt Rd.
- Construct north side of 88 Ave.
- Provide adequately sized storm, sanitary and water service connection to each lot.
- Register RC for water quality/sediment control inlet chamber.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT


There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Jeff Pang, P.Eng.
Director, Land Development

DYC

TREE PRESERVATION SUMMARY

Surrey File Number: 24-0185
 Address: 12091 88th Av, Surrey
 Arborist: Alexander Groenewold
 Date of Report/Revision: January 23 2025
 Arborist Signature:  Friday, January 24, 2025

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

<u>ONSITE TREES</u>		<u># of Trees</u>
Existing Bylaw Trees		<u>65</u>
Proposed Removed Bylaw Trees		<u>31</u>
Proposed Retained Bylaw Trees		<u>34</u>
Total Replacement Trees Required		
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio		
	Removed	Subtotal
	15 x 1	15
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio		
	Removed	Subtotal
	0 x 2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio		
	Removed	Subtotal
	16 x 2	32
Required Replacement Trees		<u>47</u>
Proposed Replacement Trees		<u>0</u>
Deficit of Replacement Trees		<u>47</u>
Total Onsite Retained and Replacement Trees		<u>34</u>

<u>OFFSITE TREES</u>		<u># of Trees</u>
Existing Bylaw Trees		<u>2</u>
Proposed Removed Bylaw Trees		<u>1</u>
Proposed Retained Bylaw Trees		<u>1</u>
Total Replacement Trees Required		
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio		
	Removed	
	1 x 1	1
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio		
	Removed	
	0 x 2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio		
	Removed	
	0 x 2	0
Required Replacement Trees		<u>1</u>
*To be taken as cash-in-lieu		<u>1</u>
Total Offsite Retained Trees		<u>1</u>

<u>CITY TREES</u>	<u>Existing</u>	<u>Removed</u>	<u>Retained</u>
Park/City Lot Trees	0	0	0
Boulevard Trees	31	17	14
Total	31	17	14

TREE PRESERVATION BY LOCATION

*Last updated J

Surrey File Number:

24-0185

Address:

12091 88th Av, Surrey

Arborist:

Alexander Groenewold

Date of Report/Revision:

January 23 2025

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

<u>Alder & Cottonwood Trees</u>			
	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	20	15	5
Alder/Cottonwood (within riparian area)			
Total	20	15	5
<u>Deciduous Trees</u>			
(excluding Alder & Cottonwood Trees)			
Tree Species	Existing	Remove	Retain
<i>Willow</i>	7	7	0
<i>Dawn Redwood</i>	3	3	0
<i>Freeman Maple</i>	7	0	7
<i>Hornbeam</i>	6	6	0
<i>Tulip Tree</i>	10	0	10
<i>Sweet Gum</i>	1	0	1
<i>Birch</i>	1	0	1
Deciduous Subtotal	35	16	19
<u>Coniferous Trees</u>			
Tree Species	Existing	Remove	Retain
<i>Western Red Cedar</i>	10	0	10
Coniferous Subtotal	10	0	10
Deciduous & Coniferous Total	45	16	29
Onsite Tree Totals	65	31	34
Onsite Replacement Trees Proposed		0	
*insert "0" if TBD or unknown			
Total Onsite Retained and Replacement Trees		34	

ONSITE

*if an additic

*if an additic

		Alder & Cottonwood Trees			
		Existing	Remove	Retain	
OFFSITE	Alder/Cottonwood (outside riparian area)	2	1	1	
	Alder/Cottonwood (within riparian area)				
	Total	2	1	1	
			Deciduous & Coniferous (excluding Alder & Cottonwood Trees)		
			Existing	Remove	Retain
	Tree Species				
	Deciduous & Coniferous Total	0	0	0	
	Offsite Tree Totals	<u>2</u>	<u>1</u>	<u>1</u>	
Total Offsite Retained Trees	1				
		Existing	Remove	Retain	
CITY	Park/City Lot Trees				
	Boulevard Trees	31	17	14	
	Total	31	17	14	

*if an additic

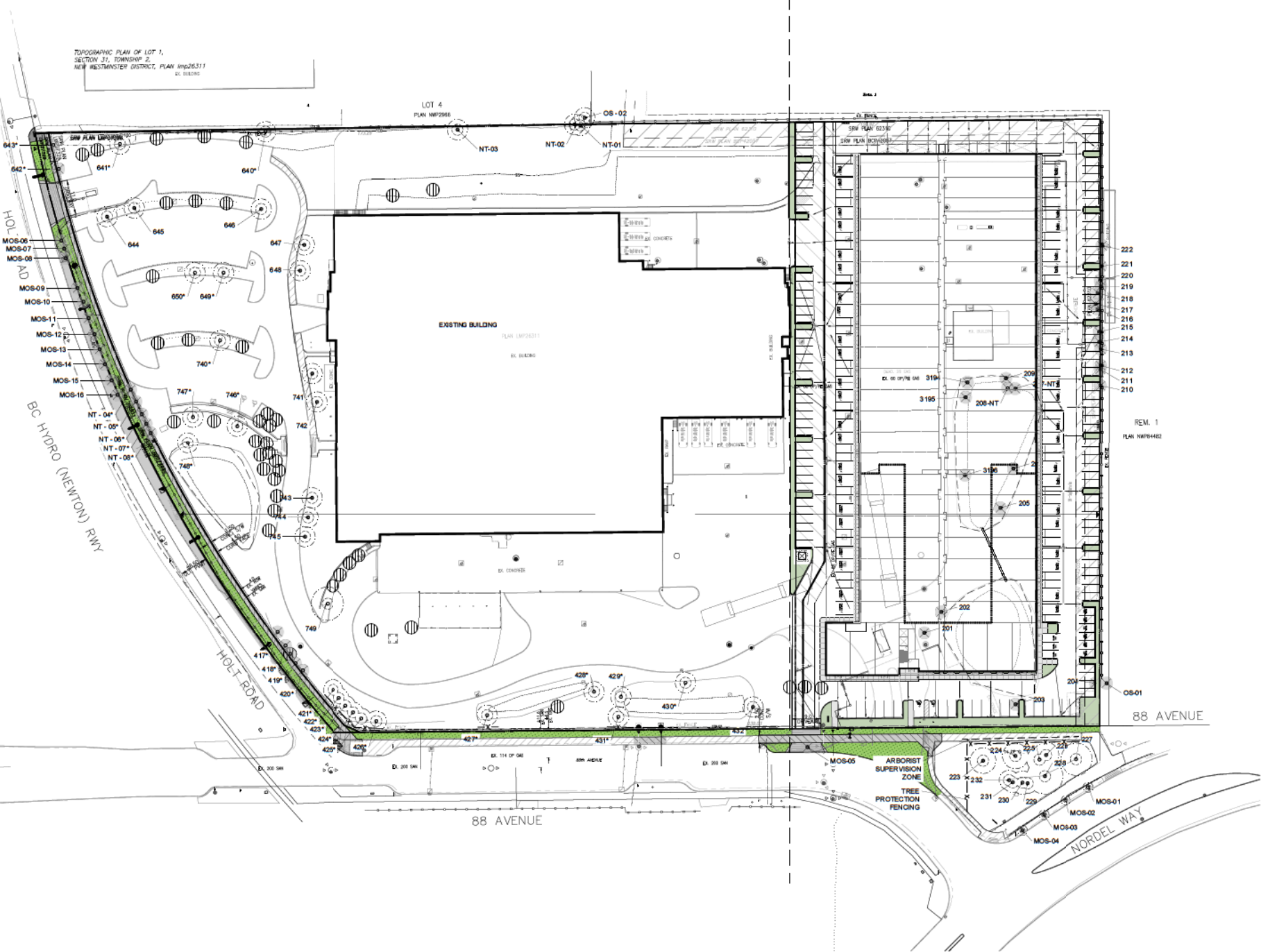
WESTERN AREA - ROAD DEVELOPMENT ONLY

EAST AREA FOR DEVELOPMENT

TOPOGRAPHIC PLAN OF LOT 1,
SECTION 31, TOWNSHIP 2,
NEW WESTMINSTER DISTRICT, PLAN S9205311
DL 08/2010

LOT 4
PLAN N62988

PLAN 1



LEGEND

- EXISTING TREE PROPOSED FOR REMOVAL
- EXISTING TREE TO BE RETAINED
- UNDERSIZE TREE
- TREE PROTECTION FENCING
- ARBORIST SUPERVISION ZONE
- 19' TREE TAGNO.
- 19' UNSURVEYED TREE TAGNO.
- CRITICAL ROOT ZONE
- TREE PROTECTION ZONE (LARGER OF CRZ OR DRILLING)

Assessment Done Mar 18, 2024
By Alexander Goenawold,
I.S.A. TRAQ



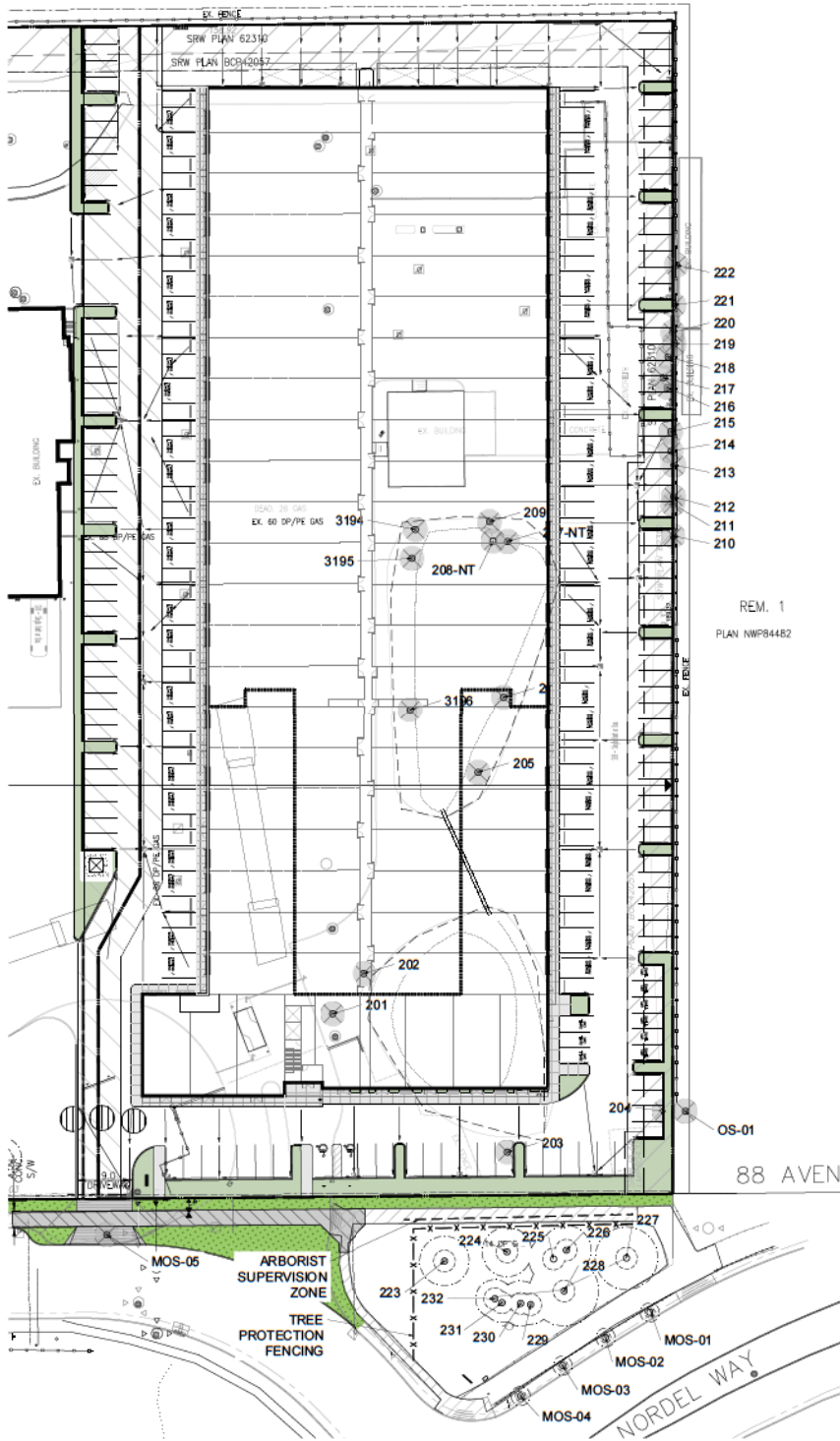
PROJECT NAME:
12091 88th Av, Surrey, BC

PROJECT ADDRESS:
12091 88th Av, Surrey, BC

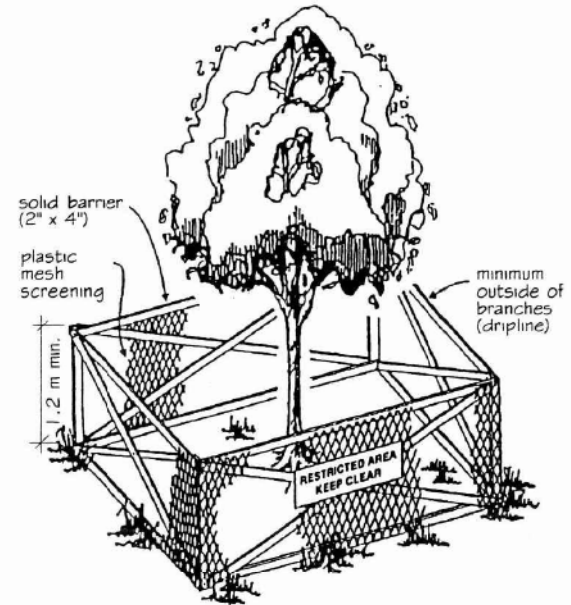
DRAWING TITLE:
TREE MANAGEMENT PLAN

SCALE: 1/8" = 1'-0" AT ARCH C 8/22
DRAWN: AG
CHECKED: NP
PROJECT NO: 360

DRAWING NO:
T1



REM. 1
PLAN NWP84482



- LEGEND**
- EXISTING TREE PROPOSED FOR REMOVAL
 - EXISTING TREE TO BE RETAINED
 - UNDERSIZE TREE
 - TREE PROTECTION FENCING
 - ARBORIST SUPERVISION ZONE
 - TREE TAGNO. 19
 - UNURVEYED TREE TAGNO. 19*
 - CRITICAL ROOT ZONE
 - TREE PROTECTION ZONE (LARGER OF CRZ OR DRIPLINE)

PROTECTING AND MANAGING TREES DURING CONSTRUCTION

1. Refer to the most recent arborist report for full details on recommendations, required protection and management of trees. Contact the undersigned consulting arborist if any questions arise
2. Tree Protection Fencing must be installed to municipal specifications prior to demolition, tree removal or construction work and be kept in good order until the completion of project or final landscaping. Consulting arborist to be contacted prior to Tree Protection Fencing removal.
3. The following activities are prohibited within the area enclosed by the Tree Protection Fencing unless specifically exempt by the consulting arborist:
 - a. Excavation, trenching, stump grinding, stump removal or subsurface work,
 - b. Grade alteration,
 - c. Storage of any construction material or demolition debris,
 - d. Parking or storage of vehicles or machinery,
 - e. Installation of parking, sidewalk, curbing, asphaltting or building, or
 - f. Contamination of soil by processes of washing, dumping or cleaning out materials (Especially concrete, or oil based materials) within the Tree Protection Fencing or in a location such as to allow the contaminants to flow into the area designated by the Tree Protection Fencing.
4. Within the Arborist Supervision Zone, outside of the Tree Protection Fencing:
 - a. Excavation, trenching, stump grinding, stump removal or subsurface work can proceed only under the supervision of the consulting arborist,
 - b. All activities prohibited within the Tree Protection Fencing (See 3. above) should be minimized where possible within the Arborist Supervision Zone.
 - c. Consulting arborist to be contacted minimum 48 hours prior to required supervision.

Assessment Done Mar 18, 2024
By Alexander Greenwood,
I.S.A. TRAQ

PROJECT NAME:
12091 88th Av, Surrey, BC

PROJECT ADDRESS:
12091 88th Av, Surrey, BC

DRAWING TITLE:
TREE MANAGEMENT PLAN

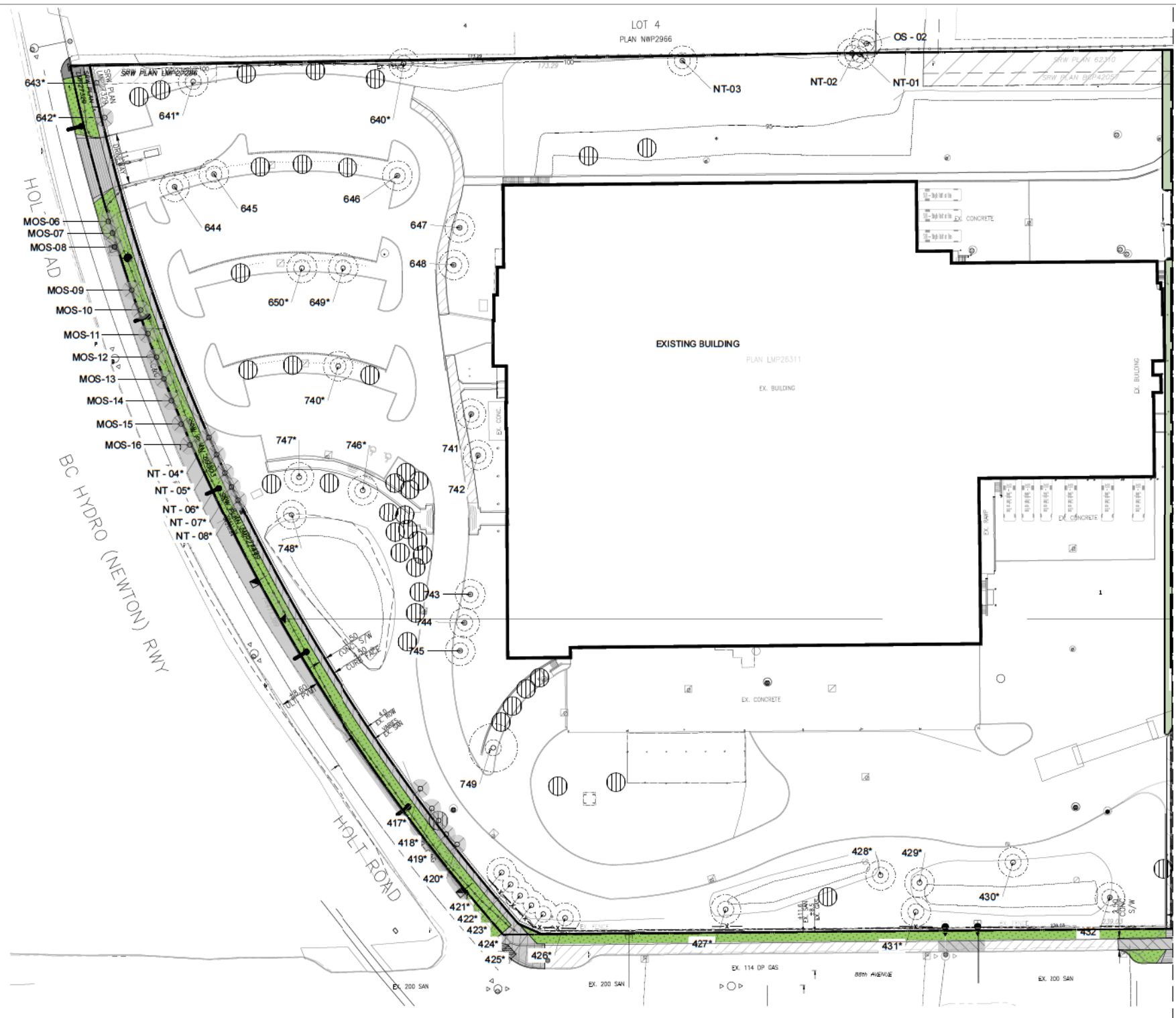
SCALE: 1/8" = 1'-0" AT ARCHIC 8/22

DRAWN: AG

CHECKED: NP

PROJECT NO: 360

DRAWING NO: **T1.1**



LEGEND

- EXISTING TREE PROPOSED FOR REMOVAL
- EXISTING TREE TO BE RETAINED
- UNDERSIZE TREE
- TREE PROTECTION FENCING
- ARBORIST SUPERVISION ZONE
- TREE TAGNO.
- UNINSURVED TREE TAGNO.
- CRITICAL ROOT ZONE
- TREE PROTECTION ZONE (LARGER OF CRZ OR DRILLING)

Assessment Done Mar 18, 2024
By Alexander Groenewold,
I.S.A. TRAQ



PROJECT NAME:
12091 88th Av, Surrey, BC

PROJECT ADDRESS:
12091 88th Av, Surrey, BC

DRAWING TITLE:
TREE MANAGEMENT PLAN

SCALE: **X:500 AT ARCH C SIZE**
DRAWN: **AG**
CHECKED: **NR**
PROJECT NO: **360**

DRAWING NO: **T1.2**