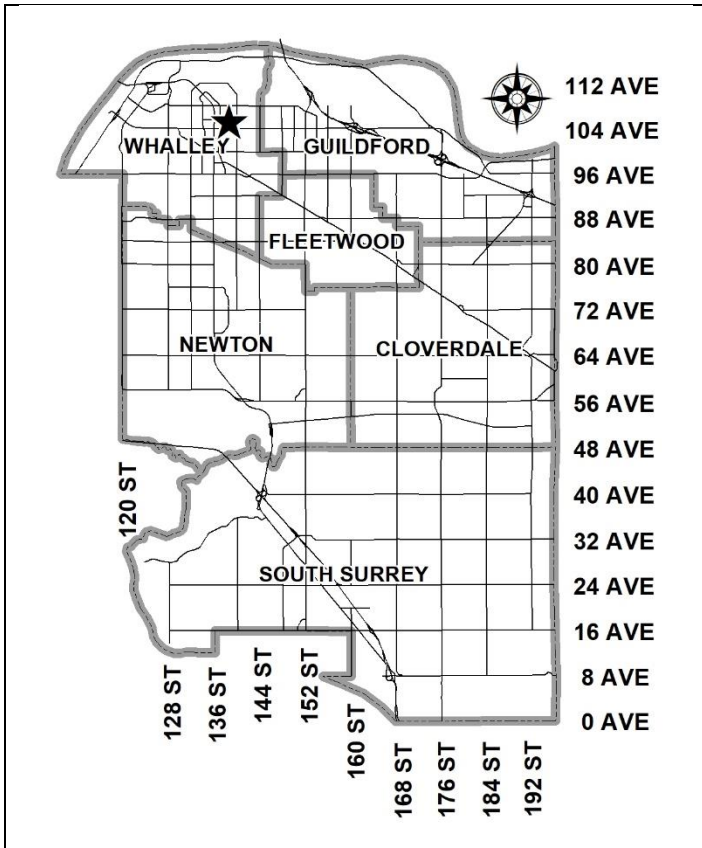


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**  
 Application No.: 7924-0208-00  
 Planning Report Date: February 10, 2025



**PROPOSAL:**

- **Rezoning** from R3 to CD (based on RM-70)
- **Development Permit**

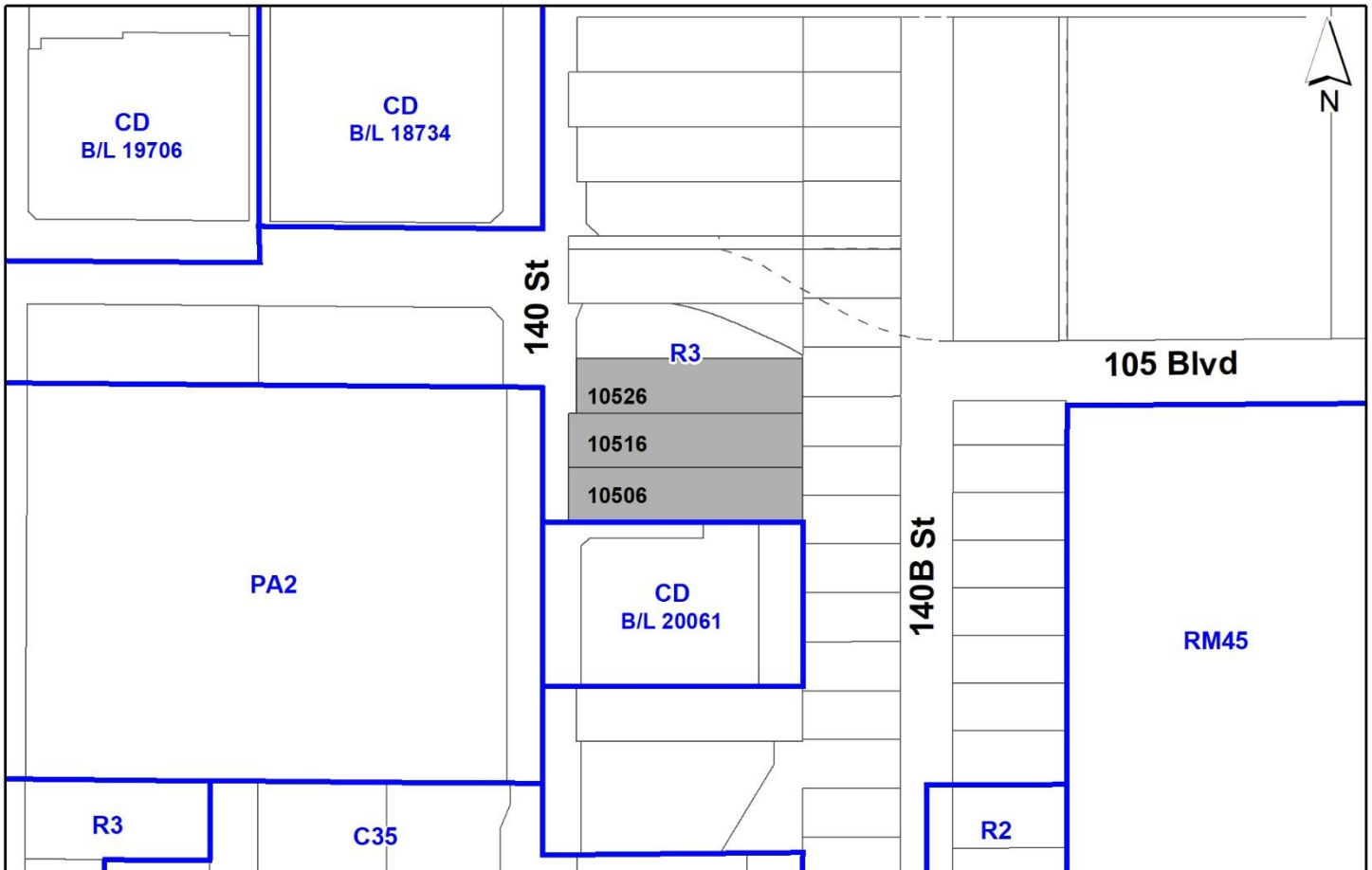
to permit the development of a six-storey apartment building containing 102 dwelling units and two levels of underground parking.

**LOCATION:** 10506 - 140 Street, 10516 - 140 Street  
 10526 - 140 Street

**ZONING:** R3

**OCP DESIGNATION:** Multiple Residential & Conservation and Recreation

**TCP DESIGNATION:** Low to Mid Rise Residential & Parks and Natural Areas



## RECOMMENDATION SUMMARY

The Planning & Development Department recommends that Council endorse **Option A**, which, in the absence of a full land assembly, is to refer the application back to staff to continue working with the applicant to ensure there is a viable development site remaining for the property owner to the north (10536 - 140 Street).

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposal does not comply with Policy 4.1.3.7 in the Guildford Town Centre Plan which directs applicants and staff to consider the future development potential of neighbouring lots by analysing the lot consolidation pattern and development potential of adjacent properties (Appendix III).
- The Plan expects applicants to pursue lot consolidation to prevent the creation of remnant parcels that cannot be developed to the ultimate intended land use designation. The current proposal will create a remnant parcel to the north (10536 - 140 Street) that will have no or limited means to develop to the intended “Low to Mid Rise Residential” designation.

## RATIONALE OF RECOMMENDATION

- The site is currently designated “Multiple Residential” and “Conservation and Recreation” in the Official Community Plan (OCP) and is split designated as “Low to Mid Rise Residential” and “Parks and Natural Areas” in the Guildford Town Centre Plan (TCP). The proposal has merit in that the anticipated floor area ratio (FAR) of 2.24 gross and building form are generally in keeping with the development expectations set by the TCP (Appendix II).
- The Guildford TCP expects applicants to pursue lot consolidation to prevent the creation of remnant parcels that cannot be developed to the ultimate intended land use designation. The current proposal will create a remnant parcel to the north (10536 - 140 Street) that will have no or limited means to develop to the intended “Low to Mid Rise Residential” designation.
- The proposal may set an undesirable precedent for future development proposals seeking development approval on incomplete land assemblies in ways that are non-compliant with existing planning and policy frameworks established in the Guildford TCP and the OCP.
- In addition, the Guildford TCP has identified the intent to locate a plaza at the southeast corner of the 105 Boulevard and 140 Street intersection on the neighbouring site to the north, 10536 - 140 Street (Appendix IV). A consequence of approving Development Application No. 7924-0208-00 as currently proposed is that the plaza may no longer be feasible to achieve at this corner, thus impacting the public realm and placemaking policies envisioned in Section 4.4 of the TCP.

**RECOMMENDATION**

The Planning & Development Department recommends that:

- A. Council refer the application back to staff to continue working with the applicant to ensure there is a viable development site remaining for the property owner to the north (10536 - 140 Street). This approach may include the registration of a Section 219 Restrictive Covenant (“No Build”) prohibiting building on a portion of the subject site or the purchase of the lot to the north.

Alternatively, Council may consider the following option:

- B. If Council is of the view that the merits of the application are sufficient to allow the application to proceed based on the three-lot land assembly currently proposed, Council could direct staff to continue to process the application at the height, density and setbacks currently proposed (Appendix I).

This report is being forwarded to Council in advance of a full application review as the application involves policy-related decisions, and it was not considered practical to undertake all the work associated with refining and detailing the proposal until it is determined if Council is prepared to consider the proposal on the current land assembly which could be precedent-setting.

**SITE CONTEXT & BACKGROUND**

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Urban Residential Lots	OCP: Multiple Residential & Conservation and Recreation  TCP: Low to Mid Rise Residential & Parks and Natural Areas	R3
North:	Urban Residential Lot	OCP: Multiple Residential & Conservation and Recreation  TCP: Low to Mid Rise Residential & Parks and Natural Areas	R3

Direction	Existing Use	OCP/NCP Designation	Existing Zone
East:	Utility Corridor	<u>OCP</u> : Conservation and Recreation  <u>TCP</u> : Parks and Natural Areas	R3
South (across lane):  <i>development approved under application no. 7918-0425-00.</i>	Approved six-storey apartment containing 106 dwelling units	<u>OCP</u> : Multiple Residential & Conservation and Recreation  <u>TCP</u> : Low to Mid Rise Residential & Parks and Natural Areas	CD Bylaw No. 20061
West (across 140 Street):	Our Lady of Good Counsel School & Fields	<u>OCP</u> : Multiple Residential  <u>CCP</u> : Low to Mid Rise Mixed-Use	PA2

### Context & Background

- The subject site is located on the east side of 140 Street immediately south of the intersection with 105 Boulevard in the Guildford Plan area. The site is designated “Multiple Residential” in the Official Community Plan (OCP) and is split designated as “Low to Mid Rise Residential” and “Parks and Natural Areas” in the Guildford TCP. The subject site is zoned “Urban Residential Zone (R3)”. In addition, the site is partially located within the Frequent Transit Development Area (FTDA), between City Centre and the Guildford Town Centre.
- The subject site consists of three properties, located at 10506, 10516, and 10526 - 140 Street, and has a gross site area of 5,620 square metres.
- The eastern portion of the development site is encumbered by a 2,406 square metre BC Hydro ROW, which is considered ‘undevelopable utility area’ as per the OCP, and which is not permitted to be included in gross site area or gross site density calculations. Excluding the BC Hydro ROW, the remaining gross site area of the site is 3,214 square metres (0.79 acres).
- A 50-metre-wide Green Infrastructure Network (GIN) corridor overlaps the east portion of the site by approximately 10-metres at its widest extent (within the BC Hydro ROW) and jogs to the east of the development site as it follows a north-south alignment. The portions of the GIN corridor east of the development site is City-owned Parkland containing the Quibble Creek Greenway, and forms part of the ultimate 50-metre-wide GIN corridor envisioned by the Guildford TCP.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing a six-storey apartment building containing 102 dwelling units, over two levels of underground parking in the Hawthorne District of Guildford. The proposal requires the following:
  - **Rezoning** from R<sub>3</sub> to CD (based on RM-70);
  - **Development Permits** for Form and Character (DP<sub>1</sub>) and Sensitive Ecosystems – GIN (DP<sub>3</sub>); and
  - **Subdivision (Consolidation)** from three lots to one lot.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	5,620 sqm.
Road Dedication:	635 sqm.
Undevelopable Area:	2,406 sqm.***
Net Site Area:	2,579 sqm.
<b>Number of Lots:</b>	1
<b>Building Height:</b>	6 storeys
<b>Floor Area Ratio (FAR):</b>	2.24 (gross)***
<b>Floor Area</b>	
Total:	7,197.3 sqm.
<b>Residential Units:</b>	
Studio:	9
1-Bedroom:	62
2-Bedroom:	24
3-Bedroom:	7
Total:	102

\*\*\* The 2,406 square metre BC Hydro ROW is considered 'undevelopable utility area' as per the OCP and is not permitted to be included in gross site area or gross site density calculations. The applicant has erroneously included undevelopable area in their gross FAR calculations and therefore the number contained within this report is higher than that which appears on their development statistics (A-0.3).

### Referrals

Should Council determine there is merit in allowing the subject development application to proceed, the following stakeholders will provide formal comments with respect to the proposal:

- Engineering & Transportation;
- School District;
- Parks, Recreation & Culture;
- Surrey Fire Department;
- BC Hydro; and
- Trees and Landscaping.

## POLICY & BY-LAW CONSIDERATIONS

### Regional Growth Strategy

- The site is designated as “General Urban” in the Regional Growth Strategy (RGS), which could accommodate the land use identified by the applicant.

### Official Community Plan

#### Land Use Designation

- The site is designated as “Multiple Residential” in the Official Community Plan (OCP), which could accommodate the land use identified by the applicant.

### Secondary Plans

#### Land Use Designation

- The site is split designated as “Low to Mid Rise Residential” and “Parks and Natural Areas” in the Guildford TCP, which could accommodate the use identified by the applicant.

#### Themes/Policies

- The proposal does not comply with Policy 4.1.3.7 in the Guildford Town Centre Plan which directs applicants and staff to consider the future development potential of neighbouring lots by analysing the lot consolidation pattern and development potential of adjacent properties (pgs. 54 & 150).
- The Plan expects applicants to pursue lot consolidation to prevent the creation of remnant parcels that cannot be developed to the ultimate intended land use designation. The current proposal will create a remnant parcel to the north (10536 - 140 Street) that will have no or limited means to develop to the intended “Low to Mid Rise Residential” designation.
- In addition, the Guildford TCP has identified the intent to locate a plaza at the southeast corner of the 105 Boulevard and 140 Street intersection on the neighbouring site to the north, 10536 - 140 Street (pgs. 71 & 74). A consequence of approving Development Application No. 7924-0208-00 is that the plaza may no longer be feasible to achieve at this corner, thus impacting the public realm and placemaking policies envisioned in Section 4.4 of the TCP.

## PUBLIC ENGAGEMENT

- Pre-notification letters were sent on October 21, 2024, and the Development Proposal Signs were installed on October 23, 2024. Staff have not received any responses from neighbours in the vicinity of the project.

- In addition, staff sent a letter by registered mail to the potentially impacted neighbour at 10536 - 140 Street notifying them about the development application and that this proposal may have implications for their property and its ability to redevelop on its own to the maximum density currently prescribed in the Guildford TCP. This letter was mailed on October 18, 2024, and Canada Post returned this letter to the city on November 14, 2024, as it was unclaimed.

## PROJECT EVALUATION

### Applicant's Justification

The applicant has offered the following rationale for the proposed development (with staff comments in *italics* where necessary):

- The applicant has made several attempts over the past two years, including in-person meetings as recently as November 2024, to acquire 10536 - 140 Street, offering above-market rates. However, the property owner has consistently been unresponsive or uninterested in selling.
- The adjoining neighbour to the north has been made aware of the applicant's intent to develop. This includes further explanation on lot consolidation requirements and the potential consequences of not becoming party to this development.
- The applicant has made efforts to showcase how the remnant lot to the north can develop independently in future (reference Sheet A-o.6).

*(The concept plan for the remnant lot does not adhere to the Guildford TCP, nor is it attuned to conventional and commonplace building forms. As identified in Option B, this design is unconventional for a Surrey project, and it may not be economically viable to develop 10536 - 140 Street in this manner).*

- The applicant plans to optimize their land assembly for residential development, addressing the need for housing in the west end of the Guildford Plan. The site's proximity to the 104 Avenue transit corridor offers convenient access to public transportation, making it an ideal location for much-needed housing units.
- The current design responds to the city's development expectations in respect to setbacks, upper-level step backs, and the minimization of at-grade surface parking to the east of the lane.
- The current design responds to the City's design guidelines which enables both the developments to develop independently of each other.

*(See note above. In addition, the concept for 10536 - 140 Street does not adhere to the Guildford TCP, nor is it consistent with other Guildford Projects).*

- This is the applicant's preferred development concept.

## Optional Courses of Action

The following is a summary of two optional courses of action for Council's consideration, and the benefits and concerns associated with each approach:

- **Option A:** refer the application back to staff to continue working with the applicant to ensure there is a viable development site remaining for the property owner to the north (10536 - 140 Street). This approach may include the registration of a Section 219 Restrictive Covenant ("No Build") prohibiting building on the northern portion of the subject site or the purchase the lot to the north.

### *Pros:*

- Staff will have an opportunity to continue to work the applicant to refine the project on a smaller land assembly that preserves developability for the neighbour to the north, or on a full land assembly inclusive of 10536 - 140 Street.
- Staff will have the opportunity to continue to try and contact the potentially impacted neighbour at 10536 - 140 Street to see if a resolution can be found.
- Should the applicant be required to place a "No Build" covenant on a portion of their site for future incorporation with 10536 - 140 Street, a 2.25 FAR (gross) development at six storeys with viable underground parking will still be achievable on a smaller land assembly.
- Likewise, the potentially impacted neighbour at 10536 - 140 Street will have more net developable area (with a portion of land acquired from the applicant in the future) which will enable a development in accordance with the "Low to Mid Rise Residential" designation (2.25 FAR gross), and with viable underground parking.
- If sufficient future developable area is set aside for 10536 - 140 Street, staff will remain well positioned to negotiate for a future plaza at the southeast corner of 140 Street and 105 Boulevard.
- The proposal will deliver housing in the west end of the Guildford TCP.

### *Cons:*

- The applicant's preferred development concept will not be achieved.
- **Option B:** direct staff to continue to process the application at the height, density, and setbacks currently proposed.

### *Pros:*

- The applicant's development concept on the current land assembly will be achieved.
- The current design responds to the city's development expectations in respect to setbacks, upper-level step backs, and the minimization of at grade surface parking to the east of the lane.



*Cons:*

- The applicant has made efforts to showcase how the North lot can develop independently in future. The concept does not appear to reflect consistently with local market conditions for a building of this type. Staff question whether it would be economically viable to develop 10536 - 140 Street as depicted due to the constraints of the site and the interface created with the development considered under application no. 7924-0208-00.
- Approval of the current layout and land assembly may set an undesirable precedent for future development proposals seeking development approval on incomplete land assemblies in ways that are non-compliant with existing planning and policy frameworks established in the Guildford TCP and the OCP.
- The plaza will no longer be achievable at the southeast corner of 140 Street and 105 Boulevard, thus undermining the public realm and placemaking policies envisioned in Section 4.4 of the TCP.

**CONCLUSION**

The Planning & Development Department recommends that Council endorse **Option A**, which is to refer the application back to staff to continue working with the applicant to ensure there is a viable development site remaining for the property owner to the north (10536 - 140 Street). This approach may include the registration of a Section 219 Restrictive Covenant (“No Build”) prohibiting building on a portion of the subject site or the purchase of the lot to the north.

Council may also consider endorsing **Option B**. If there is merit to allow the application to proceed based on the three-lot land assembly currently proposed, Council can refer the application back to staff to continue to process the application at the height, density, and setbacks currently proposed.

Staff will return to Council with a completed rezoning and development permit submission at a future Regular Council – Land Use Meeting, once all submission materials are received and the detailed development application review process is completed.

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Proposed Site Plan and Floor Plans
- Appendix II. Guildford Town Centre Land Use Designation Plan
- Appendix III. Guildford Lot Consolidation Policy
- Appendix IV. Guildford Plaza Network Plan

*approved by Chris Mcbeath*

Ron Gill  
General Manager  
Planning and Development

RO/ar

**Development Permit Application**



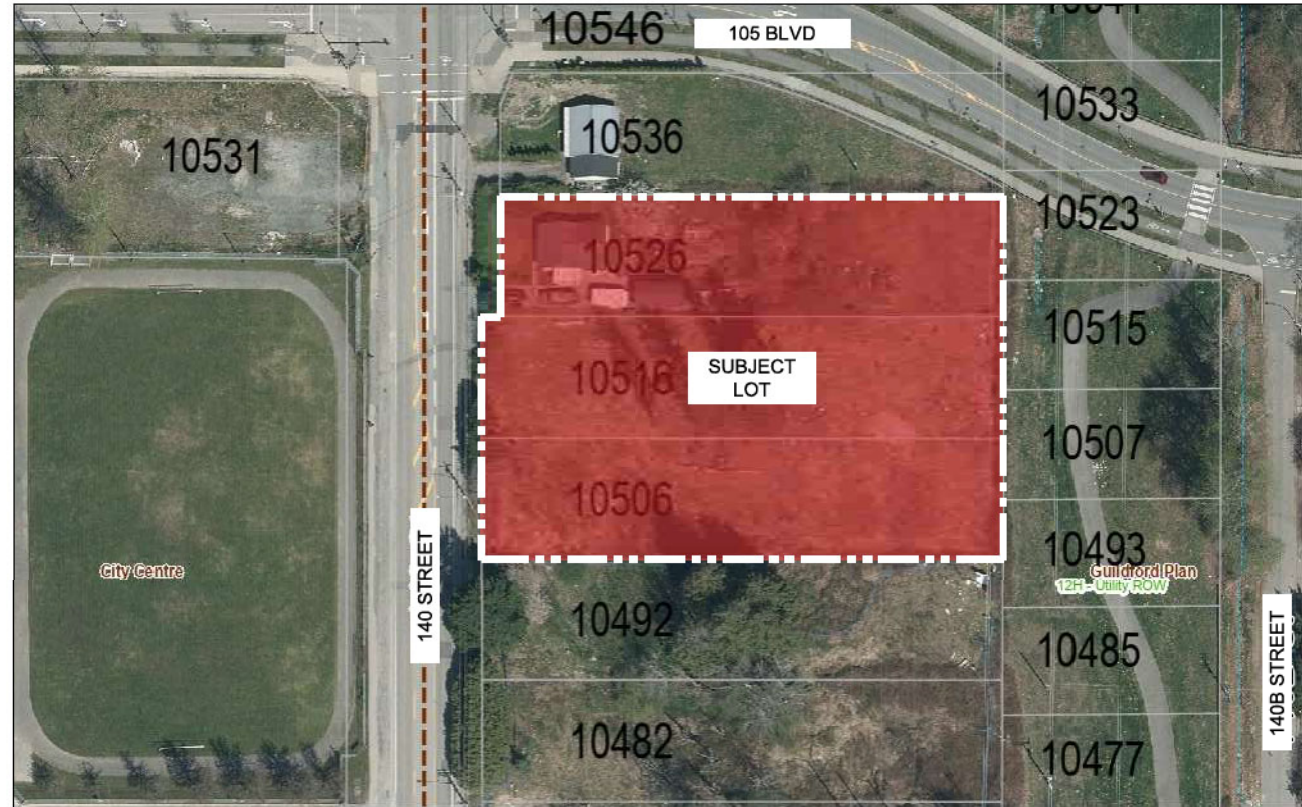
**PMIA**  
ParaMorph  
Architecture Inc

**MULTI FAMILY DEVELOPMENT**  
10506, 16 & 26-140 Street,  
Surrey, BC

## DRAWING LIST

COVER PAGE	A-0.1
PROJECT DETAIL & LOCATION MAP	A-0.2
PROGRAM SUMMARY	A-0.3
TOPOGRAPHICAL SURVEY	A-0.4
BASE PLAN	A-0.5
CONTEXT PLAN	A-0.6
SITE PLAN	A-1.0
FLOOR PLANS	A-2.0 & A-2.4

## LOCATION



## PROJECT TEAM

Architect	ParaMorph Architecture Inc 308 - 9639 137A Street, Surrey British Columbia V3T0M1 info@paramorph.com +1 604-608-0161
Surveyor	CAMERON LAND SURVEYING LTD #234-18525 53 Avenue, Surrey British Columbia V3S3C3 sean@cameronlandsurveying.com +1 604-597-3777



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2025-01-20 Re-submission

2024-06-28 DP Application

Date	Description

Issues / Revisions

Seal



Project Title

**MULTI FAMILY DEVELOPMENT**

Project Address

**10506,16 & 26 140 Street,  
Surrey,  
British Columbia**

Drawn By

Date  
2024-05-10

Checked By

Project #  
3189

Sheet Title

**PROJECT DETAIL &  
LOCATION MAP**

Scale

Sheet No.

**A-0.2**

# PROGRAM SUMMARY

LOT INFO	ADDRESS	10506,16 & 26 - 140 STREET, SURREY			
	LEGAL DESCRIPTION	LOT 12 BLOCK 5N SECTION 24 RANGE 2W PLAN NWP12636 NWD, LOT 11 SECTION 24 RANGE 2 PLAN NWP12636 NWD, LOT 10, PLAN NWP12636, SECTION 24, RANGE 2, NEW WESTMINSTER LAND DISTRICT, EXCEPT PLAN EPP83225			
	SITE AREA	(Sqft)	(Sqm)	(Acre)	(Ha)
	GROSS AREA	80,491	5,620	1.39	0.56
	UNDEVELOPABLE AREA (BC HYDRO ROW)	25,895	2,406	0.59	0.24
	ROAD DEDICATION	6,835	635	0.16	0.06
	NET DEVELOPABLE AREA	27,761	2,579	0.64	0.26

ZONING	ZONING	CURRENT	PROPOSED
		R3	CD BASED ON RM-70
	FAR	PERMITTED	PROPOSED
	FAR BASED ON GROSS AREA		1.26
	FAR BASED ON NET DEVELOPABLE AREA		2.79
	TOTAL FLOOR AREA(Sqft)		77,471
	SETBACKS	PERMITTED	PROPOSED
	NORTH(ALONG NEIGHBOURING LOT)		3.0m
	SOUTH(ALONG LANE)		6.5m
	EAST(ALONG FUTURE LANE)		4.5m
WEST(ALONG 140 STREET)		5.5m	
	BUILDING HEIGHT	PERMITTED	PROPOSED
	TOTAL UNITS		6 STOREY
			102

PROPOSED FLOOR AREA SUMMARY	SITE COVERAGE (ON GROSS AREA)	(Sqft)	(Sqm)	(%)	REMARKS	
	PROPOSED	13700	1,273	22.65%		
	FAR CALCULATION (ON GROSS AREA)					
	RESIDENTIAL (EXCLUDING PARKING)	RESIDENTIAL (Sqft)	RESIDENTIAL CIRCULATION (Sqft)	INDOOR AMENITY (Sqft)	BUILDABLE (Sqft)	EFFICIENCY
	MAIN FLOOR LVL	9,933	1,829	1,158	12,920	77%
	SECOND FLOOR LVL	12,008	1,434	0	13,442	89%
	THIRD FLOOR LVL	12,008	1,434	0	13,442	89%
	FOURTH FLOOR LVL	12,008	1,434	0	13,442	89%
	FIFTH FLOOR LVL	11,636	1,434	0	13,070	89%
	SIXTH FLOOR LVL	10,344	1,387	0	11,731	88%
ROOF LVL (OUTDOOR AMENITY)	0	582	0	582	0%	
TOTAL BUILDABLE AREA				78,629		
TOTAL FLOOR AREA (EXCLUDING INDOOR)				77,471		

UNIT COUNT					
STUDIO	1BR, 1 BR + DEN	2 BR, 2BR+DEN	3 BR	TOTAL UNITS	
0	9	4	1	14	
2	10	5	1	18	
2	10	5	1	18	
2	10	5	1	18	
2	12	3	1	18	
1	11	2	2	16	
9	82	24	7	102	
8.82%	60.78%	23.53%	6.86%	100.00%	

OFF STREET PARKING	PARKING REQUIREMENTS BREAKDOWN				
	NO. OF UNITS	PERMITTED / UNIT	REQUIRED STALLS	PROVIDED (@Surface, Parkade Lvl-1)	
	1 BR, 1 BR+Den, 2BR & 2BR+Den, 3BR	102	1.1	112.2 SAY 112	125
	Visitor's	102	0.10	10.2 SAY 10	10
	TOTAL			122	135
	ACCESSIBLE		2% OF REQUIRED STALLS	2.44 SAY 2	4
	SMALL CARS		35% OF PROVIDED STALLS	47.25 SAY 47	2
BICYCLE PARKING(RESIDENTIAL)	102	1.2 / Unit + 6 Visitor	122+6	128	

AMENITY CALCULATIONS	AMENITIES			
	INDOOR AMENITY	Sq.m.	Sq.ft.	REMARKS
	REQUIRED	306	3,293	3 Sq.m. or 32 Sq.ft./ UNIT
	PROPOSED( @MAIN LEVEL)	108	1,158	
	OUTDOOR AMENITY	Sq.m.	Sq.ft.	REMARKS
REQUIRED	306	3,293	3 Sq.m. or 32 Sq.ft./ UNIT	
PROPOSED (@MAIN LVL & ROOF TOP)	437	4,700		



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2025-01-20 Re-submission  
2024-06-28 DP Application



Project Title  
**MULTI FAMILY DEVELOPMENT**

Project Address  
**10506,16 & 26 140 Street, Surrey, British Columbia**

Drawn By  
Date: 2024-05-10

Checked By  
PV  
Project #  
3189

Sheet Title  
**PROGRAM SUMMARY**

Scale

Sheet No.  
**A-0.3**

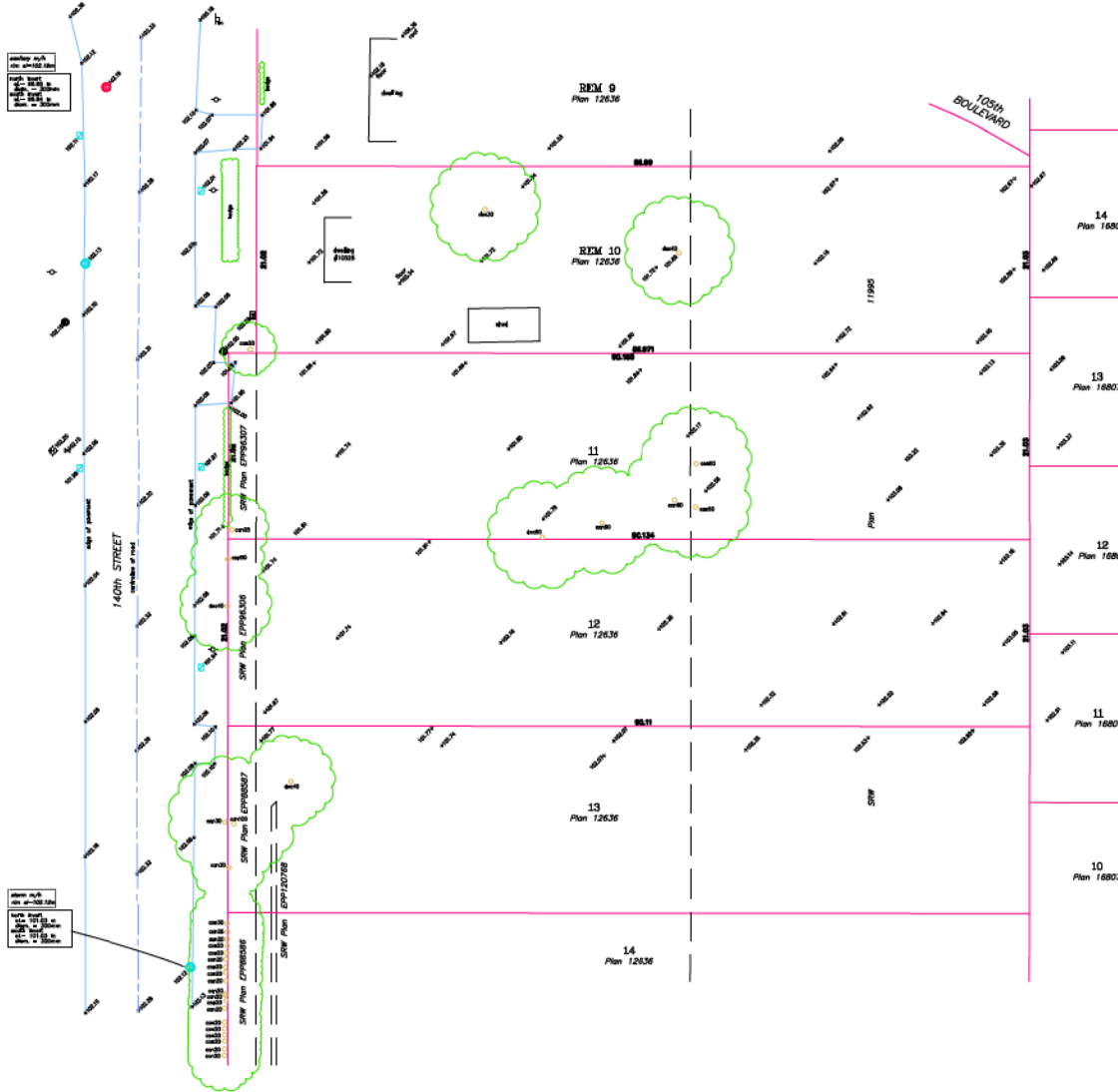
TOPOGRAPHIC PLAN OF LOT 10, EXCEPT PLAN EPP83225,  
 LOTS 11 AND 12; ALL OF PLAN 12636  
 SECTION 24 BLOCK 5 NORTH RANGE 2 WEST  
 NEW WESTMINSTER DISTRICT

SCALE - 1 : 250  
 All distances are in metres  
 CHAC ADDRESS:  
 Plan Lot 10 - 10526 140th Street, Surrey, B.C.  
 Lot 11 - 10516 140th Street, Surrey, B.C.  
 Lot 12 - 10506 140th Street, Surrey, B.C.

- SURVEY LEGEND**
- Water valve
  - Fire hydrant
  - Water meter
  - Sign
  - Sanitary manhole
  - Power pole
  - Sanitary inspection chamber
  - Storm manhole
  - Catch basin
  - Denotes 40cm dia Deciduous Tree
  - Denotes 20cm dia Coniferous tree



Cameron Land Surveying Ltd.  
 B.C. Land Surveyors  
 Unit 234 - 18525-53rd Avenue  
 Surrey, B.C. V3R 3C3  
 Phone: 604-967-3777  
 Fax: 9273-77



This plan lies with the Metro Vancouver Regional District

- NOTES**
- 1) Elevations are in metres and are geoidal.
  - 2) Elevations are derived from Control Monument no. 5382 located at the intersection of 139th Street & 107th Avenue Elevation = 105.230 metres
  - 3) This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration in this document without consent of the signatory.
  - 4) Plans to any construction, underground services are to be confirmed by the City of Surrey Engineering Dept.
  - 5) If there is any conflict in information between the hard copy of this Plan and the digital data provided, the hard copy shall be taken to be correct. Any information taken from digital data shall be confirmed by information shown on the hard copy of this plan.
  - 6) Property lines derived from Land Titles Office records and field ties.
  - 7) Trees are represented using a standard size symbol. This symbol does not represent the true size of the tree on the site.



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Date	Description
2025-01-20	Re-submission
2024-06-28	DP Application



Project Title  
**MULTI FAMILY DEVELOPMENT**

Project Address  
**10506,16 & 26 140 Street,  
 Surrey,  
 British Columbia**

Drawn By \_\_\_\_\_ Date 2024-05-10  
 Checked By \_\_\_\_\_ Project # 3189

Sheet Title  
**TOPOG SURVEY**

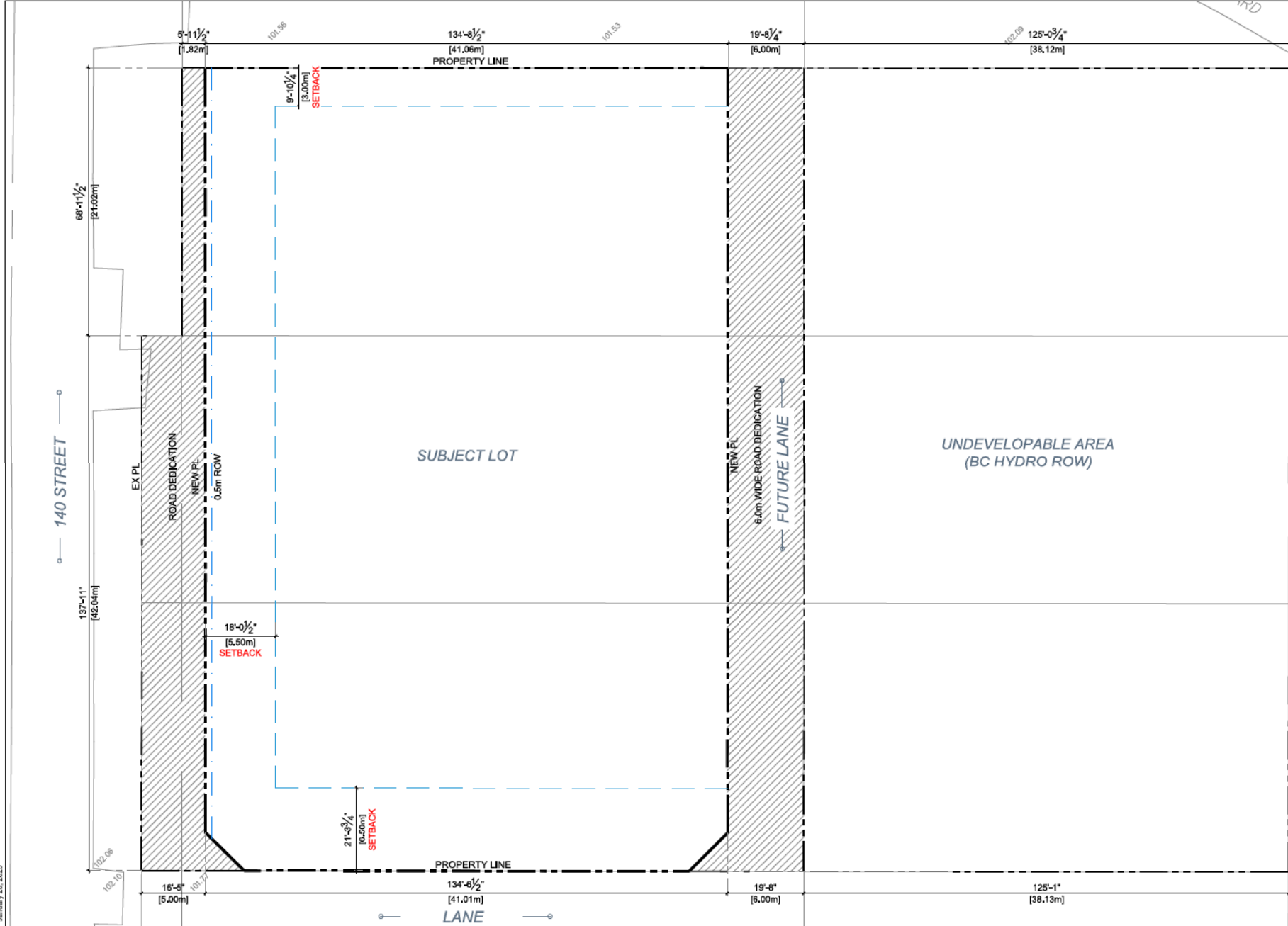
Scale  
 Sheet No.

**A-0.4**

This plan has been prepared in accordance with the Professional Reference Manual with additional specifications from our client and is certified correct this 9th day of May, 2024.  
 Sean Costello B.C.L.S. (900)

January 20, 2025

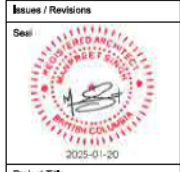
January 20, 2025



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2025-01-20	Re-submission
2024-08-28	OP Application
Date	Description



**Project Title:**  
MULTI FAMILY DEVELOPMENT

**Project Address:**  
10506, 16 & 26 140 Street,  
Surrey,  
British Columbia

Drawn By	Date
Checked By	Project ID
py	31899

Sheet Title:  
**BASE PLAN**

Scale:  
Sheet No.:

**A-0.5**

102.91

102.67

FAR (ON NET)	2.25
NO. OF STOREYS	6 STOREYS
NO. OF UNITS	32 DWELLING UNITS
NO. OF PARKING STALLS	38 PARKING STALLS @ PARADE LVL-1 & 2
GROSS FLOOR AREA	
MAIN FLOOR AREA	2720 SQFT
2nd TO 6th FLOOR AREA	17953 SQFT



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Date	Description
2025-01-20	Re-submission
2024-08-28	DP Application



Project Title:  
**MULTI FAMILY DEVELOPMENT**

Project Address:  
**10506, 16 & 26 140 Street, Surrey, British Columbia**

Drawn By: [Name] Date: 2025-01-20  
Checked By: [Name] Project #: 3189

Sheet Title:  
**CONTEXT PLAN**

Scale:  
Sheet No.:

**A-0.6**



January 20, 2025

140 STREET



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EX PL

Date	Description
2025-01-20	Re-submission
2024-08-28	DP Application

Issues / Revisions

Seal

**Project Title:**  
MULTI FAMILY DEVELOPMENT

**Project Address:**  
10506, 16 & 26 140 Street,  
Surrey,  
British Columbia

Drawn By	Date
Checked By	Project #
PV	3589

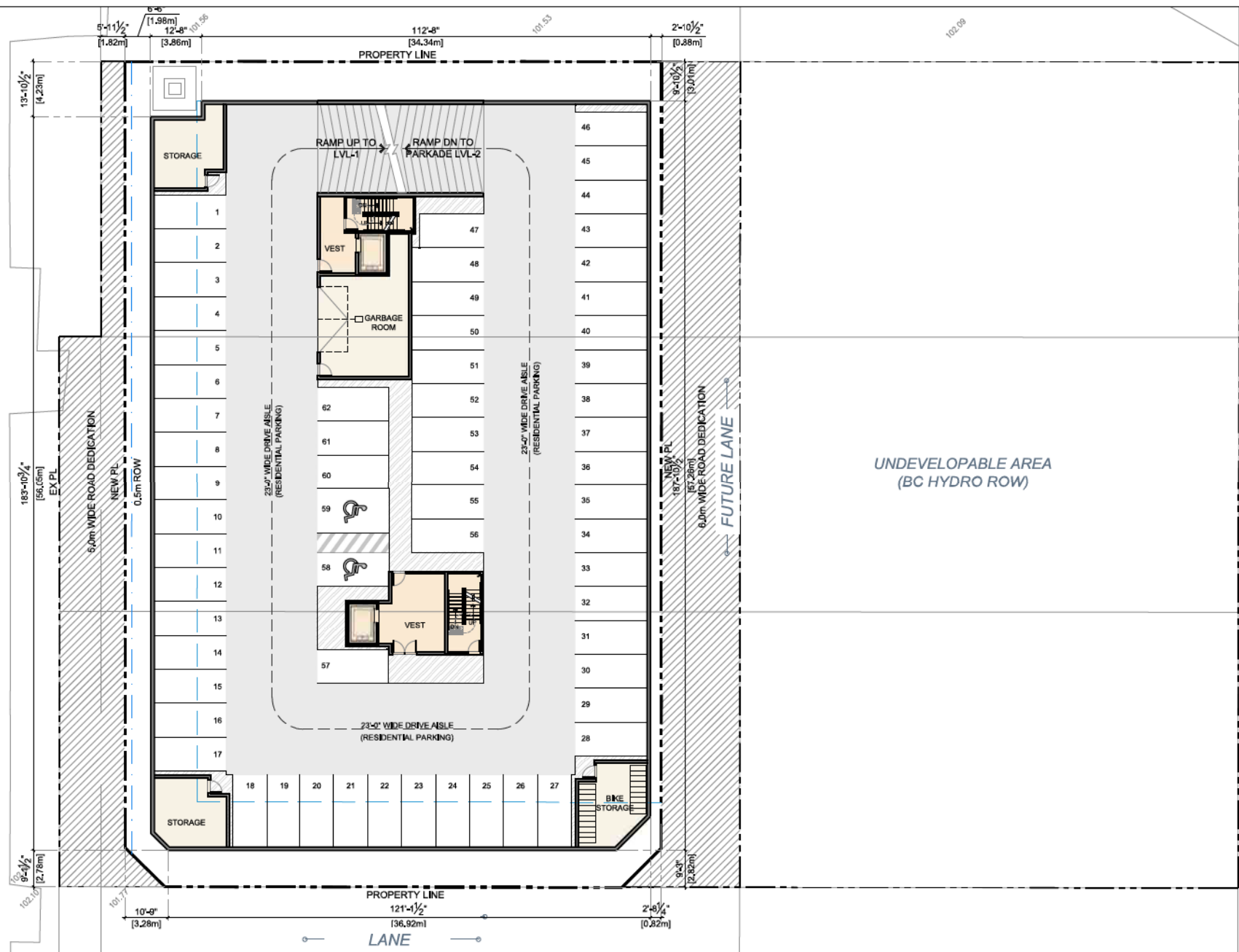
**Sheet Title:**  
BASE PLAN

Scale

Sheet No.  
**A-1.0**

January 20, 2025

140 STREET



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Date	Description
2025-01-20	Re-submission
2024-08-28	DP Application

**Issues / Revisions**

Seal

2025-01-20

**Project Title:**  
MULTI FAMILY DEVELOPMENT

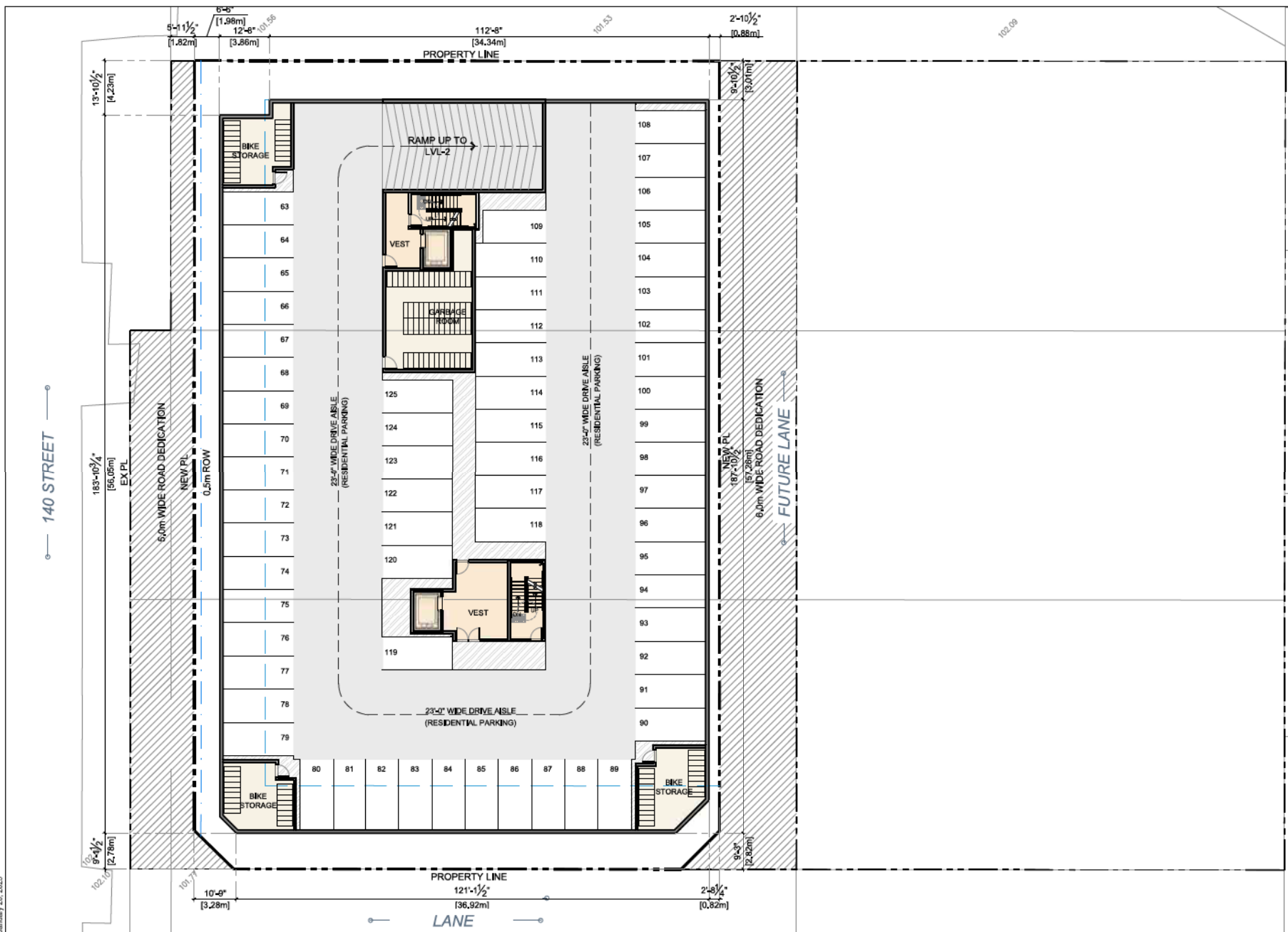
**Project Address:**  
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Checked By	Project #
Project #	3589

**Sheet Title:**  
PARKADE LVL-1

**Scale:**

**Sheet No.:**  
A-2.0



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Date	Description
2025-01-20	Re-submission
2024-08-28	DP Application

**Issues / Revisions**



**Project Title:**  
MULTI FAMILY DEVELOPMENT

**Project Address:**  
10506, 16 & 26 140 Street,  
Surrey,  
British Columbia

Drawn By	Date
Checked By	Project #
Project #	35,859

**Sheet Title:**  
PARKADE LVL-2

**Scale:**

**Sheet No.:**  
A-2.1

102.67

102.91

January 20, 2025

140 STREET



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Date	Description
2025-01-20	Re-submission
2024-08-28	DP Application

Issues / Revisions



**Project Title:**  
MULTI FAMILY DEVELOPMENT

**Project Address:**  
10506,16 & 26 140 Street,  
Surrey,  
British Columbia

Drawn By	Date
Checked By	Project ID
pv	35,899

**Sheet Title:**  
SECOND-FOURTH FLOOR PLAN

Scale:

Sheet No.  
**A-2.2**

January 20, 2025

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2025-01-20	Re-submission
2024-08-28	DP Application



**Project Title:**  
MULTI FAMILY DEVELOPMENT

**Project Address:**  
10506, 16 & 26 140 Street,  
Surrey,  
British Columbia

**Drawn By:** Date: 2024-05-10  
**Checked By:** PV Project ID: 3589

**Sheet Title:**  
FIFTH FLOOR PLAN

**Scale:**  
**Sheet No.:**

**A-2.3**

102.87

102.81

140 STREET

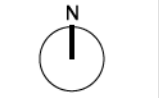


EX PL 102.87

EX PL 102.91



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Date	Description
2025-01-20	Re-submission
2024-08-28	DP Application



**Project Title:**  
MULTI FAMILY DEVELOPMENT

**Project Address:**  
10506, 16 & 26 140 Street,  
Surrey,  
British Columbia

Drawn By	Date
Checked By	Project ID

**Sheet Title:**  
SIXTH FLOOR PLAN

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**A-2.4**

### 3.2.4 LOW TO MID RISE DESIGNATIONS

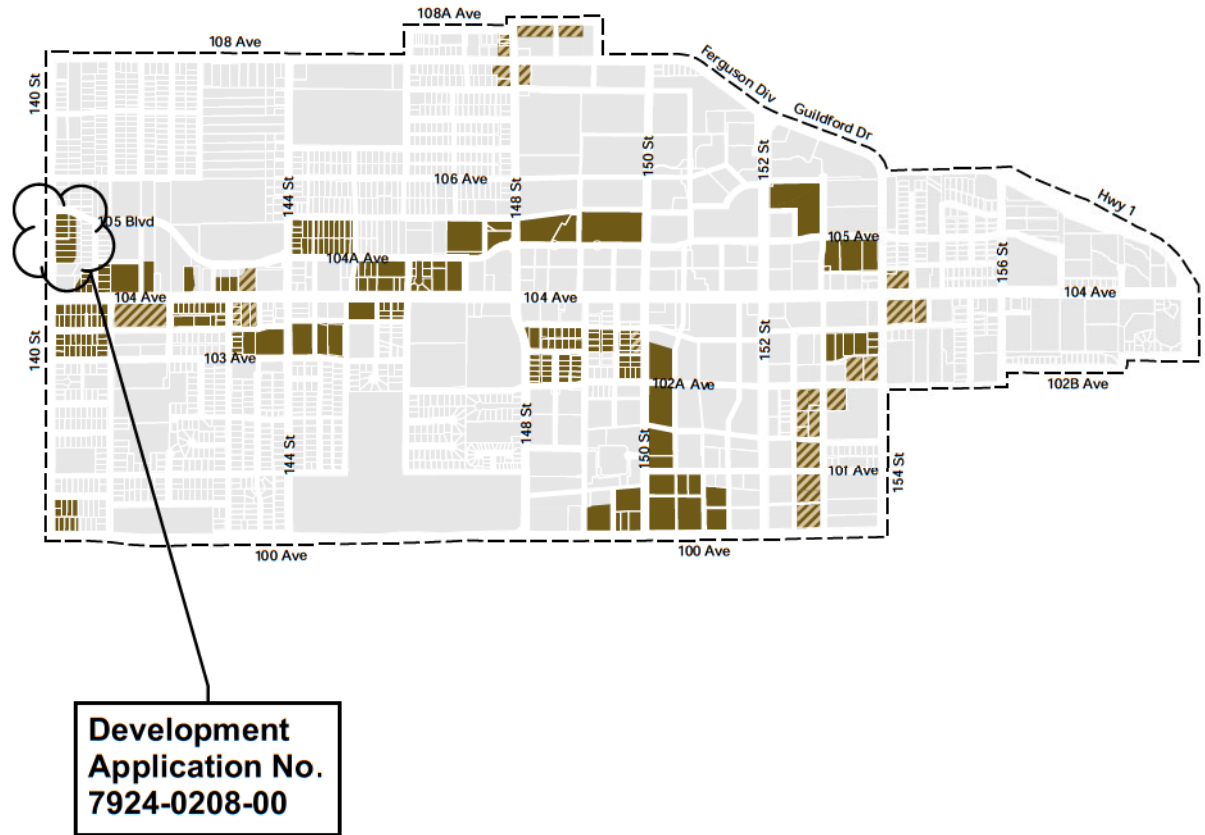
The **Low to Mid Rise Mixed-Use** designation is found at the periphery of mixed-use areas in the town centre, Hawthorne Village and Riverside Heights. As part of the transition from tower to ground-oriented development, it provides an intermediate height and density. The **Low to Mid Rise Residential** designation is found along the future rapid transit corridor on 104 Avenue as well as within residential portions of the town centre that are expected to redevelop. It establishes a baseline transit-supportive density for town centre and FTDA locations that are not otherwise subject to higher densities. Both designations are primarily limited to arterial and collector roads.

#### INTENT

The intent of these designations is low to mid rise development generally up to six storeys, with height transitions down to lower-scale interfaces. **Mixed-use** developments are required to provide active street-level retail or service uses. Residential or office use is permitted above the ground floor.

**Residential** developments are required to provide ground-oriented units with front door access to the public realm. Along 100 Avenue, 104 Avenue, and 152 Street, two-storey townhouse units are required at the base to support liveability adjacent to a high traffic arterial road. Limited street-level retail or service uses may also be provided along arterial or collector roads, subject to an appropriate interface with neighbouring developments.

Figure 3.5: Low to Mid Rise Areas



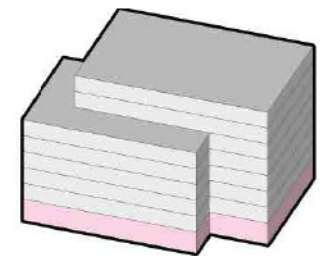
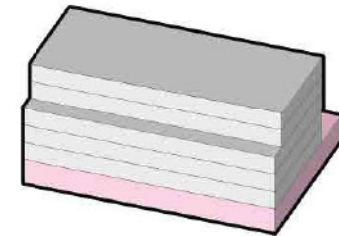
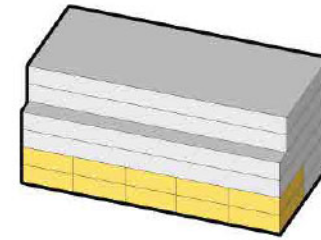
## DEVELOPMENT PARAMETERS

<b>Density</b>	Up to 2.25 FAR*
<b>Building Height</b>	Up to 6 storeys (up to 8 storeys adjacent to mid/high rise or on constrained sites†)*
<b>Building Depth</b>	Maximum 20 metres for residential; additional depth permitted for commercial/office
<b>Building Separation</b>	Minimum 20 metres face-to-face, 12 metres end-to-face, 9 metres end-to-end
<b>Parking</b>	Underground only
<b>Unit Mix</b>	Minimum 30% of units have 2+ bedrooms, 10% 3+ bedrooms
<b>Interfaces</b>	Refer to Figure 4.6: Public Realm Interfaces
<b>Additional Guidelines/Policies</b>	See Section 4: Urban Design, Section 5: Housing, and Section 10: Plan Implementation

*\*Not all sites or properties will be able to achieve the specified density and height due to site constraints and context.*

*†Sites with significant road or riparian dedications or significant plaza requirements where base density cannot be accommodated within 6 storeys. The form requires terracing and step-backs to fit among 4-6 storey buildings.*

## LOW TO MID RISE MASSING EXAMPLES



### LEGEND

- Commercial
- Townhouse

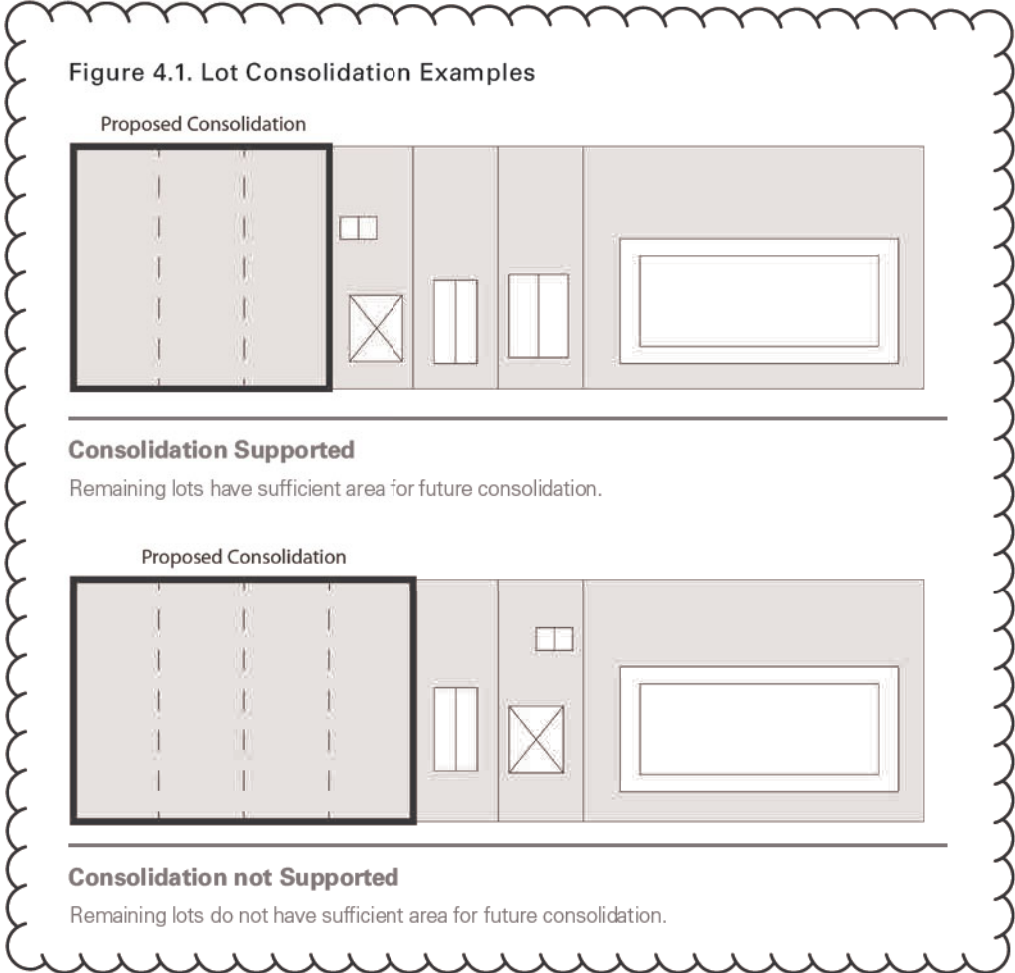


### 4.1.3 EVOLVING NEIGHBOURHOODS

The Plan Area will grow and evolve, making neighbours out of new and long-time residents. It is important that new development is compatible with the existing context and complements established neighbourhoods. Going further, new development will contribute to the enhancement of the neighbourhood by bringing streetscape improvements, expanded access to daily needs, and new amenities, while allowing for the evolution of existing character in an authentic way.

1. Create compatibility and appropriate transitions between new buildings and the existing architectural context by moderating building form. A gradual transition should be achieved at the interface line.
2. Minimize privacy and livability impacts through sensitive site and building design.
3. Use site topography, shape, vegetation, and structures to achieve a successful fit with adjacent properties.
4. In higher density areas, consider compatible podium heights to create a balanced street wall and similarity across streets. Upper floors should be stepped back for podiums and low rise buildings that are more than two storeys taller than neighbouring buildings to avoid abrupt changes to the street wall.
5. In existing neighbourhoods with a well-defined architectural character, site and design new structures to complement the architectural style and siting patterns of existing buildings.
6. Consider access to sunlight and minimize shadowing on adjacent sites.

7. Consider the future development of neighbouring lots by analyzing the lot consolidation pattern and development potential of adjacent properties (see Figure 4.1).



# 10.3 Development Policies

In addition to the policies outlined in all preceding sections of this document, the following requirements and interpretations apply.

## Gross Density

The OCP specifies that within selected areas, densities expressed in terms of Floor Area Ratio (FAR) are calculated on a gross site basis. Selected areas include Urban Centres, Frequent Transit Development Areas, and other areas as specifically noted within an approved secondary plan. It is the intent of the Guildford Plan that gross density applies throughout the Plan Area.

Gross site area includes any dedications for road or other public purposes, conveyed to the City at no cost. Undevelopable areas, such as utility corridors and the portion of riparian setback areas up to five metres inland from the top of bank, are excluded from the gross site area. Other excluded areas include lands purchased by the City and lands conveyed to the City to offset community amenity contributions.

Gross density transfer for parkland dedications will be reviewed on a case-by-case basis in order to maintain a built form that is compatible with neighbouring sites.

## Density Bonus

The Zoning Bylaw establishes the mechanism by which a development can access additional density, namely through the payment of a community amenity contribution (see Section 10.4.1: Citywide CACs). However, it does not establish criteria around when additional density is supported. Without limiting the discretion of Council, a density bonus can be supported where the additional density allows a development to better meet the objectives set out in this Plan (or other priorities established by Council), without significant changes to built form. Of particular importance is the inclusion of rental and/or affordable housing as outlined in the Section 5: Housing.

## Lot Consolidation

Lot consolidation may be required to prevent the creation of remnant parcels that cannot be developed to the intended land use designation. It also ensures equitable distribution of road dedications and construction costs across properties, and in some cases ensure development does not adversely impact existing residents.

If land consolidation is determined to be unfeasible, the developer must:

- Demonstrate, to the satisfaction of the City, that the development potential of any excluded properties is not compromised; and
- Share any required road construction costs among properties shown in the land consolidation area.

In all cases of infill development, the developer must provide a concept plan for adjacent properties to prove excluded properties remain developable.

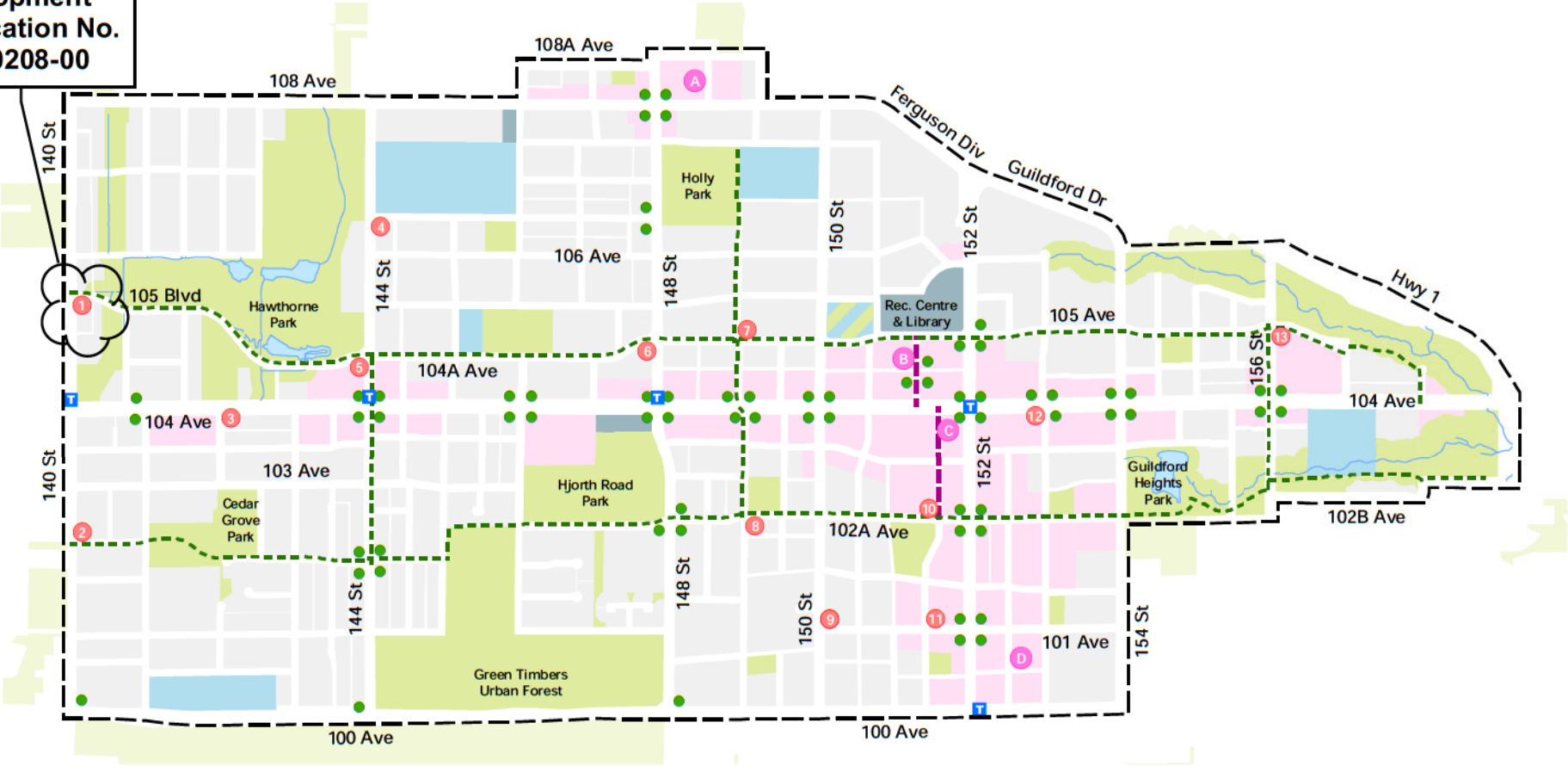
## New Roads and Road Widening

Dedications are required throughout much of the Plan Area to provide new road connections, as identified in Figure 6.1: Road Network. New connections will generally be delivered through development, with sites on either side of the road sharing the responsibility of providing the dedication. Dedications may also be required for the widening of existing roads to current standards. Unless previously provided (or otherwise stated), dedications will be required from development on both sides of the road.

New pedestrian connections identified in the Plan Area will be achieved either through dedication, as dictated by engineering requirements, or as publicly accessible open space on private property.

Figure 4.9: Landmark, Standard, and Guildford Green Corner Plaza Locations

Development Application No. 7924-0208-00



**LEGEND**

- Landmark Plaza
- Standard Plaza
- Guildford Green Corners
- Potential Transit Station
- Green Connectors
- High Street
- Commercial or Mixed Use
- Parks and Open Space
- School
- Civic or Institutional

## Standard Plazas

Standard plazas are urban in character but provide enhanced landscaping. Up to 500 square metres in size, their shape and location are flexible and depend on context. Standard plazas will accommodate seating, wayfinding, urban landscaping including trees, drinking fountains, bike racks, and waste receptacles. Standard plazas should be designed with some overhead weather protection such as canopies, awnings, shelters, and glazed trellises.

- Standard Plaza 1 (SE corner of 140 Street & 105 Boulevard) will mark entrance into the Hawthorne District and will provide open views into Hawthorne Rotary Park. Minimum size: 100 square metres.
- Standard Plaza 2 (NE or SE corner of 140 Street & 102A Avenue) will mark entrance into the Hawthorne District and will be located at the first corner to develop. It will provide wayfinding to Cedar Grove Park. Minimum size: 100 square metres.
- Standard Plaza 3 (SE corner of 142 Street & 104 Avenue) will be opposite the southern entrance to Hawthorne Rotary Park. Minimum size: 100 square metres.
- Standard Plaza 4 (SE corner of 144 Street & 106A Avenue) will be across from Mary Jane Shannon Elementary School and near the northern entrance into Hawthorne Rotary Park. Minimum size: 100 square metres.
- Standard Plaza 5 (SW corner of 144 Street & 105 Boulevard) will be opposite the main entrance to Hawthorne Rotary Park and will interface with active commercial frontages. Minimum size: 500 square metres.
- Standard Plaza 6 (SW corner of 148 Street & 104A Avenue) will be located at the intersection of major east-west and north-south active transportation routes. A Metro Vancouver water valve chamber may be required on this corner. The size of the plaza should enable provision of trees, planting and seating. Minimum size: 250-350 square metres.
- Standard Plaza 7 (NE corner of 149 Street & 105 Avenue) will be at the intersection of two green connectors. It will act as a neighbourhood gathering place and provide creative seating and signature tree planting. Minimum size: 200 square metres.
- Standard Plaza 8 (149 Street & 102A Avenue) will be located at any corner opposite the future park and near the intersection of two green connectors. It will provide a shade tree and various sensory plantings. Minimum size: 200 square metres.
- Standard Plaza 9 (NE corner of 150 Street & 101 Avenue) will be at the intersection of two bike routes and will provide an opportunity for tree retention. A drinking fountain will be provided. Minimum size: 150 square metres.
- Standard Plaza 10 (NW corner of 151A Street & 102A Avenue) will be diagonally across from the future town centre park and at the southern end of the high street. Minimum size: 500 square metres.
- Standard Plaza 11 (NE corner of 151A Street & 101 Avenue) will be located to take advantage of southern sun exposure and to be close to active commercial frontages. Minimum size: 300 square metres.
- Standard Plaza 12 (SW corner of 153 Street & 104 Avenue) will allow for the retention and enjoyment of the Heritage Inventory-listed flagpole. Incorporate Guildford Green Corner elements as appropriate to design. Minimum size: 500 square metres.
- Standard Plaza 13 (SE corner of 156 Street & 105 Avenue) will mark the entrance into the Headwaters District. It will be located at the intersection of major north-south and east-west active transportation routes and adjacent to a large commercial node. Minimum size: 500 square metres.