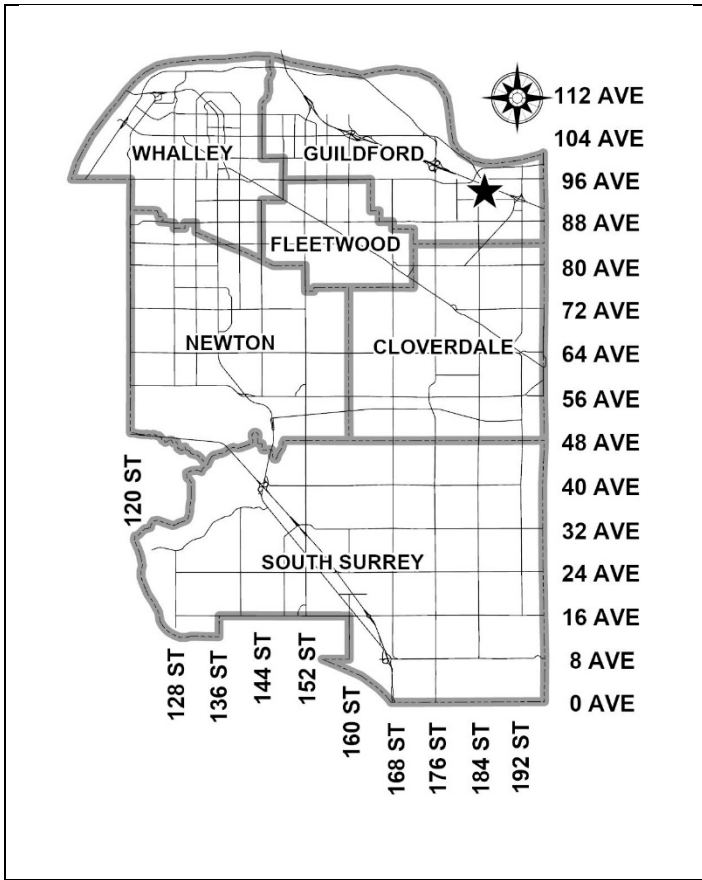


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7924-0289-00

Planning Report Date: February 10, 2025



PROPOSAL:

- **Development Permit** for sensitive Ecosystems (Streamside and Green Infrastructure)
- **Temporary Use Permit**

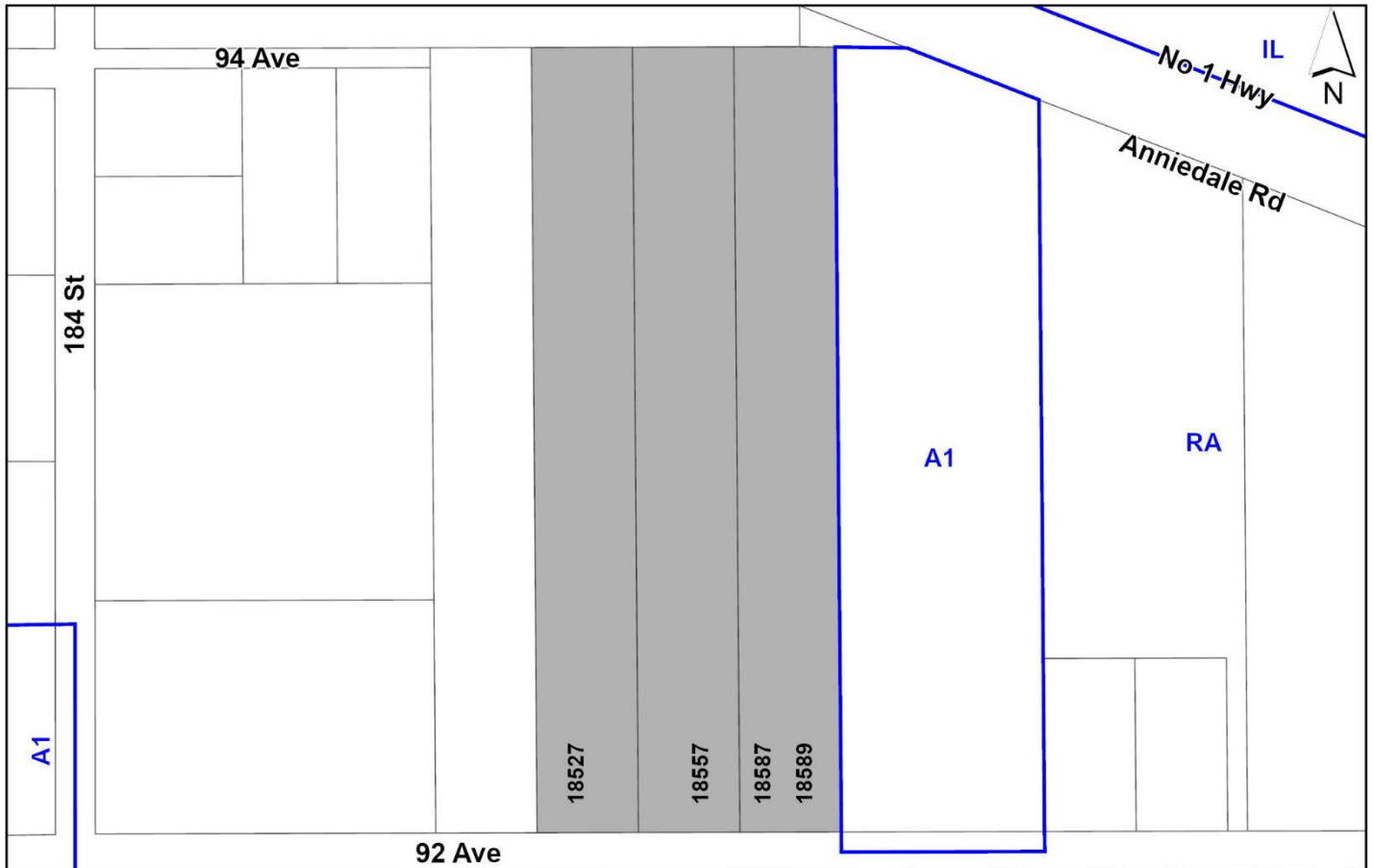
to permit the storage of steel (including pipes, rebar and beams) as well as the parking of approximately 12 oversized trucks and trailers for a period not to exceed three years.

LOCATION: 18589 - 92 Avenue
(18587 - 92 Avenue)
18557 - 92 Avenue
18527 - 92 Avenue

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Industrial Business Park, Landscape Buffer, Natural Areas and Road



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit (TUP) to proceed to Public Notification.
- Approval to draft Development Permit for Sensitive Ecosystems.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to temporarily use the subject site for outside storage of steel (including pipes, rebar and beams) and truck parking to move those products, which are uses that are not permitted in the Acreage Residential Zone (RA).

RATIONALE OF RECOMMENDATION

- The proposal complies with the Industrial Business Park designation in the Annedale-Tynehead Neighbourhood Concept Plan (NCP).
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas).
- The riparian area will be protected through the registration of a combined Restrictive Covenant/Right-of-Way against the property to ensure safeguarding and maintenance of the Protection Area in perpetuity.
- The proposed outside storage use will allow an authorized, interim use of the land until it is economically viable for redevelopment.
- The applicant has committed to completing all required road pavement widening and upgrades along 92 Avenue to 180 Street (approximately 1.1 km) to provide truck access (7.0 metres pavement) as a condition of TUP issuance.
- The proposal will assist in providing increased industrial lands for needed temporary outdoor storage in the City.
- The limitation of truck parking to those vehicles directly related to the storage use will minimize any unnecessary traffic or disruption along 92 Avenue.
- The site has existing intermittent tree buffers along the north (Highway 1) which the applicant proposes to supplement with additional tree planting and fencing to screen the use from Highway No. 1. The applicant proposes to plant a 15 metre buffer along 92 Avenue.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 7924-0289-00 (Appendix IV) to proceed to Public Notification.
2. Council authorize staff to draft Development Permit No. 7924-0289-00 for Sensitive Ecosystems (Streamside and Green Infrastructure) generally in-accordance with Appendix I.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) completion of required road pavement widening and upgrades along 92 Avenue, from the subject site to 180 Street to provide truck access (7.0 metres pavement width);
 - (c) registration of a Section 219 Restrictive Covenant to restrict access from 92 Avenue to left-in and right-out;
 - (d) submission of a finalized landscaping and fencing plan and landscaping and fencing cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) installation and subsequent inspection and approval of all required landscape screening and fencing works along all sides of the property, to the satisfaction of the General Manager, Planning & Development;
 - (g) submission of financial securities to ensure that landscaping and fencing is maintained over the course of the Temporary Use Permit, to the satisfaction of the General Manager, Planning & Development;
 - (h) Input from the Ministry of Transportation & Infrastructure;
 - (i) the applicant to undertake the necessary work and obtain permits, as required, for the proposed use of the residential building on the site for office space and washroom facility purposes;
 - (j) Submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
 - (k) registration of a combined Statutory Right-of-Way / Section 219 Restrictive Covenant over the designated Streamside Protection Area for both “No Build” and conveyance access; and

- (l) a fire safety plan will need to adequately address access, storage, any buildings on site (with fire protection details) and any hazards and ensure the site meets the BC Building Code for access and signage.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Heavily treed lots with the existing homes to be demolished.	Industrial Business Park	RA
North:	Single family dwelling on heavily treed acreage and small vacant triangular lot.	Natural Areas and Industrial Business Park	RA
East:	Single family dwelling on large well treed lot.	Industrial Business Park	A1
South (Across 92 Avenue):	Single family dwellings.	Townhouse, Industrial Business Park and Natural Areas	RA
West:	Single family dwelling on heavily treed acreage.	Industrial Business Park and Neighbourhood Commercial	RA

Context & Background

- The 6.1-hectare subject site is located on three lots at 18527, 18557 and 18589 - 92 Avenue in Anniedale-Tynehead. The properties are zoned Acreage Residential Zone (RA) and are designated Industrial Business Park, Landscape Buffer, Natural Areas and Road in the Anniedale-Tynehead Neighbourhood Concept Plan (NCP) and designated "Urban" in the Official Community Plan (OCP).
- The properties are heavily treed. In total there are two older single family homes and some out buildings near the frontage along 92 Avenue. The applicant proposes to retain one of the buildings.
- The Planning & Development Department has received various proposals and inquiries for temporary truck parking and outdoor storage over the past few years in this area of Anniedale-Tynehead. Most of these proposals and inquiries have not been supported by staff as the existing road network is not conducive to truck traffic and the upgrade costs were seen as prohibitive for a temporary use proposal.
- The subject proposal includes a commitment and requirement to undertake the necessary road improvements to accommodate truck traffic as a condition of TUP issuance.

DEVELOPMENT PROPOSAL

Planning Considerations

- The subject application is for a Temporary Use Permit (TUP) to allow the storage of steel (including pipes, rebar and beams), the parking of associated vehicles that exceed 5,000 kilograms (11,000 lbs.) G.V.W. mid-sized forklifts and the use of the existing house as an office and washroom facility for a period of three years.
- The proposed 3-year TUP will be valid from the date of approval, if supported. A TUP can be extended only once for a further maximum 3-year period subject to Council approval. The applicant is aware of this timeline and has indicated that their plan is to redevelop the property in accordance with the Anniedale-Tynehead NCP within six years.
- The applicant has provided a site and landscape plan for the steel storage and truck parking proposal that includes the following:
 - parking spaces for approximately 4 oversized trucks and trailers;
 - an 11-metre wide drive aisle located at the southeast corner of the site onto 92 Avenue;
 - retain the existing home in the southeast corner of the site as an office space and washroom facilities for the proposed temporary use;
 - landscape screening and fencing to complement existing trees along the north and south of the site to screen from Highway No. 1 and 92 Avenue;
 - a 15-metre wide buffer increasing to 30 metre in the northeast along Highway No. 1 and a 15-metre wide landscape buffer along 92 Avenue;
 - passenger vehicle parking for approximately 5 vehicles in the southeast corner of the site; and
 - a large detention pond is located in the northeast corner of the site that will assist with site drainage.
- The applicant does not propose any changes to the site grading. According to the applicant, the site has a consistent +/-5% slope across the length of the site which the applicant states will work for storage and loading/unloading of steel products from trailers. The Temporary Use Permit document includes a copy of the grading and survey plan and will include clauses that grading will not be altered unless the appropriate permits/permissions are received from the city.
- Truck access will be from 92 Avenue along the southern side of the property. As noted above, the applicant is required to complete required road pavement widening and upgrades along 92 Avenue from 180 Street to provide truck access (7.0 metres pavement) for approximately 1,100 metres of road works. The applicant stated that on average, 5 trucks will access the site each day (Monday to Friday) between 8:00 AM and 5:00 PM. Mid-sized forklifts will be used on site to load the trucks.
- The applicant is proposing a passenger/staff vehicle parking area for approximately 5 vehicles.
- The applicant is proposing to erect an 8 ft. tall black powder coated chain link with privacy slats around the northern portion and south perimeter of the site to screen the use from existing residential properties and roads.

- The applicant has proposed substantial landscaping and fencing details to ensure appropriate buffering as a condition of TUP issuance should Council support the proposed temporary use. The landscaping and fencing will be required to be installed and inspected prior to TUP issuance and securities would be collected to ensure the landscaping and fencing is maintained over the course of the TUP.
- The proposed temporary steel storage and truck parking use will allow for the interim use of the land until it is economically viable for redevelopment.
- The proposed temporary truck parking and outside storage use will assist in providing much-needed authorized outside storage and truck parking spaces in the City.

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Fire:	A fire safety plan will need to address access, storage, any buildings on site (with fire protection details) and any hazards and ensure that site meets the BC Building Code for access and signage.
Parks, Recreation & Culture:	No trees or vegetation are to be removed from the road right-of-way without approval from Parks to do so.
Ministry of Transportation & Infrastructure (MOTI):	Comments from MOTI are pending. Any comments that are received will be addressed as a condition of TUP issuance.

Transportation Considerations

- As a condition of the TUP and Servicing Agreement, the road network must be upgraded to acceptable standards to access 180 Street from the subject site along 92 Avenue. The work is expected to be carried out by the subject application.
- The 92 Avenue entrance will be designed so trucks will not be able to turn left (to prevent driving east) when leaving the site. A left-in and right-out restrictive covenant will be registered on title.
- Truck access will be from 92 Avenue along the southern side of the property and the applicant will be required to pave a 20-metre driveway apron. The applicant is required to complete required road pavement widening and upgrades along 92 Avenue from 180 Street to provide truck access (7.0 metres pavement) for approximately 1,100 metres of road works. The applicant states that on average, 5 trucks will access the site each day (Monday to Friday) between 8:00 AM and 5:00 PM. Mid-sized forklifts will be used on site to load the trucks.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing channelized Class B (yellow-coded) watercourse which flows along 92 Avenue and a wetland located in the northeast corner of the site next to Highway No. 1. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a channelized Class B (yellow-coded) watercourse requires a minimum streamside setback of 15 metres, as measured from the top of bank and a wetland requires a 30-metre setback. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- The riparian areas will be protected through the registration of a combined Restrictive Covenant/Right-of-Way against the property to ensure safeguarding and maintenance of the Protection Area in perpetuity, in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Jordan Field, *R.P. Bio.*, of Aquaterra and dated January 23, 2025 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located in the southeast corner of the site. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The development proposal conserves/enhances approximately 6,450 square meters of the subject site through Registering a Restrictive Covenant which is approximately 11% of the total gross area of subject site. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- An Ecosystem Development Plan, prepared by Jordan Field, *R.P. Bio.*, of Aquaterra and dated January 23, 2025 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

POLICY & BY-LAW CONSIDERATIONS

Official Community Plan

Land Use Designation

- The subject site is designated as "Urban" in the OCP. The proposed interim use does not comply with the OCP designation, however, a TUP does not trigger a Plan amendment.

Secondary Plans

Land Use Designation

- The subject site is designated "Industrial Business Park" in the Anniedale-Tynehead Neighbourhood Concept Plan (NCP). The Industrial Business Park designation is intended for manufacturing, processing, warehousing, and distribution of goods in conjunction with Low-rise office and professional office park development.
- The proposed temporary use is considered supportable as it will allow an authorized, interim use of the land until it is economically viable for redevelopment in accordance with the Anniedale-Tynehead NCP.
- In addition, the temporary use will assist in providing much-needed authorized truck parking spaces and outdoor storage in the City.

PUBLIC ENGAGEMENT

- The subject development application was reviewed by the Anniedale Tynehead Community Association, which endorses the project and provided the following comments (*staff comments in italics*):
 - Proposed site plan and uses align with the Anniedale-Tynehead NCP.
(The proposes storage of steel is an industrial use which complies with the Industrial Business Park designation in the NCP.)
 - Proposed use serves a critical role in supporting regional industries.
(The lower mainland region is facing a critical shortage of industrial land and especially large industrial lots)
 - The limitation of truck parking to those vehicles directly related to the storage use will minimize any unnecessary traffic or disruption along 92 Avenue.
(Within Anniedale Tynehead, staff have been encouraging temporary uses that are not trip intensive such as truck parks. Staff anticipate other outdoor storage use applications on neighbouring lots.)

- Pre-notification letters were sent on January 9, 2025, and the Development Proposal Sign were installed on January 13, 2025. Staff received approximately 13 responses from neighbours opposed (*staff comments in italics*) as well as two letters in support:
 - Concerns with compliance to the Anniedale-Tynehead NCP.

(The subject site is designated “Industrial Business Park” in the Anniedale-Tynehead Neighbourhood Concept Plan (NCP). The Industrial Business Park designation is intended for manufacturing, processing, warehousing, and distribution of goods in conjunction with low-rise office and professional office park development.

The proposed outdoor storage use will allow for interim use of the land until it is economically viable for future redevelopment that is in accordance with the Anniedale-Tynehead NCP.)
 - The existing truck park to the east at 18715 – 92 Avenue (7923-0072-00) is unauthorized and has not received final approval.

(Although the subject site is proposing similar use to the neighbouring site, the ownership and tenants are different)
 - Concerns with grading on site and unauthorized grading and fill will be brought onto the site as allegedly occurred with the steel storage site at 18715 - 92 Avenue to the east (7923-0072-00).

(The applicant does not propose any changes to the site grading. The site has a consistent +/-5% slope across the length of the site which the applicant claims will work for storage and loading/unloading of steel products from trailers. The Temporary Use Permit document includes a copy of the grading and survey plan and will include clauses that grading will not be altered unless the appropriate permits are received from the city.)
 - Potential concerns with noise generated from the site.

(The applicant has provided a landscape buffer of 15 metres along 92 Avenue which is wider than the 10-metre wide buffer provided at 18715 - 92 Avenue to the east (7923-0072-00). Residential properties across 92 Avenue to the south are approximately 5 metres lower than the road which should buffer noise. Properties to the east and west are primarily vacant.)
 - Concerns with trucks lined up to access the existing steel storage site.

(The applicant anticipates, on average days, only one or two trucks will access the site and on busy days three to four trucks will access the site. The proposed use is primarily the storage of steel and it will be brought in and removed by trucks as needed.)
 - Concerns with trees potentially being removed prior to proper approvals.

(The applicant will be required to receive a tree cutting permit prior to the removal of any trees.)
 - Pavement width of 92 Avenue has not yet been widened but the neighbouring site at 18715 - 92 Avenue to the east (7923-0072-00) has been able to occupy and operate on the site.

(The applicant will not be allowed to occupy the site until a servicing agreement, which includes widening 92 Avenue, has been bonded for and issued.)

- Proposed steel storage and truck traffic will track more dirt and mud onto 92 Avenue from the subject site.

(The subject site will pave an approximate 20 metre length of driveway apron to reduce mud and dirt from being dragged on to 92 Avenue. Crushed rock in front of the access driveway will also provide assistance in the reduction of silt being tracked onto the City road. Street sweeping will be implemented as required and as per the ESC bylaw.)

- Potential increased air, ground water and noise pollution. The area is reliant on well water and there are concerns with contamination to the water.

(Truck repairs and oil changes will not be allowed on the subject site as a condition of the TUP. Staff acknowledge that there may be some off site impacts resulting from an increase in truck traffic.)

- Concerns that the 3-year temporary use will be permanent.

(If the proposed TUP is approved, the applicant will be able to apply for a single 3-year extension for a total of 6 years. After the 6 years, the applicant will be required to discontinue the temporary use.)

- The area is rural and suburban and not suitable for trucks to wind through the neighbourhood. The portion of 92 Avenue fronting the site and to the east is too narrow for trucks to operate safely.

(The applicant is proposing to upgrade roads to a minimum of 7 metres of pavement from the subject site to the intersection of 92 Avenue and 180 Street to support truck access and turning movements.)

- Concerns with truck accessing Harvie Road/192 Street to the east.

(All trucks will be accessing and leaving the site from the west. The entrance will be designed so trucks will not be able to turn left, to prevent driving east when leaving the site. A left-in and right-out restrictive covenant will be registered on title.)

- Proposed truck park is incompatible with the existing single-family dwellings in the area.

(The proposed temporary truck parking facility will allow an authorized, interim use of the land until it is economically viable for redevelopment in accordance with the Industrial Business Park designation in the Anniedale-Tynehead NCP.)

Staff received two letters of support from residents with the following comments:

- The existing truck park to the east at 19715 – 92 Avenue (7923-0072-00) has helped reduce criminal activity in the area.
- Proposed developments will provide additional industrial lands in Surrey.

TREES

- Francis Klimo, ISA Certified Arborist of Klimo and Associates Ltd. prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix III):

- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	99	98	1
Alder/Cottonwood (within riparian area)	8	0	8
Deciduous Trees	351	292	59
Coniferous Trees	227	200	27
Onsite Tree Totals	701	606	95
Onsite Replacement Trees Proposed	39		
Total Onsite Retained and Replacement Trees	338		

- The Arborist Assessment states that there are a total of 701 bylaw protected trees on the site. Additionally, there are 25 bylaw protected offsite trees and 16 bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain 95 onsite trees. The proposed tree retention was assessed taking into consideration the location of new storage areas, truck parking, detention pond and proposed lot grading. The applicant proposed to retain 25 offsite trees. 16 City trees are proposed for removal which will require Parks permission.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees, including those Alder and Cottonwood trees that are within a streamside protection area. This will require a proposed total of 1212 replacement trees on the site. Since the proposed 1212 replacement trees cannot be accommodated on the site, the proposed deficit of 39 replacement trees will require an estimated cash-in-lieu payment of \$618,750, representing \$41,250 per gross acre, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety including Green Pillar Oak and Grand Fir.
- In summary, a total of 134 trees are proposed to be retained or replaced on the site with an estimated contribution of \$618,750 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

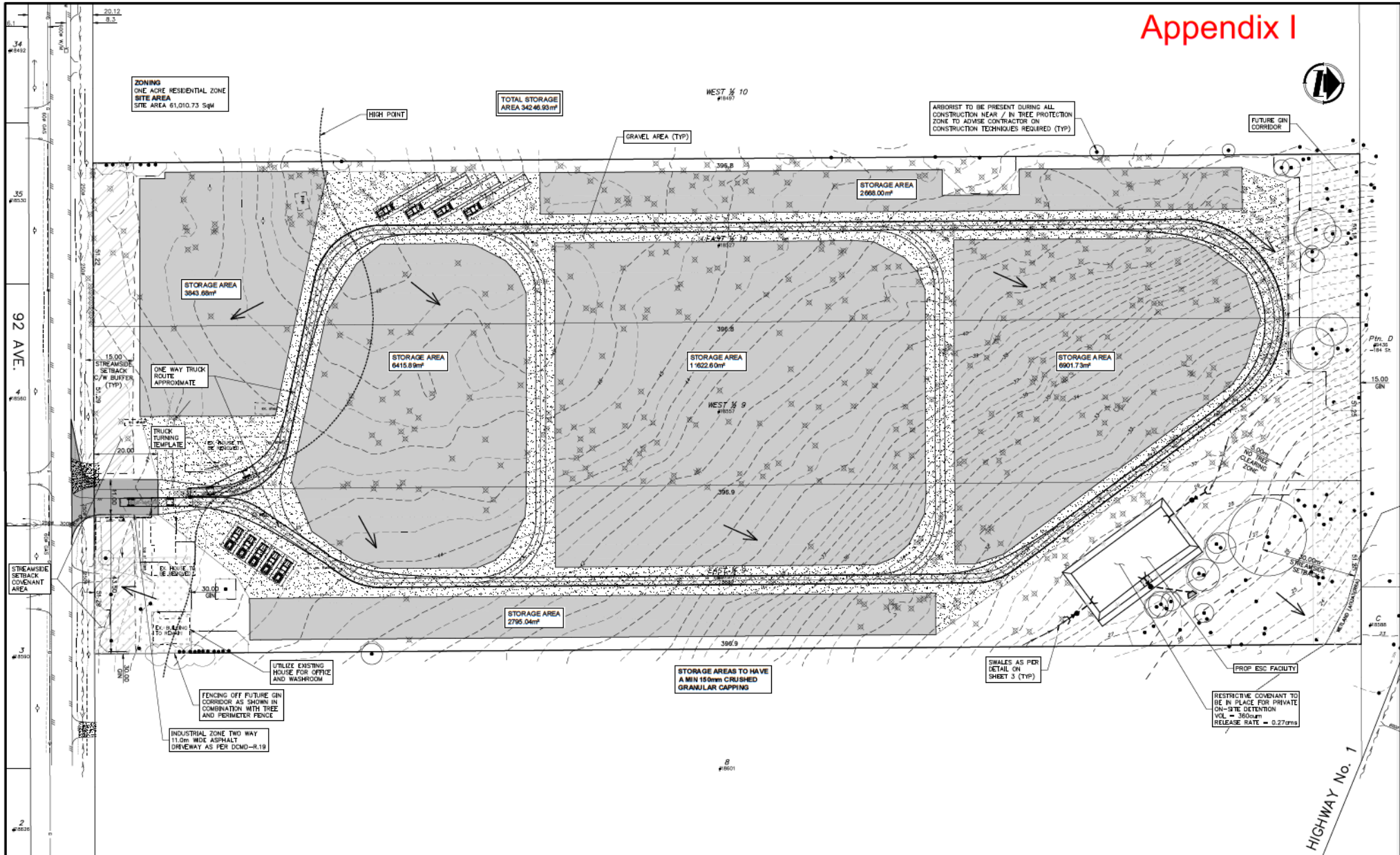
- Appendix I. Proposed Temporary Use Permit Layout, Site Plan and Landscape Plans
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Temporary Use Permit No. 7924-0289-00

approved by Shawn Low

Ron Gill
General Manager
Planning and Development

JKS/cb

Appendix I



WEST HALF OF LOT 8, EAST HALF OF LOT 9 AND EAST HALF OF LOT 10
ALL IN SECTION 33, TOWNSHIP 8, NEW WESTMINSTER DISTRICT, PLAN 7426

SURVEY REFERENCE COORDINATE SCALE 0.99987010
MON 5677 N 5446406.826 E 520940.382 ELEV 47.009m

NO.	DATE	REVISION	BY

CONSULTANT

Coastland
engineering & surveying inc.

#101, 19292 - 60 Avenue
Surrey, BC V3S 3M2
Phone: (604)532-9700
Fax: (604)532-9700

Permit to Practice No. 1001893

CITY OF SURREY

1163895 B.C. LTD.
PROJECT MANAGER:
TOM GILL 604-418-2217
18587 & 18589 - 92 Avenue, Surrey, B.C. V4N 3Z1
tomgill@coastlanddevelopments.com

KEY PLAN

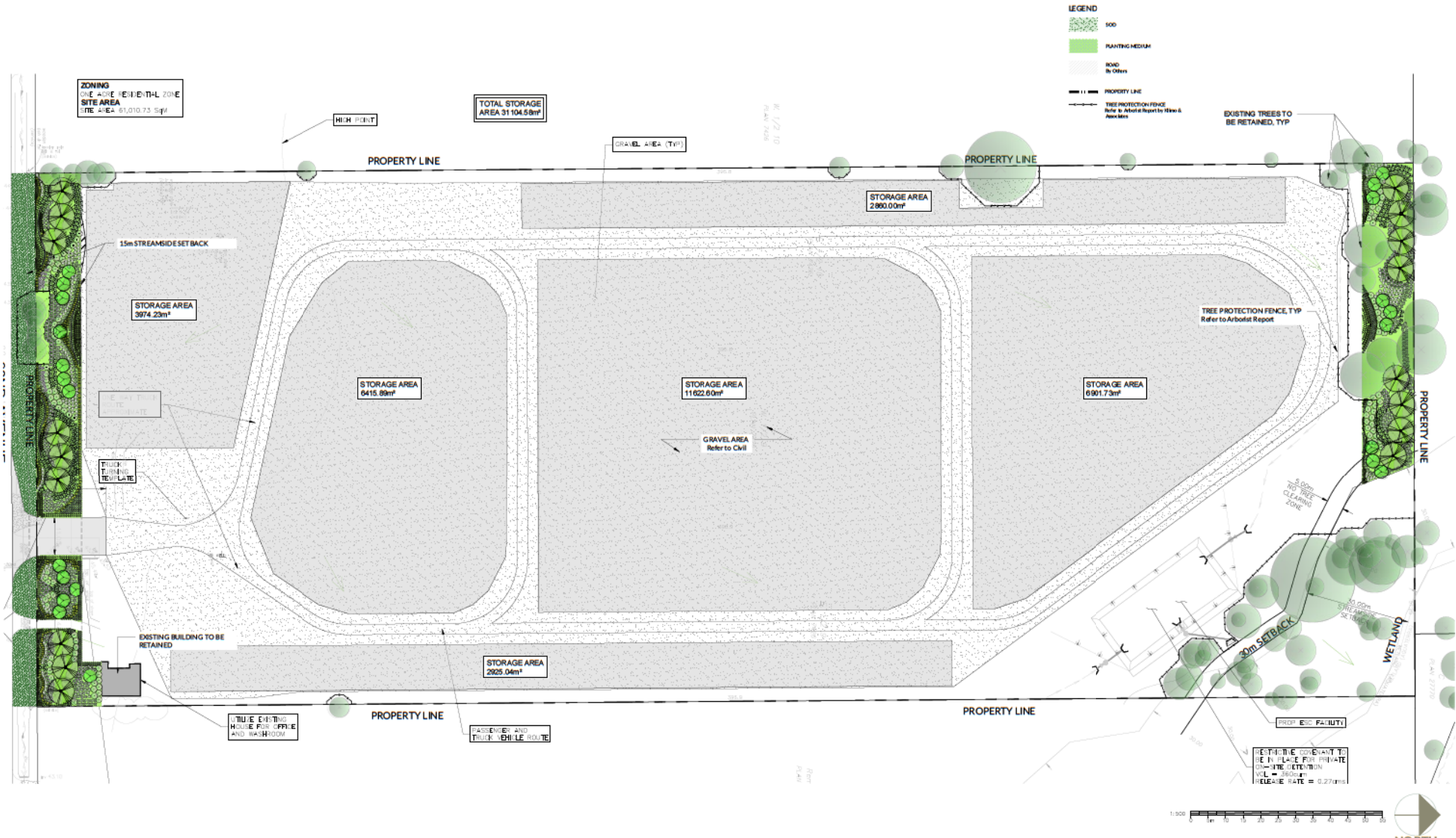
18527, 18557, & 18587 - 18589 92 AVENUE

SCALE 1:500	DATE (YYYY MM) 2024 AUGUST	SURREY PROJECT NUMBER 7824-0289-00
DESIGNED MEH	Coastland Project No. 2941	DRAWING TYPE KEY
DRAWN KSL	SHEET NO. OF 6 2	REV. 2
REVIEWED FRY		

SEAL

RESTRICTIVE COVENANT TO BE IN PLACE FOR PRIVATE ON-SITE DETENTION VOL = 3500m³ RELEASE RATE = 0.27cms

DETROY ALL PRINTS BEARING PREVIOUS NAMES



Project: 92nd AVE DEVELOPMENT Location: 18557 92nd AVE SURREY, BC	Drawn: MM Scale: 1:500	Approved: MM	Key Plan:	REVISIONS TABLE FOR D DRAWINGS		Drawing Title: LANDSCAPE PLAN Project #: C25-03	Drawing #: L-01
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ON CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MK DESIGN GROUP. NO PART OF THIS DRAWING OR ANY INFORMATION HEREON IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT WRITTEN PERMISSION BY MK DESIGN GROUP. DO NOT SCALE DRAWINGS. NOTICE OF CONSTRUCTION SHALL BE INDICATED FOR ALL DIMENSIONS.

PROFESSIONAL STAMP/SEAL

TO BE READ IN CONJUNCTION WITH THE PROJECT ARBOREST REPORT PREPARED BY KLIMO & ASSOCIATES DATED JAN 31, 2025

LEGEND

- 500
- PLANTING MEDIUM
- ROAD BY OTHERS
- PROPERTY LINE
- TREE PROTECTION FENCE Refer to Arborist Report for How & Location

ZONING
ONE ACRE RESIDENTIAL ZONE
SITE AREA
SITE AREA= 61,010.73 sqft

TOTAL STORAGE
AREA 31 104.58m²

HIGH POINT

GRAVEL AREA (TYP)

SOUTH

PROPERTY LINE

STORAGE AREA
2800.00m²

EXISTING TREES TO
BE RETAINED, TYP

15m STREAMSIDE SETBACK

STORAGE AREA
3974.23m²

TREE PROTECTION FENCE TYP
Refer to Arborist Report

STORAGE AREA
6415.89m²

STORAGE AREA
11622.60m²

STORAGE AREA
6901.73m²

GRAVEL AREA
Refer to Civil

PROPERTY LINE

TURF
TURNING
TELEPLATE

EXISTING BUILDING TO BE
RETAINED

STORAGE AREA
2025.04m²

TURF EXISTING
HOUSE FLOOR, UTILITY
AND WASHROOM

PROPERTY LINE

PARKING AND
TRUCK UNLOAD ROUTE

PROPERTY LINE

20m SETBACK

WETLAND

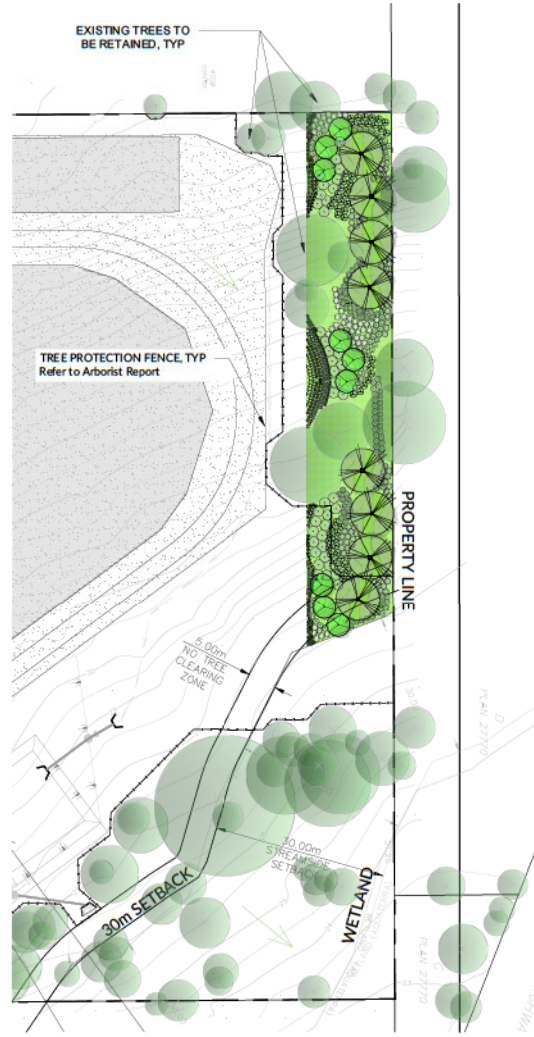
GROUP E-1 (UTILITY)

WETLAND CONSTRAINT TO
BE IN PLACE FOR PRIVATE
CIVIL ENGINEERING
W/L 10% BUFFER
RELEASE RATE = 0.27m/d



<p>Project: 92nd AVE DEVELOPMENT</p> <p>Location: 18557 92nd AVE SURREY, BC</p>	<p>Drawn: MM</p> <p>Scale: 1:500</p>	<p>Approved: MM</p>	<p>Key Plan:</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>By</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>MM</td> <td>Issued for TUP Re-submittal</td> <td>03/03/2025</td> </tr> <tr> <td>1</td> <td>MM</td> <td>Issued for TUP</td> <td>24/01/2025</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table> <p>REVISIONS TABLE FOR D DRAWINGS</p>	No.	By	Description	Date	2	MM	Issued for TUP Re-submittal	03/03/2025	1	MM	Issued for TUP	24/01/2025									<p>PROFESSIONAL STAMP/SEAL</p>	<p>DESIGN GROUP</p>	<p>Drawing Title: FENCING PLAN</p> <p>Project #: C25-03</p>	<p>Drawing #: L-02</p>
No.	By	Description	Date																									
2	MM	Issued for TUP Re-submittal	03/03/2025																									
1	MM	Issued for TUP	24/01/2025																									

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND MEASUREMENTS ARE THE SOLE PROPERTY OF MK DESIGN GROUP. REPRODUCTION OF ANY DIMENSIONS OR DRAWINGS ARE NOT PERMITTED WITHOUT WRITTEN PERMISSION BY MK DESIGN GROUP. DO NOT SCALE DRAWINGS. NOTICE: CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DRAWINGS.



LEGEND

- SOD
- PLANTING MEDIUM
- ROAD
By Others
- PROPERTY LINE
- TREE PROTECTION FENCE
Refer to Arborist Report by Howard
Arborists

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	22	Quercus alba 'Novebor'	Green Pin Oak	4m GA	A/ Stems	WB
CONIFEROUS TREES						
	17	Abies grandis	Grand Fir	3m H	A/ Stems	WB
SHRUBS						
	30	Rosa rugosa 'Zandor'	Cherry Hedge Rose	#3 Tc	1.0m	
	30	Myrica asplenifolia	Dwarf Myrica	#3 Tc	0.8m	
	25	Lonicera x 'Bella'	Red Hot Spice	#3 Tc	1.5m	
	20	Hydrangea 'Nancy's Jewel'	Hydrangea	#3 Tc	1.5m	
	30	Ericaceae 'Hortensia Ruby'	Winter Heath-Myrica Ruby	#3 Tc	0.6m	
	25	Cornus sericea 'Yuletide'	Shiny Spice Dogwood	#3 Tc	1.0m	
	14	Hamamelis virginiana	Hamamelis	#3 Tc	1.0m	
	10	Rhus typhina	Flame Tree	#3 Tc	1.0m	
PERENNIALS, GRASSES, AND GRASSES						
	77	Rudbeckia hirta	Black-eyed Susan	#3 Tc	0.6m	Planted
	17	Phlox subulata	Wine and Roses	#3 Tc	0.6m	Planted
	14	Salvia nemorosa	Blue Salvia	#3 Tc	0.6m	Planted
	25	Urtica dioica 'Coral Reef'	Coral Reef	#3 Tc	0.6m	Planted
	3	Conium maculatum	Conium	#3 Tc	0.6m	Planted



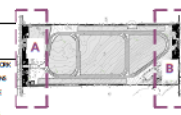
Project:
92nd AVE DEVELOPMENT

Location:
**18557 92nd AVE
SURREY, BC**

Drawn:
MM

Approved:
MM

Scale:
1:400



REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
01	MM	Issued for TYP Re-submittal	03/02/2025
02	MM	Issued for TYP	24/01/2025
03	MM	Issued for TYP	24/01/2025
04	MM	Issued for TYP	24/01/2025

PROFESSIONAL STAMP/SEAL

Drawing Title:
PLANTING PLAN

Project #:
C25-03

Drawing #:
L-03

GENERAL NOTES

- 1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
- 2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
- 3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- 4. CONFIRM MINORAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
- 5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- 6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTORS OWN EXPENSE.
- 7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
- 8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEEP FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.
- 9. SHOULD ANY DRAWING OR DETAIL CONFLICT WITH THE LANDSCAPE NOTES/MASTER SPECIFICATION FILE THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN TEAM FOR COORDINATION PRIOR TO ORDER, PREPARATION OR INSTALLATION OF SAID CONFLICTING WORKS (TYP).

PLANTING NOTES

- 1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS. ANY DISCREPANCY BETWEEN QUANTITIES LISTED IN THE PLANT LIST AND ON THE DRAWINGS, QUANTITIES FROM THE DRAWING SHALL PREVAIL.
- 2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
- 3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
- 4. **TREE PROTECTION**, PER THE MUNICIPAL DETAIL IF REQUIRED.
- 5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.

- 6. SOIL DEPTH IN ALL PLANTING AREAS TO BE A MINIMUM OF 400mm AND A MINIMUM OF 900mm IN PLANTING BEDS WITH TREES.
- 7. THE LANDSCAPE CONTRACTOR MUST SUBMIT A SOIL REPORT/TEST REPORT TO THAT SHOWS THAT GROWING MEDIUMS COMPLY WITH THE STANDARDS IDENTIFIED IN THE CANADIAN LANDSCAPE STANDARDS LATEST EDITION FOR LEVEL 1, WELL-GROOMED LANDSCAPE AND ARE WITHIN 30 MONTHS OF GROWING MEDIUM REPLACEMENT.
- 8. THE GENERAL CONTRACTOR SHALL PAY FOR A MINIMUM TWO (2) RANDOM TESTS WILL BE PERFORMED DURING THE COURSE OF CONSTRUCTION TO CONFIRM THAT THE GROWING MEDIUM BEING INSTALLED ON SITE MATCHES THE TEST APPROVED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT WILL NOTIFY THE GENERAL CONTRACTOR OF WHICH SAID TESTS WILL OCCUR AND SOIL SAMPLES SHOULD BE MAILED OUT WITHIN 48 HOURS OF THIS NOTICE. FAILURE TO HAVE SOIL MATCH APPROVED MATERIAL COULD RESULT IN REMOVAL, AMENDMENT OR REINSTALLATION OF APPROPRIATE MATERIAL AT THE CONTRACTORS EXPENSE. SOIL TESTS SHOULD BE SENT TO PACIFIC SOIL ANALYSIS INCORPORATED OR APPROVED EQUAL TESTING CENTER.

PACIFIC SOIL ANALYSIS INC.
SUITE 5-11720 VOYAGER WAY, RICHMOND, BC V6X3J9
TEL:PHONE 604 273 8226

- 9. ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL. MULCH TO BE NON-TOXIC AND COMPLY TO THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD.
- 10. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
- 11. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (ISA) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.

- 12. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL DEFINED UNDER THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. THIS SHOULD BE COMPLIANT WITH "LEVEL 1, WELL-GROOMED LANDSCAPE". THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTORS OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
- 12.1. REGULAR SCHEDULE OF WATERING OF THE PLANTS AS REQUIRED AND/OR AS DIRECTED BY THE PROJECT MANAGER DURING CONSTRUCTION AND THE WARRANTY PERIOD. PLANTS SHALL BE WATERED WITHIN 48 HOURS OF WRITTEN REQUEST BY THE OWNER OR OWNERS REPRESENTATIVE. FAILURE TO DO SO AFTER THE REQUEST SHALL RESULT IN THE WORK BEING UNDERTAKEN BY OTHERS. THE COST OF THIS WORK SHALL BE DEDUCTED FROM THE TOTAL CONTRACT PRICE OR HOLDBACK AND OTHERWISE RECOVERED FROM THE CONTRACTOR.

12.2. MAINTENANCE AND ADDITIONAL INSTALLATION OF MULCH

12.3. WEED REMOVAL

12.4. DISEASE CONTROL

MINIMUM TREE PLANTING CLEARANCES

- 1. TREES SHALL HAVE THE FOLLOWING MINIMUM CLEARANCES FROM:
 - 1.1. STREET LIGHT POLES - 60m
 - 1.2. UTILITY POLES - 3.0m
 - 1.3. EDGE OF DRIVEWAY, CURB RETURN, CATCHBASIN OR ABOVE GROUND UTILITY FACILITY - 2.0m
 - 1.4. SIDEWALK AND DRAINAGE SERVICE CONNECTION/FIRE HYDRANTS - 1.5m
 - 1.5. MANHOLES, VALVE BOXES, WATER SERVICES - 1.5m
 - 1.6. BOY LIFT/POST/STRAIGHT AWAY VAULTS - 2.25m
- 2. WHERE THERE IS A BOULEVARD PLANTING STRIP BETWEEN THE BACK OF THE CURB AND FRONT OF THE SIDEWALK, TREES SHALL BE PLANTED A MINIMUM OF 1.0m FROM BACK OF CURB AND 1.0m FROM BACK OF SIDEWALK.
- 3. IN OTHER CIRCUMSTANCES TREES SHALL BE PLANTED 1.0m FROM THE BACK OF THE SIDEWALK AND 2.5m FROM BACK OF CURB.

SOODING NOTES

- 1. SOODED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULтивATED TURF SOO, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE

STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:

40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
40% CRESPING RED FESCUE
20% PERENNIAL RYEGRASS
USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE

- 2. AREAS TO BE SOODED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
- 3. LOOSEN SOO SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
- 4. PRIOR TO SOODING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
- 5. DELIVER SOO TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 24 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOO FROM DRYING AND WATER SOO AS NECESSARY TO ENSURE ITS VIABILITY AND PREVENT THE LOSS OF SOO IN HANDLING. DRY SOO WILL BE REJECTED.
- 6. LAY SOO DURING GROWING SEASON. LAY SOO IN ROWS, PERPENDICULAR TO BLORE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
- 7. WATER SOO IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SOODED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

IRRIGATION NOTES

- 1. IRRIGATION TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
- 2. IRRIGATED AREAS TO BE INSTALLED AS DESIGN BUILD IRRIGATION SYSTEM FOR THE 5 SUB CUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT INSTALLATION AND AS BUILT DRAWING WITH ONE MONTH OF SUBSTANTIAL PERFORMANCE.
- 3. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES, COMPLY WITH THE CANADIAN ELECTRICAL CODE AND CANADIAN PLUMBING CODE.
- 4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COURLERS.
- 5. USE POP-UP SPRINKLER HEADS.
- 6. DO NOT SPRAY WATER ONTO TREE TRUNKS OR HARDSCAPED SURFACES.

BOSWALE SOIL SPECIFICATION

COARSE GRAVEL	0-5%
ALL GRAVEL	0-5%
SAND	70-80%
Greater than 0.005mm	
Smaller than 2mm	
SILT	5-15%
Larger than 0.002mm	
Smaller than 0.005mm	
CLAY	10-20%
Larger than 0.002mm	
CLAY AND SILT COMBINED	MAX 25%
ORGANIC CONTENT by weight	15%
Organic not to be derived from food waste	
Acidity (pH)	6.0-6.5

BOILER NOTES

BOILERS large average of 0.15-0.25m below surface, size at minimum.
O1 - LARGE AT 1m x 1.5m x 3m ht., 0.75m showing above surface, 2 tone each
O04 - MEDIUM AT 0.75m x 0.75m x 0.75m ht., 0.6m showing above surface, 1.2 tone each
O05 - SMALL AT 0.6m x 0.6m x 0.6m ht., 0.40-0.45m above surface, 0.6 tone each

CONTRACTOR TO PROVIDE SAMPLE FOR CLIENT/PROJECT MANAGER APPROVAL BEFORE PURCHASING AND INSTALLING EXTERIOR FURNISHINGS

- 1. IT IS EXPECTED THAT THE LANDSCAPE ARCHITECT SHALL BE A SHOP DRAWING FOR EVERY PIECE OF LANDSCAPE SITE FURNISHING SPECIFIED IN LANDSCAPE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO RECEIVE SHOP DRAWING ACCEPTANCE FROM THE LANDSCAPE ARCHITECT ON ALL COLOURS, INSTALLATION OPTIONS AND AFFIATED FINISHES THROUGH SHOP DRAWING SUBMITTALS PRIOR TO THE PURCHASE, OR INSTALLATION OF SITE FURNISHINGS.
- 2. ALL SITE FURNISHINGS SHOULD BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS.
- 3. IF IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT IF A CONFLICT OCCURS BETWEEN THE INSTALLATION REQUIREMENTS DEFINED BY MANUFACTURERS AND THE LANDSCAPE SITE PLAN, SPECIFICATIONS, OR DETAILS.

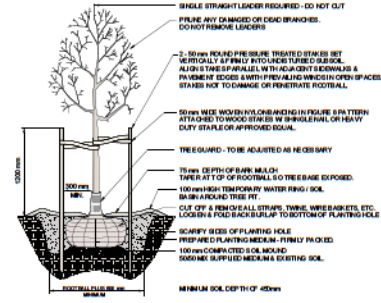
INSPECTIONS

- 1. THE CONTRACTOR IS RESPONSIBLE TO HAVE THE LANDSCAPE ARCHITECT INSPECT THE SITE FOR FINE GRADING IN AREAS WHERE SOO OR SEED ARE SUED AS PART OF SOFT LANDSCAPING FEATURES PRIOR TO THE INSTALLATION OF SOO OR SEED. A MINIMUM 7 DAYS NOTICE IS REQUIRED FOR THIS REVIEW.
- 2. THE CONTRACTOR IS RESPONSIBLE TO HAVE THE LANDSCAPE ARCHITECT INSPECT THE SITE FOR FINE GRADING IN AREAS WHERE SOOLES, BEDS OR MOUNDS ARE USED AS PART OF SOFT LANDSCAPING FEATURES PRIOR TO THE INSTALLATION OF PLANT MATERIAL. A MINIMUM OF 7 DAYS NOTICE IS REQUIRED FOR THIS REVIEW.
- 3. THE LANDSCAPE CONTRACTOR SHOULD PROVIDE THE LANDSCAPE ARCHITECT WITH 5 DAYS NOTICE TO PERFORM A REVIEW AT LOCAL NURSERIES WHO ARE SUPPLYING MAJOR PLANT ORDERS TO THE SITE. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO OBJECT PLANT MATERIAL AT ANY POINT THAT DOES NOT MEET DRAWING SPECIFICATION OR CANADIAN LANDSCAPE STANDARDS AT ANY TIME, DESPITE ANY REVIEW OF SAID MATERIALS.
- 4. THE LANDSCAPE CONTRACTOR SHOULD PROVIDE THE LANDSCAPE ARCHITECT WITH 5 DAYS NOTICE TO PERFORM ANY SITE REVIEWS TO INSPECT SOO DEPTH, TREE AND SHRUB PLACEMENT OR REVIEW AN SUBSEQUENT LANDSCAPE ITEMS REQUIRED.

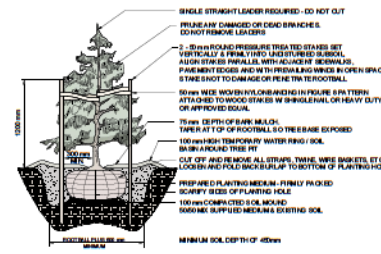
REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
2	MM	Issued for TUP Residential	03/02/2023
1	MM	Issued for TUP	24/1/2023

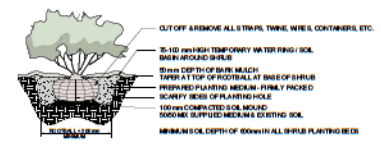
PROFESSIONAL STAMP/SEAL



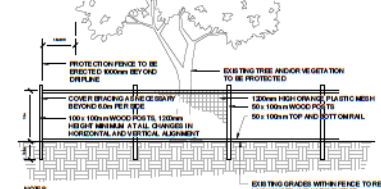
DECIDUOUS TREE N.T.S.



CONIFEROUS TREE N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL N.T.S.



- NOTES:
- 1. ATTACHMENT OF FENCE TO TREE SHALL NOT BE PERMITTED.
- 2. REFER TO THE CITY OF SURREY TREE PROTECTION PLAN 2018 NO. 1610 FOR ADDITIONAL DETAILS.
- 3. ANY EXPOSED ROOTS ARE TO BE HAND PRUNED USING PROPER ARBORICULTURAL PRACTICES BY THE PROJECT ARBORIST.
- 4. ANY WORK WITHIN THE TREE PROTECTION ZONE SHALL BE UNDER THE SUPERVISION OF THE PROJECT ARBORIST.
- 5. UNDER NO CIRCUMSTANCES SHALL ANY CONSTRUCTION MATERIAL, EQUIPMENT OR VEHICLES BE PLACED WITHIN 1M OF THE TREE PROTECTION ZONE.
- 6. ALL TREE PROTECTION TO BE EXECUTED PRIOR TO ANY CONSTRUCTION ACTIVITY AND TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED OR BY WRITTEN APPROVAL FROM CONTRACT ARBORIST PRIOR TO REMOVAL OF PROTECT.
- 7. REFER TO REQUEST REPORT BY JUNIKA ASSOCIATES DATED JANUARY 9, 2023 FOR COORDINATION.

TREE PROTECTION DETAIL N.T.S.

Project: 92nd AVE DEVELOPMENT
Drawn: MM
Approved: MM
Key Plan: MM
Scale: AS SHOWN
Location: 18557 92nd AVE SUREY, BC

No.	By	Description	Date
2	MM	Issued for TUP Residential	03/02/2023
1	MM	Issued for TUP	24/1/2023



Drawing Title: NOTES & DETAILS
Project #: C25-03
Drawing #: LD-01

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Director, Land Development, Engineering Department**

DATE: **January 21, 2025** PROJECT FILE: **7824-0289-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 18527 92 Ave**

TEMPORARY USE PERMIT

The following are to be addressed as a condition of issuance of the Temporary Use Permit:

- Confirm road width and integrity from the site to the intersection of 96 Avenue and 180 Street to support truck turning movements and provide improvements as required.
- Provide a maximum 11.0m wide asphalt driveway. The driveway must be paved for a minimum of one truck length into the site to prevent gravel tracking.
- Construct storm infrastructure upgrades to adequately capture increased road runoff.
- Construct on-site stormwater mitigation features to meet pre-development conditions up to the 100-year storm event; appropriate geotechnical infiltration testing is required to verify infiltration capacity to support mitigation features. If a direct connection or increase in flow within MOTI jurisdiction is anticipated, then third-party approval and relevant permitting will be required.
- Construct on-site water quality treatment features.
- Register restrictive covenant(s) for on-site stormwater mitigation and water quality.
- Secure applicable provincial and federal approvals for all impacted streams, as required.

A Servicing Agreement is required prior to issuance of the Temporary Use Permit.



Jeff Pang, P.Eng.
Director, Land Development

BD

5.0 SUMMARY OF TREE PRESERVATION BY TREE SPECIES:

On-site	Alder and Cottonwood Tree(s)			
	Tree Species	Existing	Remove	Retain
	Alder/Cottonwood (<i>Outside Riparian Area</i>)	99	98	1
	Alder/Cottonwood (<i>Within Riparian Area</i>)	8	0	8
	Total	107	98	9
	Deciduous Trees (<i>Excluding Alder and Cottonwood Tree(s)</i>)			
	Tree Species	Existing	Remove	Retain
	Bigleaf maple	314	261	53
	Black cherry	1	1	0
	Butternut	4	2	2
	Common cherry	11	8	3
	Horse chestnut	3	3	0
	Pine oak	2	2	0
	Common apple	2	1	1
	Common plum	8	8	0
Honey locust	1	1	0	
Paper birch	5	5	0	
Deciduous Subtotal	351	292	59	
Coniferous Tree(s)				
Tree Species	Existing	Remove	Retain	
Black pine	1	1	0	
Leyland cypress	3	3	0	
Norway spruce	2	2	0	
Sitka spruce	3	1	2	
Douglas fir	6	6	0	
Lodgepole pine	1	1	0	
Sawara cypress	4	4	0	
Western hemlock	19	10	9	
Western red cedar	188	172	16	
Coniferous Subtotal	227	200	27	
Deciduous & Coniferous Subtotal	578	492	86	
On-site Tree Totals	685	590	95	
On-site Replacement Trees Proposed		0		
Total On-site Retained & Replacement Trees		95		

Off-site	Alder and Cottonwood Tree(s)			
	Tree Species	Existing	Remove	Retain
	Alder/Cottonwood (<i>Outside Riparian Area</i>)	5	0	5
	Alder/Cottonwood (<i>Within Riparian Area</i>)	8	0	8
	Total	13	0	13
	Deciduous & Coniferous Trees (<i>Excluding Alder and Cottonwood Tree(s)</i>)			
	Tree Species	Exist	Remove	Retain
	Bigleaf maple	3	0	3
	Douglas fir	2	0	2
	Western redcedar	7	0	7
Deciduous & Coniferous total	12	0	12	
Off-site Tree Totals	25	0	25	
Total Off-site Retained Trees		25		

City	Tree Species	Existing	Remove	Retain
	Park/City Lot Trees	4	4	0
	Boulevard Trees	12	12	0
Total	16	16	0	

6.0 TREE PRESERVATION SUMMARY

Surrey Project No: N/A

Address: 18527, 18589, 18587, 18557 92 Ave, Surrey, B.C.

Registered Arborist: Francis Klimo

Date of Report/Revision: August 21, 2024

Arborist signature: *Francis Klimo*

All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the Arborist report

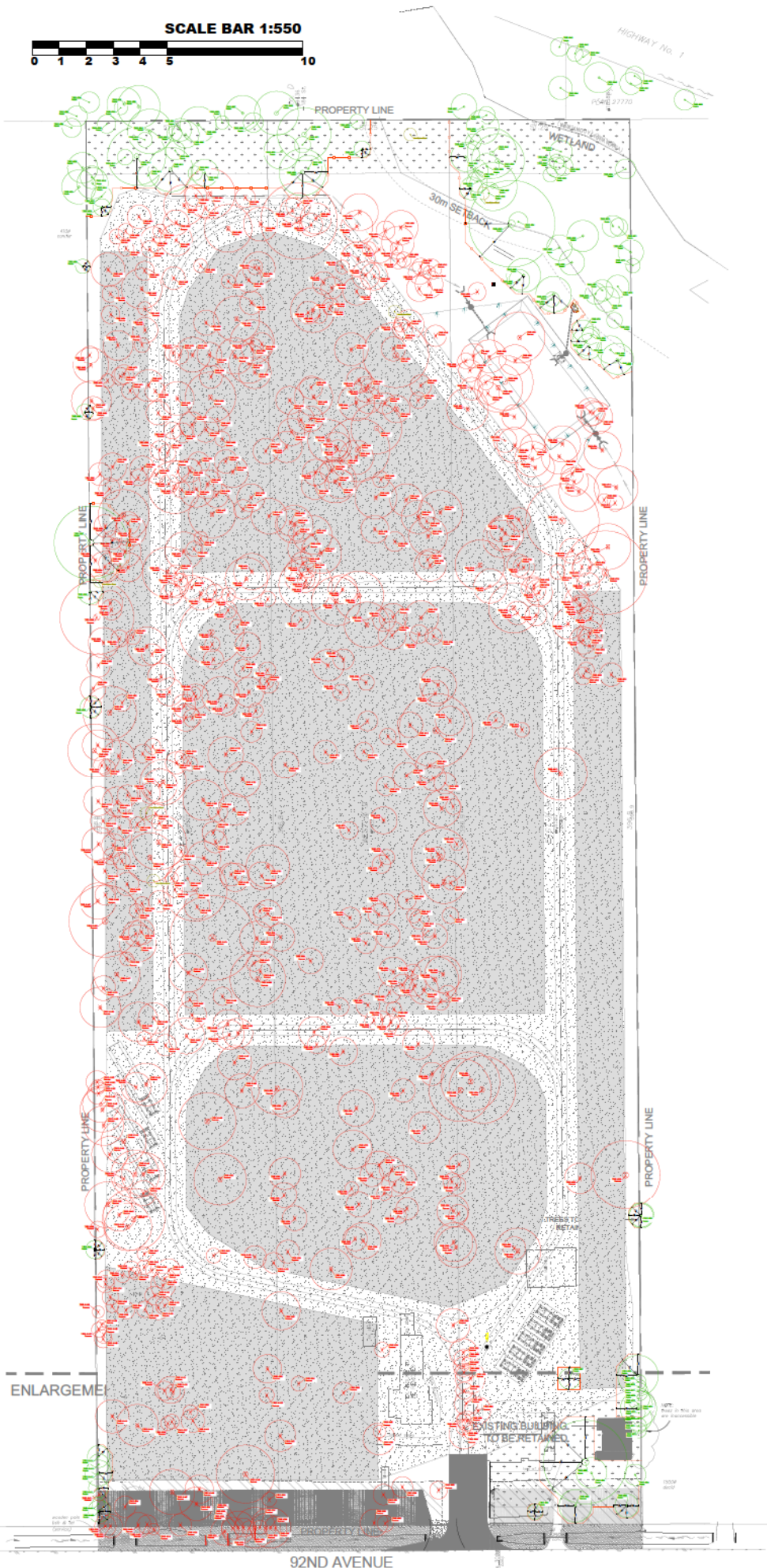
On-Site Trees	Number of Trees
Existing Bylaw Sized Trees	701
Proposed Removed Bylaw Trees	606
Proposed Retained Bylaw Trees	95
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio	
Removed	Subtotal
98 X 1 =	196
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio	
Removed	Subtotal
0 X 2 =	0
All other Trees Requiring 2 to 1 Replacement Ratio	
Removed	Subtotal
508 X 2 =	1016
Required Replacement Trees	1212
Proposed Replacement Trees	TBD
Deficit of Replacement Trees	TBD
Total On-site Retained and Replacement Trees	TBD

Off-Site Trees	Number of Trees
Existing Bylaw Sized Trees	12
Proposed Removed Bylaw Trees	0
Proposed Retained Bylaw Trees	12
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio	
Removed	Subtotal
0 X 1 =	0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio	
Removed	Subtotal
0 X 2 =	0
All other Trees Requiring 2 to 1 Replacement Ratio	
Removed	Subtotal
0 X 2 =	
Required Replacement Trees (to be taken as Cash in Leu)	0
Total Off-site Retained Trees	0

City Trees	Existing	Removed	Retained
Park/City Lot Trees	4	4	0
Boulevard Trees	12	12	0
Total	16	16	0



SCALE BAR 1:550
0 1 2 3 4 5 10



Klimo & Associates

Revisions		
No.	Date	Description
	June 27, 2023	
	January 31, 2025	
	February 3, 2025	
	February 5, 2025	
Consultants		

18527-18589 92nd Avenue

Project Title

TREE MANAGEMENT PLAN

Project Number

Francis R. Klimo
ISA Certified Arborist #PN-8149A
ISA Certified Tree Risk Assessor (TRAQ)
BC Wildlife Danger Tree Assessor #7193

Date	January 31, 2025	Sheet #
Scale		
Drawn		
Checked		

CITY OF SURREY

(the "City")

TEMPORARY USE PERMIT

NO.: 7924-0289-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(collectively referred to as the "Owners")

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-254-289

East Half Lot 9 Section 33 Township 8 New Westminster District Plan 7426
18589 92 Avenue

Parcel Identifier: 011-254-271

West Half Lot 9 Section 33 Township 8 New Westminister District Plan 7426
18557 92 Ave

Parcel Identifier: 011-254-297

East Half Lot 10 Section 33 Township 8 New Westminister District Plan 7426
18527 92 Avenue

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permit on the Land shall be to allow the outdoor storage of steel (including pipes, rebar and beams), the parking of associated vehicles that exceed 5,000 kilograms (11,000 lbs.) G.V.W. mid-sized forklifts and the use of the existing house as an office and washroom facility for a period of three years from the date of issuance of this Temporary Use Permit (Schedule A).
5. The temporary use permitted on the Land shall be in accordance with:
 - (a) Trucks using the temporary truck parking facility are limited to using the route stipulated on Schedule E;
 - (b) No refrigerated truck units shall park on the Land at any time;
 - (c) The parking area shall be designed to support the anticipated vehicle load in order to prevent dirt from being tracked onto the City roadway;
 - (d) Hours of operation shall be Monday to Friday from 8:00 am to 5:00 pm with no trucks to leave or enter the site on weekends;
 - (e) Adequate washroom facilities are to be provided on site to the satisfaction of the General Manager of Planning & Development with a minimum of one such facility on site; and
 - (f) The following activities are prohibited on the Land:
 - i. vehicle washing
 - ii. vehicle maintenance except if it is on an asphalt or concrete pad and excludes all oil, coolant or chemical use as per the Environmental Management Act, S.B.C. 2002 Chapter 43
 - iii. truck fuel storage or refuelling
 - iv. storage of waste petroleum fluids
 - v. parking or storage of vehicles containing Dangerous Goods as defined by the *Transport of Dangerous Goods Act* R.S.B.C. 1996, Chapter 458.
6. The landscaping shall conform to drawings shown on Schedule A (the "Landscaping") which is attached hereto and forms part of this permit.
7. The Owner covenants and agrees that the pre-servicing requirements attached as Schedule B (the "Pre-Servicing Requirements") which is attached hereto and forms part of

this permit, have been completed and will be maintained for the duration of the Temporary Use Permit.

8. The Owner covenants and agrees that no grading of the Land will occur without written approval from the City. Existing grading conditions are attached as Schedule C (the "Topographic Survey") which is attached hereto and forms part of this permit.
9. The Landscaping shall be installed prior to the issuance of this temporary use permit and maintained for the duration of the temporary use permit.
10. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
11. An undertaking submitted by the Owner is attached hereto as Schedule D and forms part of this temporary use permit.
12. This temporary use permit is not transferable.
13. This temporary use permit shall lapse three years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: Signature

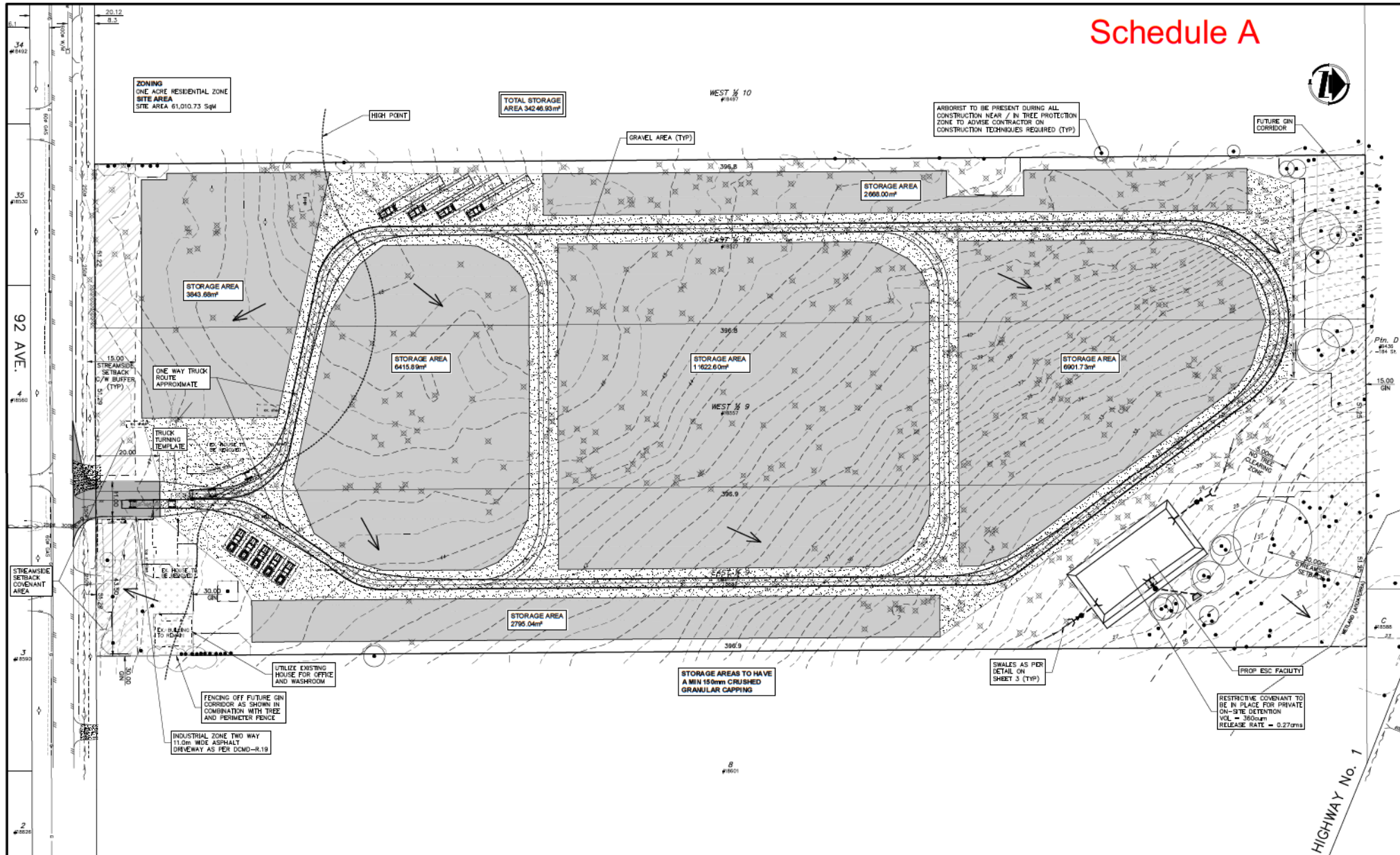
Name (Please Print)

OR

Owner: Signature

Name: (Please Print)

Schedule A



WEST HALF OF LOT 8, EAST HALF OF LOT 9 AND EAST HALF OF LOT 10 ALL IN SECTION 33, TOWNSHIP 8, NEW WESTMINSTER DISTRICT, PLAN 7426

SURVEY REFERENCE: COORDINATE N 5446406.826 E 520940.382 ELEV 47.009m

NO	DATE	REVISION	BY

CONSULTANT

Coastland
engineering & surveying inc.

#101, 19292 - 60 Avenue
Surrey, BC V3S 3M2
Phone: (604)532-9700
Fax: (604)532-9700

Permit to Practice No. 1001893

CITY OF SURREY

1163895 B.C. LTD.

PROJECT MANAGER:
TOM GILL 604-418-2217
18587 & 18589 - 92 Avenue, Surrey, B.C. V4N 3Z1
tomgill@orangebcredevelopments.com

KEY PLAN

18527, 18557, & 18587 - 18589 92 AVENUE

SCALE 1:500

DATE (YYYY MM) 2024 AUGUST

SURREY PROJECT NUMBER **7824-0289-00**

Coastland Project No. **2941**

DRAWING TYPE **KEY**

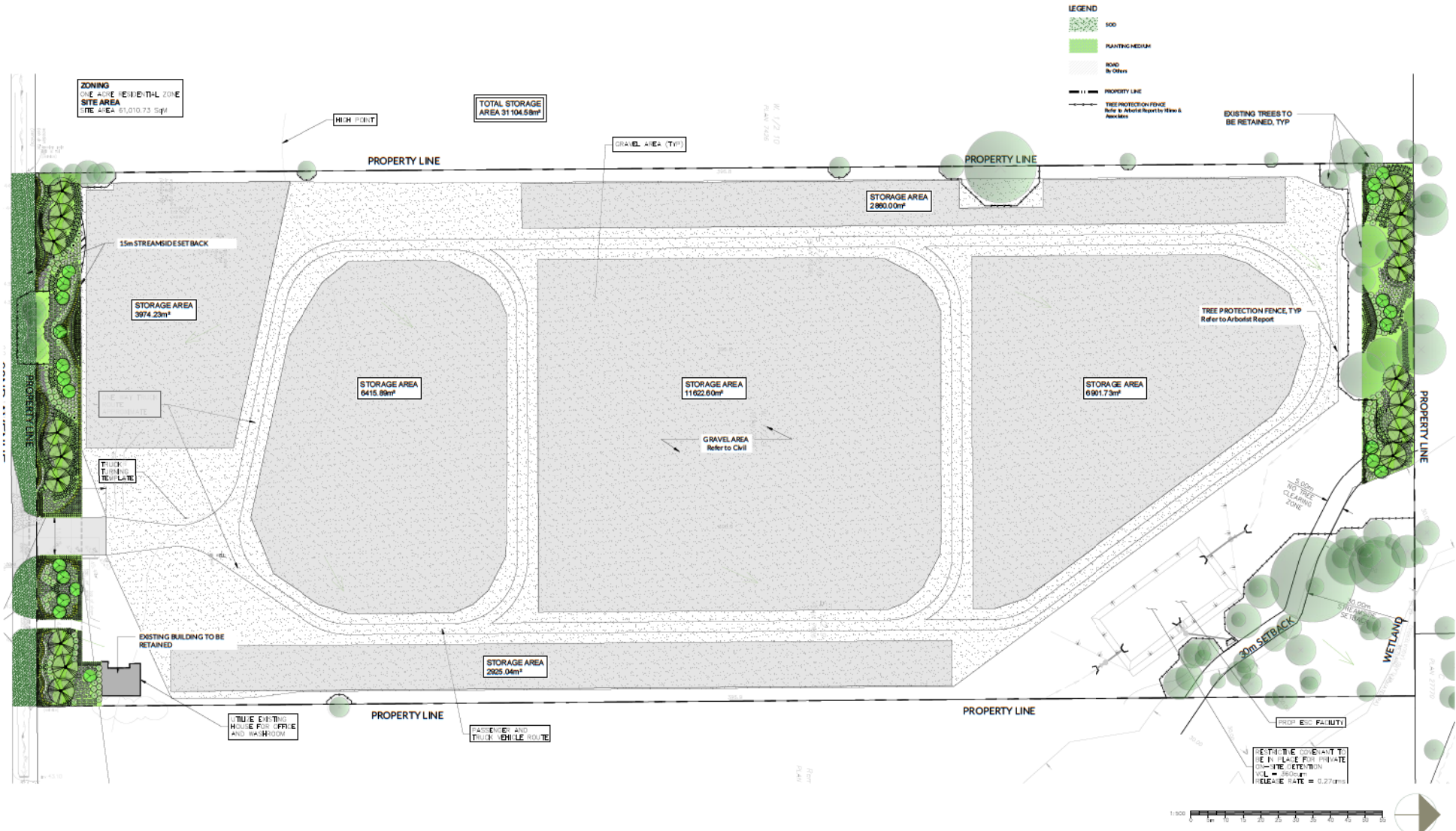
DRAWN KGL

CHECKED RY

REVISED RY

NO. OF SHEETS 6

CURRENT REV. NO. **2**



Project:
92nd AVE DEVELOPMENT

Location:
**18557 92nd AVE
SURREY, BC**

Drawn:
MM

Scale:
1:500

Approved:
MM

Key Plan:

NO.	BY	DESCRIPTION	DATE
2	MM	Issued for TUP Re-submittal	03/02/2025
1	MM	Issued for TUP	24/01/2025
0	MM	Issue for Review	10/01/2025

REVISIONS TABLE FOR DRAWINGS

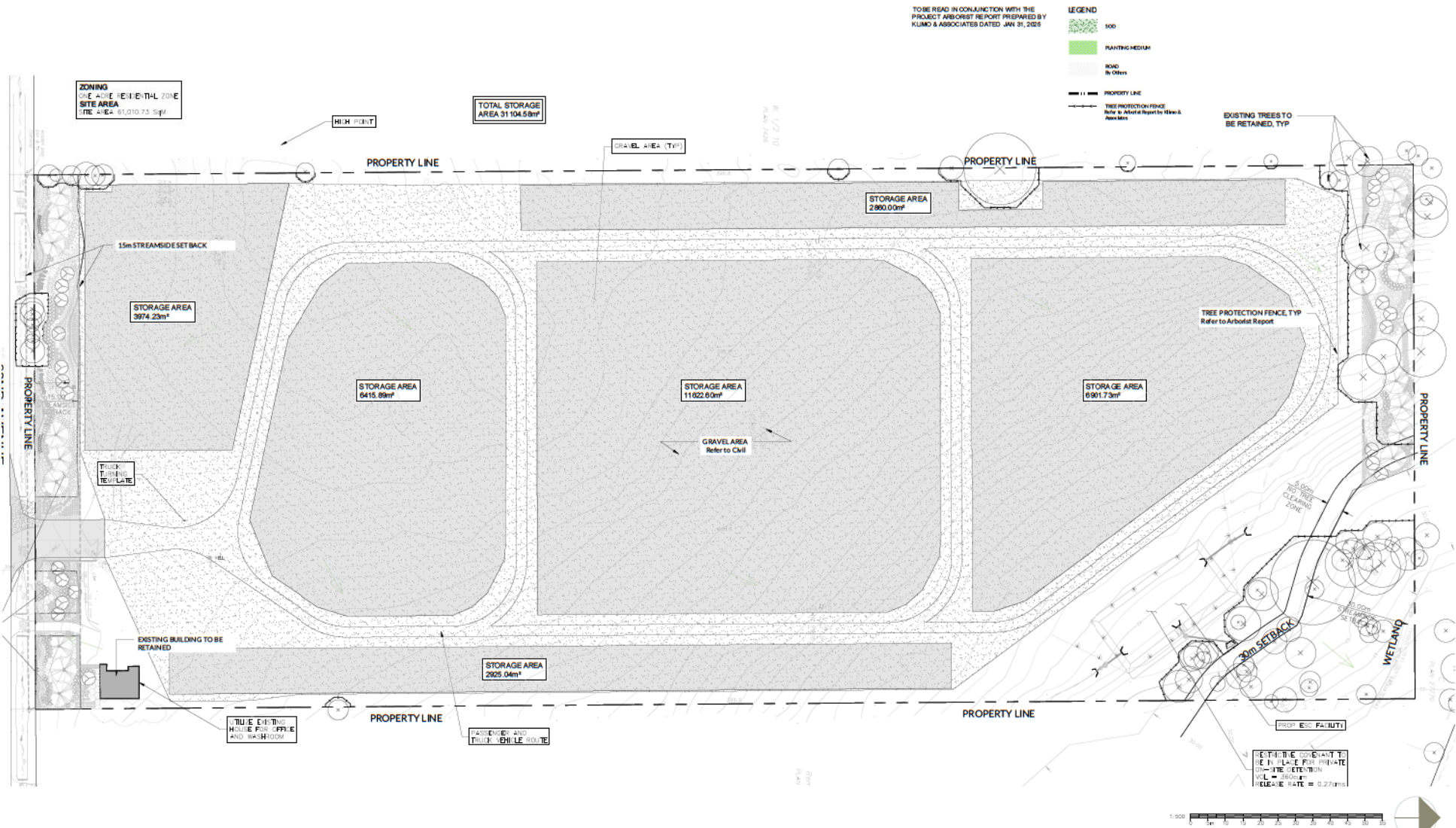
PROFESSIONAL STAMP/SEAL

Drawing Title:
LANDSCAPE PLAN

Project #:
C25-03

Drawing #:
L-01

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND NOTATIONS ARE THE SOLE PROPERTY OF MK DESIGN GROUP. REPRODUCTION OF ANY DIMENSIONS OR DRAWINGS ARE NOT PERMITTED WITHOUT WRITTEN PERMISSION BY MK DESIGN GROUP. DO NOT SCALE DRAWINGS. NOTICE OF CONSTRUCTION SHALL BE INDICATED FOR ALL DIMENSIONS.



Project:
92nd AVE DEVELOPMENT

Location:
**18557 92nd AVE
SURREY, BC**

Drawn: **MM**

Approved: **MM**

Scale:
1:500

Key Plan:

NO.	BY	DESCRIPTION	DATE
2	MM	Issued for TUP Re-submittal	03/03/2025
1	MM	Issued for TUP	24/01/2025
		Prepared by	DATE: DDMMYY

PROFESSIONAL STAMP/SEAL



Drawing Title:
FENCING PLAN

Project #:
C25-03

Drawing #:
L-02



1 ENLARGEMENT A 1:400



2 ENLARGEMENT B 1:400

LEGEND

- SOG
- PLANTING MEDIUM
- ROAD
By Others
- PROPERTY LINE
- TREE PROTECTION FENCE
Refer to Arborist Report by H&M
Assoc Inc

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	22	Quercus alba 'Noveboracensis'	Green Pin Oak	40x 40	As Shown	WB
CONIFEROUS TREES						
	17	Abies grandis	Grand Fir	30x 30	As Shown	WB
PERENNIALS, GRASSES, AND GRASSES						
	30	Rosa rugosa 'Zandee'	Cherry Hedge Rose	#3 No	1.0m	
	30	Yucca filamentosa	Yucca Filamentosa	#3 No	0.8m	
	25	Lonicera xylosteum	Red Hot Poker	#3 No	1.5m	
	20	Hydrangea paniculata	Hydrangea	#3 No	1.5m	
	30	Salix purpurea 'Nana'	Weeping Willow	#3 No	0.6m	
	25	Cornus stolonifera	Shrub Dogwood	#3 No	1.0m	
	14	Hamamelis virginiana	Witch Hazel	#3 No	1.0m	
	10	Physalis peruviana	Physalis	#3 No	1.0m	
PERENNIALS, GRASSES, AND GRASSES						
	77	Rudbeckia hirta	Black-eyed Susan	#3 No	0.6m	Planted
	17	Phlox paniculata	Phlox	#3 No	0.6m	Planted
	14	Salix purpurea	Willow	#3 No	0.6m	Planted
	25	Ulmus americana	American Elm	#3 No	0.6m	Planted
	30	Conium maculatum	Conium	#3 No	0.6m	Planted



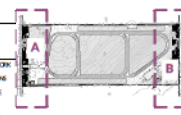
Project:
92nd AVE DEVELOPMENT

Location:
**18557 92nd AVE
SURREY, BC**

Drawn: **MM**

Approved: **MM**

Scale: **1:400**



REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
01	MM	Issued for TYP Re-submittal	03/02/2025
02	MM	Issued for TYP	24/01/2025
03	MM	Issued for TYP	24/01/2025
04	MM	Issued for TYP	24/01/2025

PROFESSIONAL STAMP/SEAL

Drawing Title:
PLANTING PLAN

Project #:
C25-03

Drawing #:
L-03

GENERAL NOTES

- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
- CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
- CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- CONFIRM MINORAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS AND OTHER BY-LAW REQUIREMENTS, OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
- OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
- UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEEP FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.
- SHOULD ANY DRAWING OR DETAIL CONFLICT WITH THE LANDSCAPE NOTES/MASTER SPECIFICATION FILE THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN TEAM FOR COORDINATION PRIOR TO ORDER, PREPARATION OR INSTALLATION OF SAID CONFLICTING WORKS (TYP).

PLANTING NOTES

- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS. ANY DISCREPANCY BETWEEN QUANTITIES LISTED IN THE PLANT LIST AND ON THE DRAWINGS, QUANTITIES ON THE DRAWING SHALL PREVAIL.
- PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
- TREE PROTECTION:** PER THE MUNICIPAL DETAIL IF REQUIRED.
- ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
- SOIL DEPTH IN ALL PLANTING AREAS TO BE A MINIMUM OF 400mm AND A MINIMUM OF 900mm IN PLANTING BEDS WITH TREES.
- THE LANDSCAPE CONTRACTOR MUST SUBMIT A SOIL REPORT/TEST REPORT TO THAT SHOWS THAT GROWING MEDIUMS COMPLY WITH THE STANDARDS IDENTIFIED IN THE CANADIAN LANDSCAPE STANDARDS LATEST EDITION FOR LEVEL 1, WILL GROOMED LANDSCAPE AND ARE WITHIN 30 MONTHS OF GROWING MEDIUM REPLACEMENT.
- THE GENERAL CONTRACTOR SHALL PAY FOR A MINIMUM TWO (2) RANDOM TESTS WILL BE PERFORMED DURING THE COURSE OF CONSTRUCTION TO CONFIRM THAT THE GROWING MEDIUM BEING INSTALLED ON SITE MATCHES THE TEST APPROVED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT WILL NOTIFY THE GENERAL CONTRACTOR OF WHEN SAID TESTS WILL OCCUR AND SOIL SAMPLES SHOULD BE MAILED OUT WITHIN 48 HOURS OF THIS NOTICE. FAILURE TO HAVE SOIL MATCH APPROVED MATERIAL COULD RESULT IN REMOVAL, AMENDMENT OR REINSTALLATION OF APPROPRIATE MATERIAL AT THE CONTRACTOR'S EXPENSE. SOIL TESTS SHOULD BE SENT TO PACIFIC SOIL ANALYSIS INCORPORATED OR APPROVED EQUAL TESTING CENTER.
PACIFIC SOIL ANALYSIS INC.
SUITE 5-1170 VOYAGEUR WAY, RICHMOND, BC V6X3J9
TEL: PHONE 604 273 8226
- ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL. MULCH TO BE NON-TOXIC AND COMPLY TO THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD.
- PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
- REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (ISA) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
- PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL DEFINED UNDER THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. THIS SHOULD BE COMPLIANT WITH LEVEL 1, WILL GROOMED LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON. AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
12.1. REGULAR SCHEDULE OF WATERING OF THE PLANTS AS REQUIRED AND/OR AS DIRECTED BY THE PROJECT MANAGER DURING CONSTRUCTION AND THE WARRANTY PERIOD. PLANTS SHALL BE WATERED WITHIN 48 HOURS OF WRITTEN REQUEST BY THE OWNER OR OWNER'S REPRESENTATIVE. FAILURE TO DO SO AFTER THE REQUEST SHALL RESULT IN THE WORK BEING UNDERTAKEN BY OTHERS. THE COST OF THIS WORK SHALL BE DEDUCTED FROM THE TOTAL CONTRACT PRICE OR HOLDBACK AND OTHERWISE RECOVERED FROM THE CONTRACTOR.
- 12.2. MAINTENANCE AND ADDITIONAL INSTALLATION OF MULCH
- 12.3. WEED REMOVAL
- 12.4. DISEASE CONTROL

- MINIMUM TREE PLANTING CLEARANCES
 - TREES SHALL HAVE THE FOLLOWING MINIMUM CLEARANCES FROM:
 - STREET LIGHT POLES - 6.0m
 - UTILITY POLES - 3.0m
 - EDGE OF DRIVEWAY, CURB RETURN, CATCH BASIN OR ABOVE GROUND UTILITY FACILITY - 2.0m
 - SEWER AND DRAINAGE SERVICE CONNECTION/FIRE HYDRANTS - 1.5m
 - MANHOLES, VALVE BOXES, WATER SERVICES - 1.5m
 - BOH LPH/PMT/MSA SWITCH VAULTS - 2.25m
- WHERE THERE IS A BOULEVARD PLANTING STRIP BETWEEN THE BACK OF THE CURB AND FRONT OF THE SIDEWALK, TREES SHALL BE PLANTED A MINIMUM OF 1.0m FROM BACK OF CURB AND 1.0m FROM BACK OF SIDEWALK
- IN OTHER CIRCUMSTANCES TREES SHALL BE PLANTED 1.0m FROM THE BACK OF THE SIDEWALK AND 2.5m FROM BACK OF CURB

- SOODING NOTES**
- SOODED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOO, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE

STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:

- 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
- 40% CREeping RED FESCUE
- 20% PERENNIAL RYEGRASS
- USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE

- AREAS TO BE SOODED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
- LOOSEN SOIL SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
- PRIOR TO SOODING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
- DELIVER SOO TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 24 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOO FROM DRYING AND WATER SOO AS NECESSARY TO ENSURE ITS VIABILITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOO WILL BE REJECTED.
- LAY SOO DURING GROWING SEASON. LAY SOO IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
- WATER SOO IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SOODED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

IRRIGATION NOTES

- IRRIGATION TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
- IRRIGATED AREAS TO BE INSTALLED AS DESIGN BUILD IRRIGATION SYSTEM FOR THE 5 TUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT INSTALLATION AND AS BUILT DRAWING WITH ONE MONTH OF SUBSTANTIAL PERFORMANCE.
- THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES, COMPLY WITH THE CANADIAN ELECTRICAL CODE AND CANADIAN PLUMBING CODE.
- ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
- USE POP-UP SPRINKLER HEADS.
- DO NOT SPRAY WATER ONTO TREE TRUNKS OR HARDSCAPED SURFACES.

BOSWALE SOIL SPECIFICATION

COARSE GRAVEL	0-5%
ALL GRAVEL	0-5%
SAND	70-80%
Smaller than 0.005mm	
Smaller than 2mm	
SILT	5-15%
Larger than 0.002mm	
Smaller than 0.005mm	
CLAY	10-20%
Larger than 0.002mm	
CLAY AND SILT COMBINED	MAX 25%
ORGANIC CONTENT (by weight)	15%
Organics not to be derived from food waste	
Acidity (pH)	6.0-6.5

BOLDER NOTES

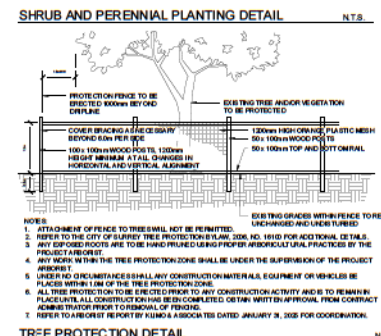
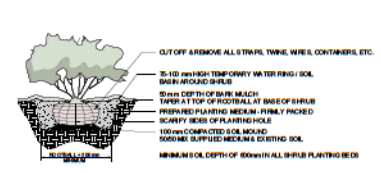
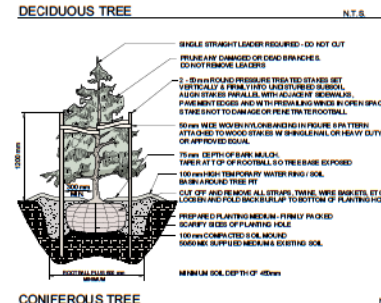
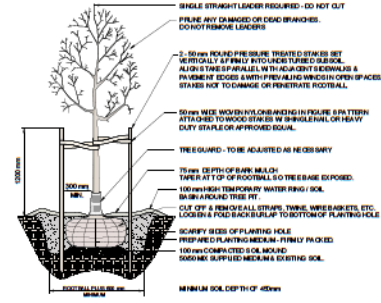
- BOLDERS:bury average of 0.15-0.25m below surface, size at minimum
- 00L - LARGE AT 1m x 1.5m x 2m ht., 0.75m showing above surface, 2 tone each
 - 00M - MEDIUM AT 0.75m x 0.75m x 0.75m ht., 0.6m showing above surface, 1.2 tone each
 - 00S - SMALL AT 0.6m x 0.6m x 0.6m ht., 0.40-0.45m above surface, 0.6 tone each

CONTRACTOR TO PROVIDE SAMPLE FOR CLIENT/PROJECT MANAGER APPROVAL BEFORE PURCHASING AND INSTALLING EXTERIOR FURNISHINGS

- IT IS EXPECTED THAT THE LANDSCAPE ARCHITECT SHALL BE A SHOP DRAWING FOR EVERY PIECE OF LANDSCAPE SITE FURNISHING SPECIFIED IN LANDSCAPE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RECEIVE SHOP DRAWING ACCEPTANCE FROM THE LANDSCAPE ARCHITECT ON ALL COLOURS, INSTALLATION OPTIONS AND AFFIATED FINISHES THROUGH SHOP DRAWING SUBMITTALS PRIOR TO THE PURCHASE, OR INSTALLATION OF SITE FURNISHINGS.
- ALL SITE FURNISHINGS SHOULD BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS.
- IF IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT IF A CONFLICT OCCURS BETWEEN THE INSTALLATION REQUIREMENTS DEFINED BY MANUFACTURERS AND THE LANDSCAPE SITE PLAN, SPECIFICATIONS, OR DETAILS.

INSPECTIONS

- THE CONTRACTOR IS RESPONSIBLE TO HAVE THE LANDSCAPE ARCHITECT INSPECT THE SITE FOR FINE GRADING IN AREAS WHERE SOO OR SEED ARE USED AS PART OF SOFT LANDSCAPING FEATURES PRIOR TO THE INSTALLATION OF SOO OR SEED. A MINIMUM 7 DAYS NOTICE IS REQUIRED FOR THIS REVIEW.
- THE CONTRACTOR IS RESPONSIBLE TO HAVE THE LANDSCAPE ARCHITECT INSPECT THE SITE FOR FINE GRADING IN AREAS WHERE SOO, SEEDS OR MOUNDS ARE USED AS PART OF SOFT LANDSCAPING FEATURES PRIOR TO THE INSTALLATION OF PLANT MATERIAL. A MINIMUM OF 7 DAYS NOTICE IS REQUIRED FOR THIS REVIEW.
- THE LANDSCAPE CONTRACTOR SHOULD PROVIDE THE LANDSCAPE ARCHITECT WITH 5 DAYS NOTICE TO PERFORM A REVIEW AT LOCAL NURSERIES WHO ARE SUPPLYING MAJOR PLANT ORDERS TO THE SITE. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO OBJECT PLANT MATERIAL AT ANY POINT THAT DOES NOT MEET DRAWING SPECIFICATION OR CANADIAN LANDSCAPE STANDARDS AT ANY TIME, DESPITE ANY REVIEW OF SAID MATERIALS.
- THE LANDSCAPE CONTRACTOR SHOULD PROVIDE THE LANDSCAPE ARCHITECT WITH 5 DAYS NOTICE TO PERFORM ANY SITE REVIEWS TO INSPECT SOIL DEPTH, TREE AND SHRUB PLACEMENT OR REVIEW AN SUBSEQUENT LANDSCAPE ITEMS REQUIRED.



Project:	Drawn:	Approved:	Key Plan:
92nd AVE DEVELOPMENT	MM	MM	
Location:	Scale:		
18557 92nd AVE SURREY, BC	AS SHOWN		

NO.	REVISIONS	DATE
2	MM Issued for TUP Residential	03/02/2023
1	MM Issued for TUP	24/11/2023
0	MM Description	Date: 03/04/2023

PROFESSIONAL STAMP/SEAL

Drawing Title:

NOTES & DETAILS

Project #:

C25-03

Drawing #:

LD-01

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Director, Land Development, Engineering Department**

DATE: **January 21, 2025** PROJECT FILE: **7824-0289-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 18527 92 Ave**

TEMPORARY USE PERMIT

The following are to be addressed as a condition of issuance of the Temporary Use Permit:

- Confirm road width and integrity from the site to the intersection of 96 Avenue and 180 Street to support truck turning movements and provide improvements as required.
- Provide a maximum 11.0m wide asphalt driveway. The driveway must be paved for a minimum of one truck length into the site to prevent gravel tracking.
- Construct storm infrastructure upgrades to adequately capture increased road runoff.
- Construct on-site stormwater mitigation features to meet pre-development conditions up to the 100-year storm event; appropriate geotechnical infiltration testing is required to verify infiltration capacity to support mitigation features. If a direct connection or increase in flow within MOTI jurisdiction is anticipated, then third-party approval and relevant permitting will be required.
- Construct on-site water quality treatment features.
- Register restrictive covenant(s) for on-site stormwater mitigation and water quality.
- Secure applicable provincial and federal approvals for all impacted streams, as required.

A Servicing Agreement is required prior to issuance of the Temporary Use Permit.



Jeff Pang, P.Eng.
Director, Land Development

BD

S.C. LAND SURVEYOR'S PLAN SHOWING TOPOGRAPHIC SURVEY ON WEST HALF OF LOT 9, EAST HALF OF LOT 9 AND EAST HALF OF LOT 10 ALL IN SECTION 33 TOWNSHIP 8 NEW WESTMINSTER DISTRICT PLAN 7426

Schedule C



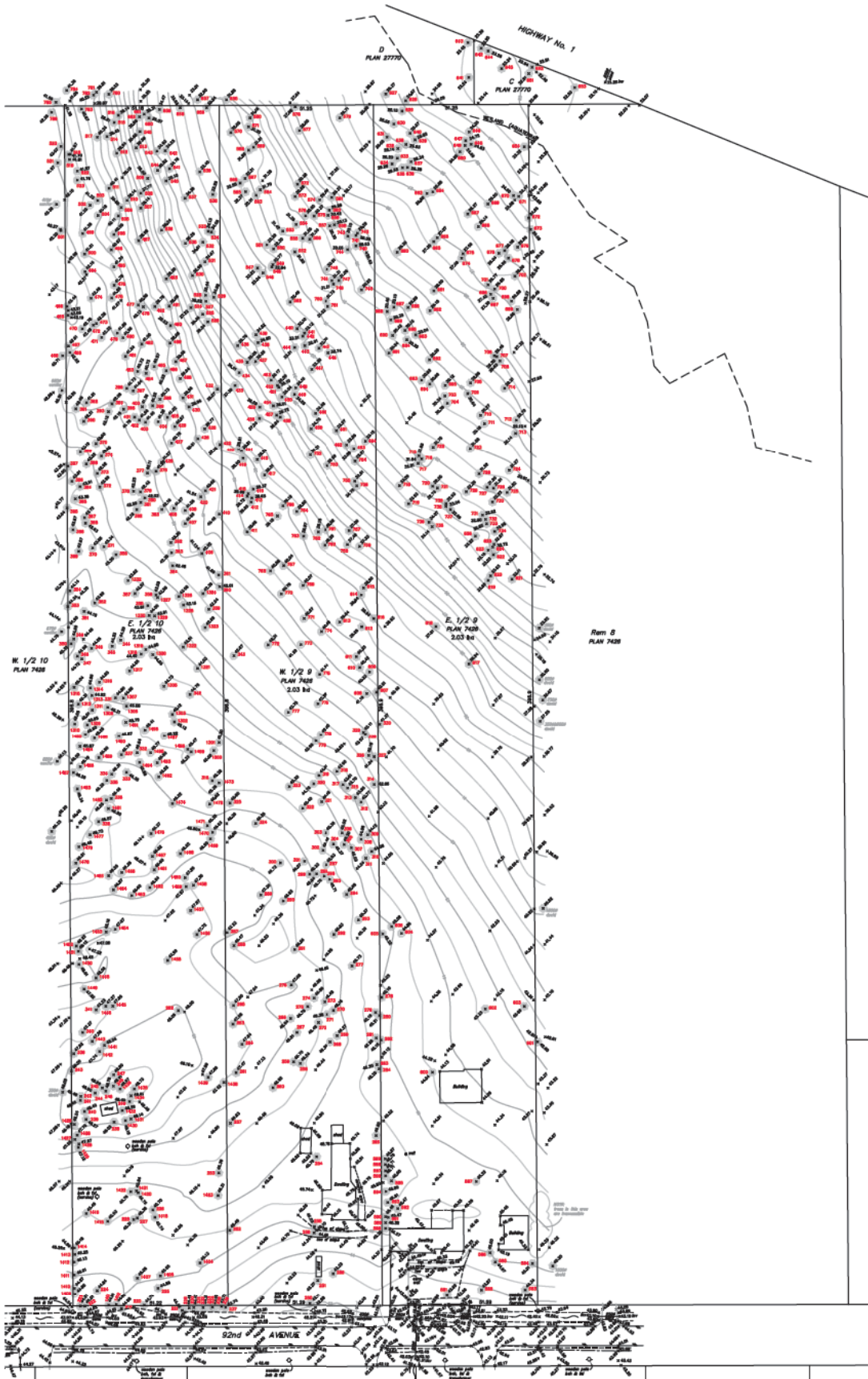
The horizontal and vertical distances shown on this plan are shown to within 1/100th of a foot (0.01 ft) and shall be subject to a scale of 1:500

PLAN 7426-001	WEST HALF OF LOT 9
PLAN 7426-002	EAST HALF OF LOT 9
PLAN 7426-003	EAST HALF OF LOT 10

LET DRAWING FROM LAND TITLE OFFICE RECORDS SET OUT HEREIN AND SHOW THAT THIS PLAN HAS BEEN RECORDED

THIS PLAN SHOWS AN ADJUSTMENT OF BOUNDARY LINES AND DISTANCES TO CORRECT FOR MEASUREMENT ERRORS

NO.	DESCRIPTION	BEARING	DISTANCE	NO.	DESCRIPTION	BEARING	DISTANCE
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NO.	DESCRIPTION	BEARING	DISTANCE
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This document shows the results of a topographic survey conducted on the land described in the Schedule C of this plan. The survey was conducted in accordance with the provisions of the Land Survey Act, R.S.O. 1990, c. 161, and the Survey Regulations, O.R.O. 1990, c. 161, r. 101. The survey was conducted by the Surveyor General of Ontario, and the results are shown on this plan. The survey was conducted on the land described in the Schedule C of this plan, and the results are shown on this plan. The survey was conducted on the land described in the Schedule C of this plan, and the results are shown on this plan.

TO THE CITY OF SURREY:

I, _____ (Name of Owner)

being the owner of _____

(Legal Description)

known as _____

(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

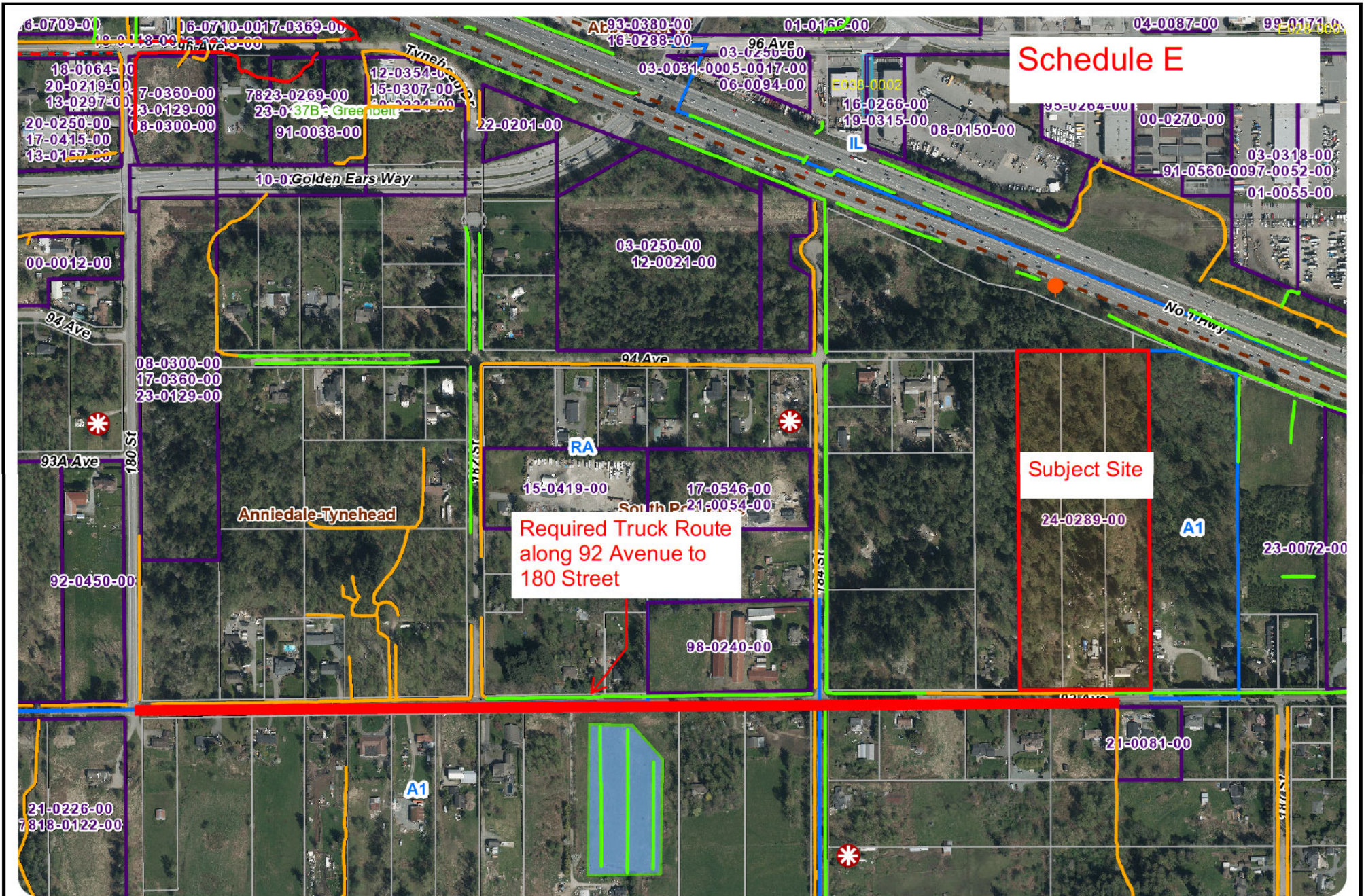
all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

(Owner)

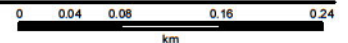
(Witness)



Enter Map Description

Scale: 1:5,997

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