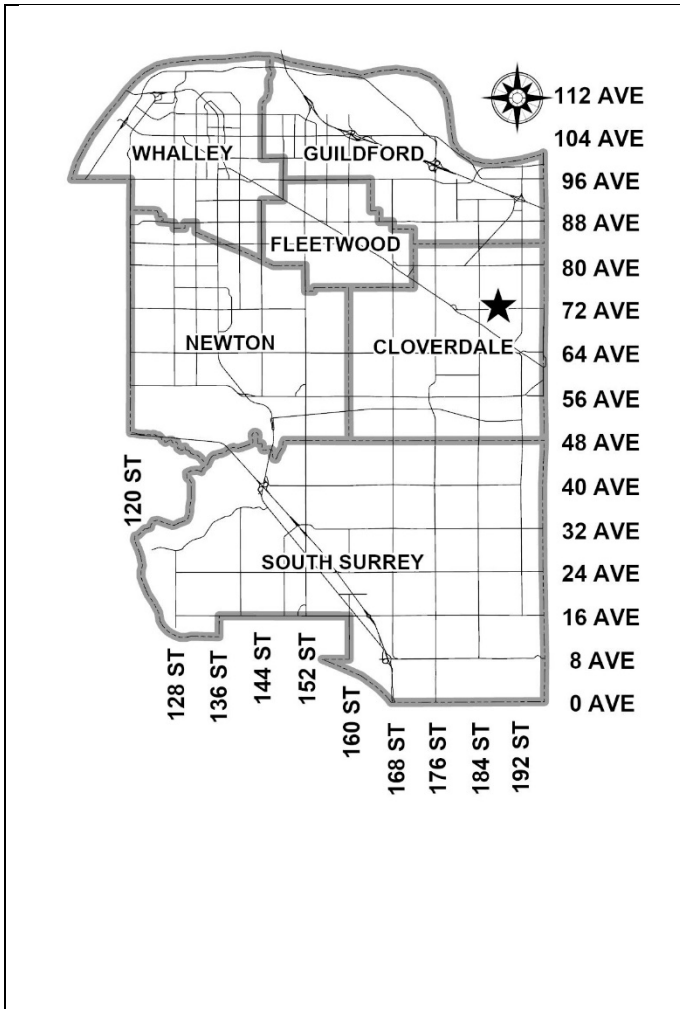


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7924-0293-00

Planning Report Date: February 24, 2025



PROPOSAL:

- **OCP Amendment** from Commercial to Multiple Residential and OCP Text Amendment to permit a higher density under the Multiple Residential designation
- **NCP Amendment** from "Neighbourhood Commercial" to "Low Rise Residential"
- **Rezoning** from RA to CD (based on RM-70)
- **Development Permit**

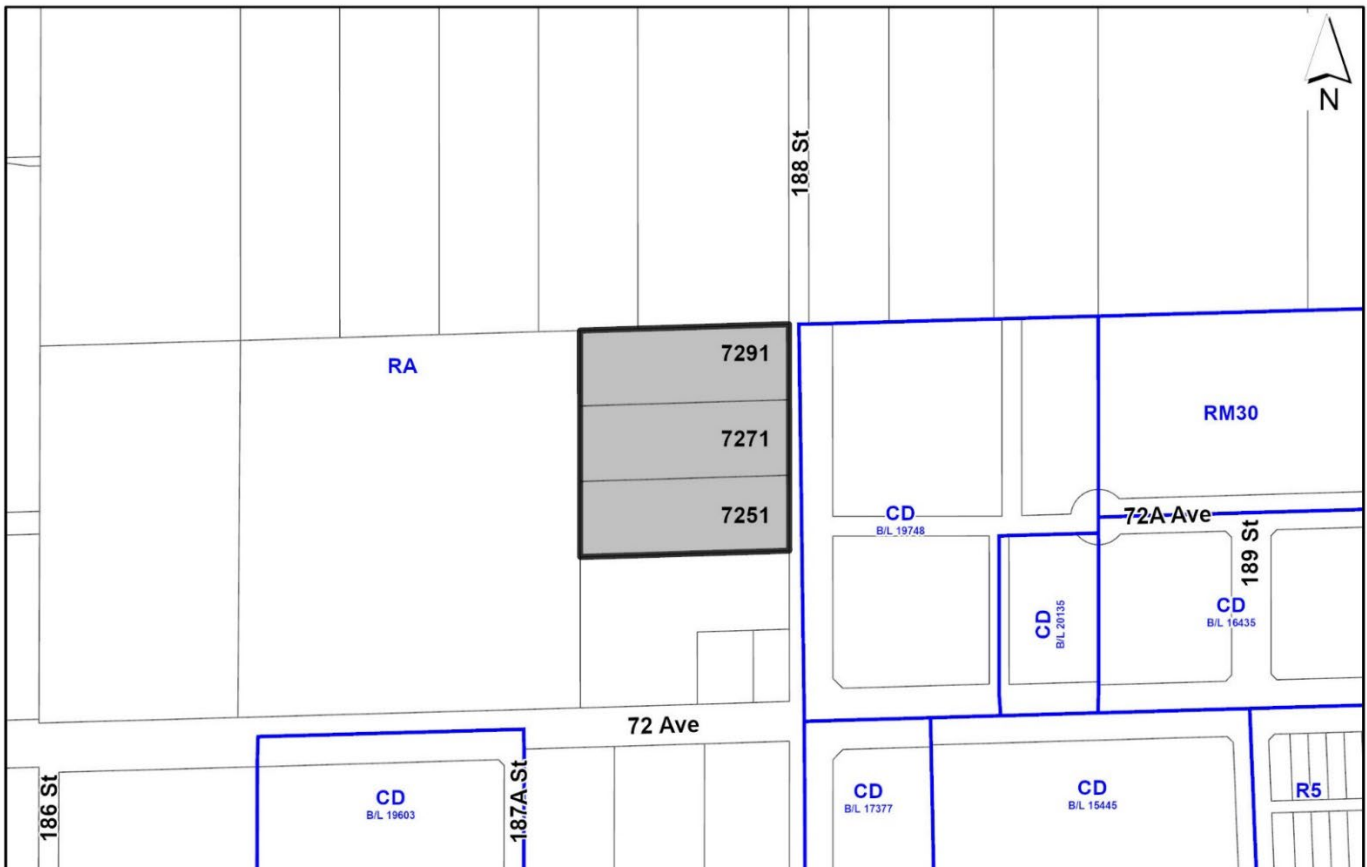
to permit the development of two six-storey residential buildings containing approximately 375 dwelling units over underground parking on a consolidated site in West Clayton.

LOCATION: 7251 - 188 Street
7271 - 188 Street
7291 - 188 Street

ZONING: RA

OCP DESIGNATION: Commercial

NCP DESIGNATION: Neighbourhood Commercial



RECOMMENDATION SUMMARY

- File OCP Amendment By-law No. 20636 and Rezoning By-law No. 20637 and close Land Development Project No. 7921-0200-00.
- Bylaw Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from "Commercial" to "Multiple Residential" and an OCP Text Amendment to increase the maximum density permitted in the "Multiple Residential" designation.
- Proposing an amendment to the West Clayton Neighbourhood Concept Plan (NCP) from "Neighbourhood Commercial" to "Low-Rise Residential".

RATIONALE OF RECOMMENDATION

- The proposal complies with the "General Urban" designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed OCP Amendment from "Commercial" to "Multiple Residential" more accurately reflects the residential land use proposed on the subject site as well as the elimination of the approximately 1,389 square metres of ground floor commercial/retail space proposed under Development Application No. 7921-0200-00. The proposed OCP Amendment is supportable, given the proximity of the subject site to the provincial Transit-Oriented Area (TOA) associated with the forthcoming Hillcrest – 184 Street SkyTrain Station along Fraser Highway and the provision of a diversity of housing types with a proposed 375 dwelling units.
- The proposal does not comply with the "Neighbourhood Commercial" designation of the subject site under the West Clayton NCP. However, the proposed NCP Amendment is supportable given that the proposed density and building form are appropriate for the Village Centre Node with the provision of an appropriate community amenity contribution.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density above what is permitted under the OCP.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the West Clayton Neighbourhood Concept Plan (NCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file OCP Amendment By-law No. 20636 and Rezoning By-law No. 20637 and close Land Development Application No. 7921-0200-00.
2. An OCP Bylaw be introduced to:
 - (a) amend OCP Figure 3: General Land Use Designations for the subject site from Commercial to Multiple Residential;
 - (b) amend Table 7A: Land Use Designations by adding the following site-specific notation:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
"Bylaw # xxxxx	Multiple Residential	7251 – 188 Street 7271 – 188 Street 7291 – 188 Street	Density permitted up to 2.9 FAR

- (c) amend the OCP Figure 42: Major Employment Areas by removing the Commercial designation for the subject site; and a date be set for Public Hearing.
3. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
4. A Bylaw be introduced to rezone the subject site from "Acreage Residential Zone (RA)" to "Comprehensive Development Zone (CD)", and a date be set for Public Hearing.
5. Council authorize staff to draft Development Permit No. 7924-0293-00 generally in accordance with the attached drawings (Appendix I).
6. Council instruct staff to resolve the following issues prior to Final Adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;

- (d) review of the project by the Advisory Design Panel and resolution of design comments to the satisfaction of the General Manager, Planning & Development Department;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (h) the applicant obtain authorization from neighbouring property owners for the removal of any off-site trees as part of the proposed development;
 - (i) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (j) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption
 - (k) provision of cash-in-lieu or other demand management measures to address the shortfall in residential parking spaces to the satisfaction of the General Manager, Engineering;
 - (l) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (m) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department.
7. Council pass a resolution to amend the West Clayton Neighbourhood Concept Plan (NCP) to redesignate the land from "Neighbourhood Commercial" to "Low-Rise Residential" when the project is considered for Final Adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site:	Existing acreage residential lots	Neighbourhood Commercial	RA
North:	Development Application Nos. 7916-0221-00 (Third Reading) and 7917-0198-00 (Pre-Council), both proposing townhouses	High Density Cluster and Green Density Transfer	RA
East (Across 188 Street):	Five-storey mixed-use building and three-storey townhouse units	High-Density Residential and Mixed-Use Commercial / Residential in the East Clayton NCP (North Extension)	CD (Bylaw No. 19748)
South:	Acreage residential lot	Neighbourhood Commercial	RA
West:	Development Application No. 7918-0001-100 (Third Reading) to allow 15 R4 lots, two lots to be conveyed to the City for riparian and biodiversity protection purposes, and one remnant lot for future redevelopment	Townhouse / Apartment Flex	RA

Context & Background

- The 1.21-hectare subject site is comprised of three existing acreage residential lots, 7251, 7271 and 7291 – 188 Street, which are currently designated "Commercial" in the Official Community Plan (OCP), "Neighbourhood Commercial" in the West Clayton Neighbourhood Concept Plan (NCP) and zoned "Acreage Residential Zone (RA)".
- The "Neighbourhood Commercial" designation in the West Clayton NCP allows for a base floor area ratio (FAR) of 0.5, based on the net site area, with an additional density of up to 0.3 FAR for the subject site as per Section 3.3.2 of the West Clayton NCP.
- A proposal to rezone the subject site to permit the development of a six-storey mixed-use building containing approximately 1,480 square metres of ground floor commercial and 210 dwelling units was previously considered by Council under Development Application No. 7921-0200-00. The OCP Amendment and Rezoning By-laws associated with this application were granted Third Reading (Conditional Approval) at the Regular Council – Public Hearing meeting on May 30, 2022 (RES.R22-1014 and RES.R22-1015).
- As the subject application proposes to rezone the subject site to permit additional density from what was originally supported by Council, the previous application is required to be closed should Council grant First and Second Reading of the new OCP Amendment and Rezoning By-laws.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of two six-storey residential buildings, containing approximately 375 dwelling units over two levels of underground parking on a consolidated site in West Clayton, the applicant is proposing the following:
 - **OCP Amendment** from "Commercial" to "Multiple Residential";
 - **OCP Text Amendment** to permit a higher density of 2.9 FAR under the "Multiple Residential" designation;
 - **NCP Amendment** from "Neighbourhood Commercial" to "Low Rise Residential" under the West Clayton NCP;
 - **Rezoning** from RA to CD (based on RM-70);
 - **Development Permit** for Form and Character; and
 - **Subdivision (Consolidation)** from three lots to one lot.

	Proposed
Lot Area	
Gross Site Area:	1.212 hectares
Road Dedication:	0.2475 hectares
Net Site Area:	0.9650 hectares
Number of Lots:	1
Building Height:	6 storeys (23 metres)
Floor Area Ratio (FAR):	2.27 FAR (Gross), 2.9 FAR (Net)
Floor Area	
Residential:	27,454 square metres
Residential Units:	
Studio:	85 dwelling units (23% of total units)
1-Bedroom:	203 dwelling units (54% of total units)
2-Bedroom:	74 dwelling units (20% of total units)
3-Bedroom:	13 dwelling units (3% of total units)
Total:	375 dwelling units

Referrals

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 59 school-aged children generated by this development, of which the School District has provided the following expected student enrollment:

34 Elementary students at Regent Road Elementary School
15 Secondary students at Ecole Salish Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

Parks, Recreation & Culture: Clayton Park is the closest active park and contains amenities including a dog off-leash area, outdoor sports fields, outdoor sport courts, a playground and several natural areas. Clayton Park is approximately 500 metres walking distance from the subject site.

Surrey Fire Department: No concerns. Comments provided are to be addressed as part of the subsequent Building Permit application.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are six storeys or less, and supported by City staff, to proceed to Council for Bylaw introduction, without review and/or comment from the ADP.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

Road Network and Infrastructure:

- The applicant will be required to provide the following improvements to service the subject development proposal:
 - Dedicate at least 10 metres along 73 Avenue for ultimate 20 metre road allowance and construct the south side of 73 Avenue;
 - Dedicate 1.942 metres along 188 Street to achieve 12 metre road allowance from centreline and construct the west side of 188 Street;
 - Dedicate 11.5m along 187A Street for ultimate 20 metre road allowance and construct the east side of 187A Street;
 - Dedicate 3.0m x 3.0m corner cut at 187A St. and 73 Ave, and 73 Ave and 188 St; and
 - Complete additional works as outlined in the Engineering Requirements included in Appendix II.

Access and Parking:

- Vehicle access to the underground parking is located at the southwest corner of the site via the new 187A Street.
- The subject site is located outside of a transit-oriented area (TOA), but within the 50-metre buffer of a TOA as per Part 5 of the Zoning Bylaw. Parking is therefore required for the subject site, but can be considered at a reduced rate of 0.9 spaces per dwelling unit for residential and 0.1 for visitors.
- A total of 400 parking spaces are proposed, which exceeds the requirement of 376 (338 residential and 38 visitors) based on the 0.9 and 0.1 parking rates. Bicycle parking also exceeds to the minimum requirement (see CD Bylaw Section).
- The applicant has agreed to contribute towards a bus shelter at the intersection of 72 Ave and 188 Street as a Transportation Demand Measure (TDM) to qualify for the reduced parking rates (0.9 spaces per dwelling unit for residential and 0.1 for visitors).

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

School Capacity Considerations

- The School District has advised that as of September 2024, Regent Road is at 56% capacity. Currently, both Regent Road and Maddaugh Elementary that opened in 2021 can handle student population growth over the coming years that is planned for in the current Clayton Plans. The enrolment projections will need to be updated with the coming changes to the Clayton Corridor plan and the recent changes to Provincial legislation. Future schools will be required to accommodate these changes.
- The School District has advised that as of September 2024, École Salish is at 104% capacity. This school was built to relieve enrolment pressure at both Lord Tweedsmuir and Clayton Heights Secondary. Salish is projected to continue to grow because of the strong in-migration of new secondary students moving into the community. Future expansions or new capacity will be required in the area.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed development complies with the current "General Urban" designation of the subject site under Metro Vancouver's Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The subject site is designated "Commercial" in the Official Community Plan (OCP). An OCP Amendment from "Commercial" to "Multiple Residential" and an OCP Text Amendment to increase the allowable density under the "Multiple Residential" designation for the subject site are proposed.

Amendment Rationale

- The proposed OCP Amendment from "Commercial" to "Multiple Residential" more accurately reflects the residential land use proposed on the subject site as well as the elimination of the approximately 1,389 square metres of ground floor commercial/retail space proposed under Development Application No. 7921-0200-00. The proposed OCP Amendment is supportable given the proximity of the subject site to the future 184 Street – Hillcrest SkyTrain Station along Fraser Highway to the southwest and the provision of a greater diversity of housing types in the West Clayton Plan area with the proposed 375 dwelling units.
- The maximum allowable Floor Area Ratio (FAR) in the OCP under the "Multiple Residential" designation is 1.5 FAR for sites not within a Frequent Transit Development Area or Urban Centre as well as those abutting a Frequent Transit Network, which the subject site is not.
- Additional density may be granted with the provision of sufficient community amenities in accordance with City policies. The proposed FAR, based on the net site area, is 2.9. The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per square metre flat rate for the floor area above the OCP in order to satisfy the proposed amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (OCP Policy A1);
 - Accommodate higher density development near Frequent Transit Corridors at density sufficient to encourage commercial development and transit service expansions (A2);
 - Encourage development in urban neighbourhoods to utilize existing infrastructure and amenities and to enhance existing neighbourhood character and viability (A3);
 - Encourage Development that supports increased transit, pedestrian walkability, and bicycle access (B3);

- Develop complete, accessible, and walkable green neighbourhoods with sufficient densities to support a high-quality transit system that is accessible to most residents (B4); and
- Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods (B6).

Secondary Plans

Land Use Designation

- The subject site is designated "Neighbourhood Commercial" in the West Clayton NCP. An NCP Amendment from "Neighbourhood Commercial" to "Low-Rise Residential" is proposed.

Amendment Rationale

- The "Neighbourhood Commercial" designation in the West Clayton NCP allows for a base floor area ratio (FAR) of 0.5, based on the net site area, with an additional density of up to 0.3 FAR for the subject site as per Section 3.3.2 of the West Clayton NCP.
- The proposed NCP Amendment, which would support densities of up to 2.5 FAR based on the gross site area, is supportable given that the proposed density and building form are appropriate for the Village Centre Node with the provisions of an appropriate community amenity contribution.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per square metre flat rate for the floor area above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

CD Bylaw

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Floor Area Ratio:	1.5 (Net)	2.9 (Net)
Lot Coverage:	33%	50%
Yards and Setbacks	7.5 m from all lot lines	North: 5.0 m East: 4.7 m South: 4.5 m West: 4.7 m
Principal Building Height:	50 m	23 m
Permitted Uses:	<ul style="list-style-type: none"> Multiple unit residential buildings and ground-oriented multiple residential buildings Accessory child care centres 	<ul style="list-style-type: none"> Multiple unit residential buildings
Amenity Space		
Indoor Amenity:	3.0 sq.m. per dwelling unit (1,125 sq.m. in total)	The proposed 1,038 m ² + CIL meets the Zoning By-law requirement
Outdoor Amenity:	3.0 sq.m. per dwelling unit (1,125 sq.m. in total)	The proposed 2,660 m ² meets the Zoning By-law requirement
Parking (Part 5)	Required	Proposed
Number of Stalls (based on 0.9 spaces per dwelling unit for residential and 0.1 for visitors)		
Residential:	338	362
Residential Visitor:	38	38
Total:	376	400
Accessible (2%):	8	8
Small Car (35%):	131	131
Bicycle Spaces		
Long-Term Residential:	450	520
Short-Term Visitor:	24	24

- The Floor Area Ratio (FAR) has been increased from 1.5 FAR (Net) under the RM-70 Zone to 2.9 FAR (Net) in the proposed CD Zone in order to accommodate the proposed development.
- The maximum lot coverage has been increased from 33% under the RM-70 Zone to 50% in the proposed CD Zone in order to accommodate the proposed built form, which is generally consistent with other six-storey apartment building developments in West Clayton.
- The reduced setbacks along all street frontages (73 Avenue, 187A Street and 188 Street) achieve a more urban, pedestrian-oriented streetscape, which is consistent with the goals and objectives of the urban design guidelines in both the OCP and West Clayton Plan area.
- The maximum building height has been reduced from 50.0 metres under the RM-70 Zone to 23 metres under the proposed CD Zone to align with the proposed six-storey building form.

- The indoor and outdoor amenity space requirements of the proposed CD Zone are consistent with the requirements of the RM-70 Zone and Part 4 "General Provisions" of the Surrey Zoning Bylaw.
- The applicant is proposing to provide approximately 362 residential and 38 visitor parking spaces, exceeding the reduced rate of 0.9 residential parking spaces per dwelling unit and 0.1 visitor parking spaces per dwelling unit.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No. R046; 2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance. The current rate is \$2,227.85 per new dwelling unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation.
- The applicant will be required to provide the per square metre flat rate for residential floor area above the approved Secondary Plan in order to satisfy the proposed NCP Amendment. The Tier 2 Community-Specific Capital Project contribution will be payable at the rate applicable at the time of Final Adoption of the subject Rezoning By-law with the current contribution amount of Clayton being \$419.65 per square metre for apartments.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-Notification letters were sent on November 12, 2024, and a Development Proposal Sign was installed on the subject site on November 15, 2024. To date, staff have not received any responses from neighbouring residents.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character. The proposed development generally complies with the Form and Character Development Permit guidelines.
- The unit mix consists of 85 studio units, 203 one-bedroom, 74 two-bedroom and 13 three-bedroom units. The dwelling units will range in size from 37 square metres for a studio unit to approximately 93 square metres for the largest three-bedroom unit.
- The proposed apartment buildings embody a contemporary architectural form, establishing a strong street presence with clean, flat rooflines. The material palette is thoughtfully selected to complement the surrounding context while reinforcing the modern design approach. Vertical cementitious panel siding, presented in a variety of colours and finishes, integrates seamlessly with textured brick cladding and concrete columns, adding depth and visual interest. This composition enhances the façade's articulation, ensuring a human-scaled design that fosters a dynamic and engaging streetscape.
- The building design responds to the site's natural slope from east to west, creating a stepped architectural form. This tiered approach, combined with extended roof overhangs and overlapping balconies, enhances façade articulation adding depth and visual interest.
- The top two floors of the buildings are stepped back and clad in white panel siding, contrasting with the darker brown earth tones of the lower floors. This design approach creates a visually distinct upper volume, enhancing the architectural composition and reducing the perceived mass of the building.
- The applicant has collaborated with staff to refine the design, enhancing the public realm interface by revising the massing, simplifying the materials, and refining the overall expression to better align with the surrounding neighbourhood context.

Indoor Amenity

- The applicant is proposing 1,038 square metres of indoor amenity, which does not meet the requirement of 1,125 square metres as per the Zoning Bylaw. Cash-in-lieu for the shortfall of 87 square metres is required.
- There are a total of six amenity rooms proposed throughout the development – three in each building. Four of the rooms are located on the ground floor adjacent to the outdoor amenity space areas, while the remaining two are located on the sixth floor next to the outdoor amenity spaces on the rooftop.
- The applicant will work with their team to provide the appropriate programming of these indoor amenity spaces.

Outdoor Amenity

- The applicant is proposing 2,660 square metres of indoor amenity, which meets the requirements of the Zoning Bylaw.
- The two proposed six-storey buildings surround an internal outdoor amenity space area located on the ground floor, while a smaller rooftop amenity space is also proposed.
- The ground floor space consists of a community garden, outdoor kitchens, lounge eating areas, lawn area and playground. The rooftop space consists of putting greens, exercise area and lounge seating.

Outstanding Design Items

- Resolve all outstanding urban design and landscaping issues, with a focus on clarifying public realm interfaces, including site utility infrastructure, plazas, and landscape treatments along site edges, particularly the south property line and corners.
- Refine grading to eliminate any sunken interfaces along the public thoroughfare, ensuring a cohesive streetscape.
- Enhance architectural expression and consistency by refining elevations, material applications, and key building elements.
- The applicant has been provided a full, detailed list identifying the requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Dean Bernasch, ISA Certified Arborist of Diamond Head Consulting prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix IV):

- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	26	26	0
Alder/Cottonwood (within riparian area)	N/A	N/A	N/A
Deciduous Trees	26	26	0
Coniferous Trees	58	58	
On-site Tree Totals	110	110	0
On-site Replacement Trees Proposed	73		
Total On-site Retained and Replacement Trees	73		

- The Arborist Assessment states that there are a total of 84 bylaw protected trees on the site. The assessment also states that 12 off-site trees are impacted by the proposed development.
- Potential tree retention was assessed taking into consideration the location of services, building footprint, underground parking and road dedication, and unfortunately no trees can be retained on the subject site. The applicant will need to obtain authorization from the neighbouring property owners for the off-site tree removals.
- The applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 194 replacement trees on the site. Since only 73 replacement trees can be accommodated on the site, the proposed deficit of 121 replacement trees will require an estimated cash-in-lieu payment of \$66,550, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- New trees on the site will consist of a variety of trees including maple, magnolia, pine and red oak.
- In summary, a total of 73 trees are proposed to be replaced on the site with an estimated contribution of \$66,550 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Proposed Site Plan, Building Elevations, Civil Plans and Landscape Plans
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. OCP Redesignation Map – Figure 3 and Figure 42
- Appendix VI. West Clayton NCP Land Use Map

approved by Chris McBeath

Ron Gill
General Manager
Planning and Development

DN/cb



188TH ST. DEVELOPMENT

188TH ST, SURREY, BC
ISSUED FOR DEVELOPMENT PERMIT

31.01.2025



PROJECT DATA

PROJECT	STEELIX 188TH
PROPOSED ZONING	CD BASED ON C-5, RM-70
DATA BASED ON ZONING	
CIVIC ADDRESS	LOT 4 PLAN 1390 - 7291 188TH STREET, SURREY, BC P.L.D. 009-912-231 LOT 47 PLAN 36086 - 7271 188TH STREET, SURREY, BC P.L.D. 002-563-339 LOT 48 PLAN 36086 - 7251 188TH STREET, SURREY, BC P.L.D. 007-259-085
LEGAL DESCRIPTION	LOT 4 PLAN 1390, LOTS 47 AND 48 PLAN 36086, ALL OF SECTION 21, TOWNSHIP 8, NEW WESTMINSTER DISTRICT
LDT AREA	12,124.9 sq m
SITE AREA	9,649.93 sq m
ZONING AVERAGE GRADE	73.44 m
PROPOSED BUILDING HEIGHT TO LOWEST GRADE (71.68)	23.0m [6 STOREYS]
PROPOSED BUILDING HEIGHT TO AVG. GRADE (73.44)	21.21m [6 STOREYS]
FAR (REQUIRED)	2.5
FAR GROSS	2.27
FAR NET	2.9
LDT COVERAGE MAXIMUM	50%
LDT COVERAGE PROVIDED	50%
OUTDOOR AMENITY (REQUIRED)	3.0 sq m PER DWELLING UNIT
OUTDOOR AMENITY (PROVIDED)	2660 sq m
INDOOR AMENITY (REQUIRED)	3.0 sq m PER DWELLING UNIT
INDOOR AMENITY (PROVIDED)	1,038 sq m

SETBACKS (REF. TO DD1.0)

REQUIRED ZONING SETBACK	FRONT (EAST) = MIN. 7.5m; REAR (WEST) = MIN. 7.5m; NORTH = MIN. 7.5m; SOUTH = MIN. 7.5m
NORTH SETBACK	5m
NORTH BALCONY ENCROACHMENT	0m
EAST SETBACK	4.7m
EAST BALCONY ENCROACHMENT	0m
SOUTH SETBACK	4.5m / 10m
SOUTH BALCONY ENCROACHMENT	0m
WEST SETBACK	4.7m
WEST BALCONY ENCROACHMENT	0m

UNIT COUNT SUMMARY

	COUNT	UNIT TYPE %	AREA sq ft	COMMENTS
STUDIO	27	7%	400-420 sq ft	
JR 1 BED	58	15%	425-450 sq ft	
1 BED	69	18%	480-550 sq ft	
1 BED+	59	16%	575-625 sq ft	
JR 2 BED	75	20%	675-725 sq ft	
2 BED	49	13%	750-800 sq ft	
2 BED+	25	7%	825-850 sq ft	
3 BED	13	3%	875-1000 sq ft	
TOTAL UNIT COUNT	375	100%		

GROSS FLOOR AREA SUMMARY

	AREA SF	AREA m2
LEVEL 00	23,390	2,173
LEVEL 01	49,415	4,591
LEVEL 02	51,460	4,781
LEVEL 03	51,460	4,781
LEVEL 04	50,820	4,721
LEVEL 05	46,730	4,341
LEVEL 06	22,240	2,066
TOTAL AREA	295,515	27,454

BIKE PARKING (REQUIRED)

BIKE STALLS (RESIDENT / UNIT)	375	x	1.2	=	450
BIKE STALLS (VISITOR / BLDG)		x	6 bike stalls [x4 buildings]	=	24

COMMERCIAL BIKE STALLS

TOTAL BIKE STALLS (REQ.)	474
TOTAL BIKE STALLS (PROVIDED)	544

NOTE: 50% OF VISITOR PARKING SPACES AND 20% OF COMMERCIAL PARKING SPACES TO BE LEVEL 2 OR A HIGHER EV CHARGING.

PARKING (REQUIRED)

REQUIRED, COMBINED (BYLAW REQUIREMENT)				
	UNITS	FACTOR	TOTAL	NOTES
RESIDENTIAL				
STUDIO	27	x 0.9	= 24	
JR 1 BED	58	x 0.9	= 52	
1 BED	69	x 0.9	= 62	
1 BED+	59	x 0.9	= 53	
JR 2 BED	75	x 0.9	= 68	
2 BED	49	x 0.9	= 44	
2 BED+	25	x 0.9	= 23	
3 BED	13	x 0.9	= 12	
TOTAL REQUIRED	375	x 0.9	= 338	
SMALL CAR MAX (35%)	338	x 35%	= 118	
ACCESSIBLE (2%)	338	x 2%	= 7	3 VAN
RESIDENTIAL VISITORS				
	375	x 10%	= 38	
SMALL CAR MAX (35%)	38	x 35%	= 13	
ACCESSIBLE (2%)	38	x 2%	= 1	1 VAN
TOTAL STALLS (REQ.)			375	
TOTAL STALLS (PROVIDED)			400	

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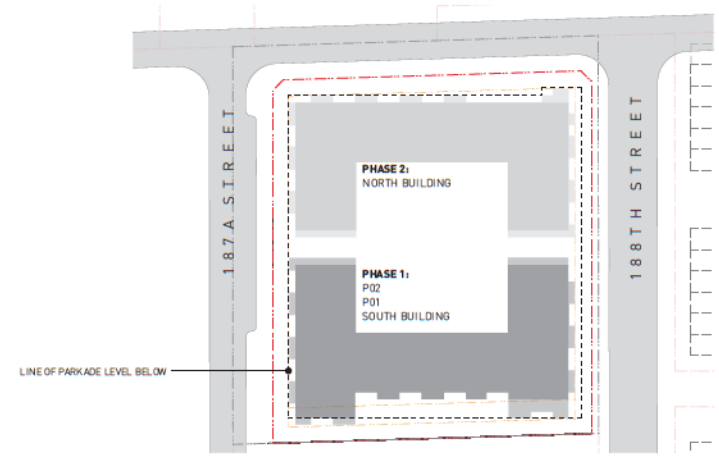
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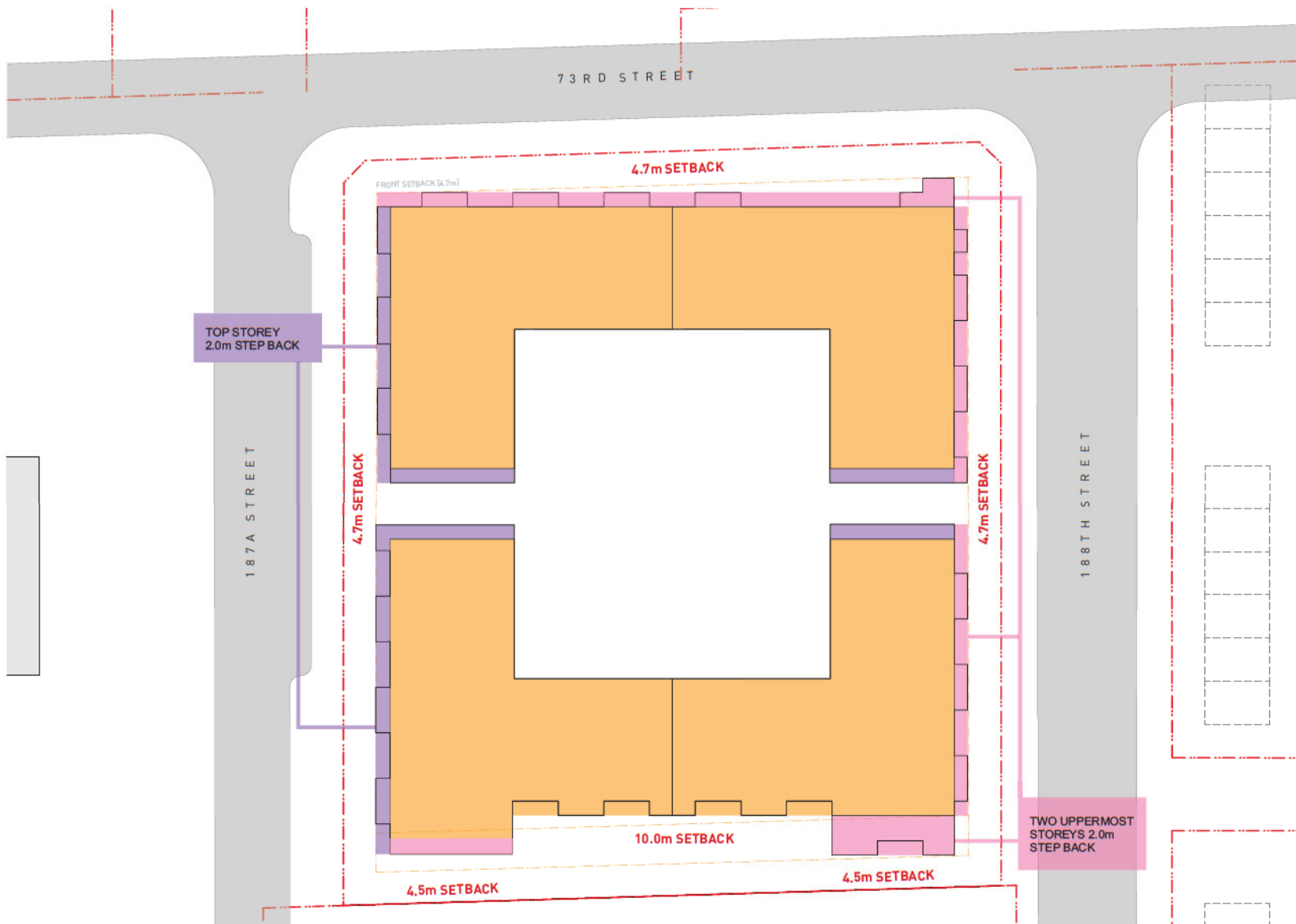


STEELIX 188TH

7291, 7271, 7251 188th Street, Surrey, BC
PROJECT STATS Project: 0642
Sheet: ADP0.1



1 PROJECT PHASING
ADP0.1 SCALE: 1:1000



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1 SITE PLAN - SETBACK COMPLIANCE
 ADP0.4 SCALE: 1/32" = 1'-0"

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STEEL IX 188TH
 7291, 7271, 7251 188th Street, Surrey, BC
 Project: 0462
 Sheet: 04
 ADP0.4



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DESIGN RATIONALE

Site Description

West Clayton is envisioned as a compact, walkable, transit-supportive urban neighbourhood. The project site is located just north of the intersection of 72 Avenue and 188 Street, which is described as a Village Node under the West Clayton Neighbourhood Concept Plan (NCP). The property consists of three separate parcels that will be amalgamated into a Comprehensive Development Zone (CD), in order to redevelop the site into a vibrant mixed-use, pedestrian-friendly environment. Nearby amenities include existing and proposed commercial businesses at the village intersection, as well as Clayton Park and the new Clayton Community Centre.

Amendments to both the Official Community Plan (OCP) for Surrey and the West Clayton NCP are required, from Commercial to Mixed Use Commercial/ Residential. This designation is intended for medium-rise multiple unit residential buildings and related amenity spaces, with commercial use integrated into the same building.

Project Description

The mixed-use courtyard project consists of two phases of 187 residential units ranging between studio and three bedrooms over two levels of shared underground parking. The maximum building height is six storeys in keeping with NCP guidelines, with steps in the roof elevation as required to suit surrounding grade.

Residential Units

The residential unit count includes a majority of one bedroom suites, as well as studio, two bedroom and three bedroom units, ranging between 400 and 950 square feet (37m² and 88m²). This variety supports a range of income levels, tenant demographics and family types, contributing to the West Clayton vision for a community that is inclusive, integrated and diverse. Along 187a Street, six one level walk-up units have direct access to the exterior, buffered from the sidewalk by a generous setback and a five foot deep balcony projection. There are also six garden suites facing the courtyard, complete with ground-oriented patios. From levels two to four, unit types are dispersed across each floor plate, with larger units typically located at building corners and on the top building level. Residential floors are complemented by a mix of private indoor and outdoor amenity spaces.

Indoor Amenity Space

On the ground floor, 50% of the required indoor amenity space is provided via a large flex room that has direct access to the development's central courtyard, as preferred by both the developer and the City of Surrey. This multi-purpose amenity space has its own entrance from the lobby and is supplied with covered bike parking for visitors. The remaining required indoor amenity space is dispersed throughout main floor and rooftop. On the sixth floor, an extensive rooftop terrace with unimpeded views occupies the west portion of the building, paired with an adjacent indoor flex room for residents.

Massing, Form & Character

This multi-family courtyard development will enhance and extend the West Clayton village centre atmosphere provide much-needed housing for a diverse demographic and incorporate a generous outdoor green space.

The centre of the building footprint is hollowed out to create a 13,000 square foot (1200m²) terraced courtyard, with separate access points from 188 Avenue and 187a Street, respectively. The internal courtyard is a safe, welcoming and communal gathering place that combines a sense of privacy for

residents with a strong community atmosphere, promoting social connection and overall wellbeing. The courtyard is programmed with garden plots for tenants, seating areas, public art, a commercial patio and storm water retention planters.

The building has been broken into 2 'U' shaped masses that will also be constructed in phases. By providing 2 distinct masses, while also articulating each building through lobbies, change in plane and material, the buildings overall impact on the neighbourhood and street experience has been broken down to match the surrounding community. In addition to the building shape in plan, the buildings have also been stepped in section, relating to the sidewalk. The ground floors protrudes the most, and also ave grade access to suites and patios to create a strong and inviting pedestrian edge. The buildings then step back above the pedestrian level to reduce shadow and visual impact on the sidewalk, with an additional setback at portions of floor 5 and 6 to further limit the shadow on the sidewalk.



STEELIX 1887H

7201, 7201, 7251 188th St west, Surrey, BC
 DESIGN RATIONALE Project
 04/23 Sheet

ADP0.8



SITE DESIGN

Grading Design

The site has an approximate grade change of 13 feet (4m) when measured diagonally from the highest point in the SE corner to the lowest point near the NW corner. As a result, the main floor of the building must respond to these changes in elevation to ensure accessibility on all sides with no blank building faces along primary street edges. Following the slope of the site with the building design also serves to optimize parkade construction by reducing the amount of excavation required.

Landscape Design

Refer to the attached Design Rationale from VDZ+A Landscape Architecture for a full description of the landscape approach for this project.

Accessibility

The two primary entrances to the central courtyard provide accessible access points from the public sidewalk. All residential units from levels two to six are accessible and have elevator access that connects to both the residential lobbies and the parkade, which is also accessible throughout.

Circulation + Parking

Due to the site having roads on three sides with no rear lane, vehicular access is provided via a new vehicular approach, parallel to the south property line. The parkade entrance, refuse pickup and loading are all accessed via this approach. Within the parkade, two levels provide a total of 400 internal parking stalls. In addition, secure bike stalls are supplied in the parkade as well as outdoor stalls for visitor use, located by entrance lobbies and the ground floor amenity space. As requested by the City, a landscape buffer and pedestrian sidewalk have been incorporated along the south property line.

Crime Prevention (CPTED)

The three key principles of Crime Prevention Through Environmental Design (CPTED) are natural surveillance, access control and territorial reinforcement.

Natural surveillance is incorporated throughout the building perimeter, the interior courtyard and the surface parking area through the introduction of clear sightlines and "eyes on the street", residential windows, private balconies and shared decks. Primary entrances are clearly defined and fully glazed for high visibility. The interior of the parkade is fully accessible and well lit. Visitor parking is clearly designated. Building lobbies and the parkade are supplied with an electronic access control system.

Territorial reinforcement is provided through the paving design that connects the public sidewalk to the building entrances. Residential units with ground floor decks facing the street are walk-up style to delineate public from private space, and additional screening is incorporated for privacy. A large indoor amenity space for building residents opens directly onto the central courtyard, which is populated with diverse programmatic offerings to encourage active ownership of the space. Any internal building corners that are not practical for use are landscaped to discourage access.

ENVIRONMENTAL SUSTAINABILITY

Sustainability is addressed through a number of design strategies and interventions:

- A mixed-use, mid-rise building with a high density housing component makes more efficient use of municipal services and facilitates economies of scale in the delivery of mass transit. Density is an important strategy to help reduce carbon emissions.
- The use of wood frame construction has a lighter carbon footprint than steel.
- The addition of new trees on site helps reduce air pollution and provide carbon sequestration, complemented by new water efficient landscaping and outdoor amenity spaces that will aid in storm water management.
- The balcony design provides solar shading for most residential units, with passive ventilation supplied through operable windows.
- The existing grade change is maximized through the parkade design, reducing the need for extensive excavation.
- Generous bike storage supports active transportation for residents and visitors alike.
- Residential units include energy efficient appliances and lighting systems, as well as high efficiency HVAC systems and low-VOC paints and interior finishes.

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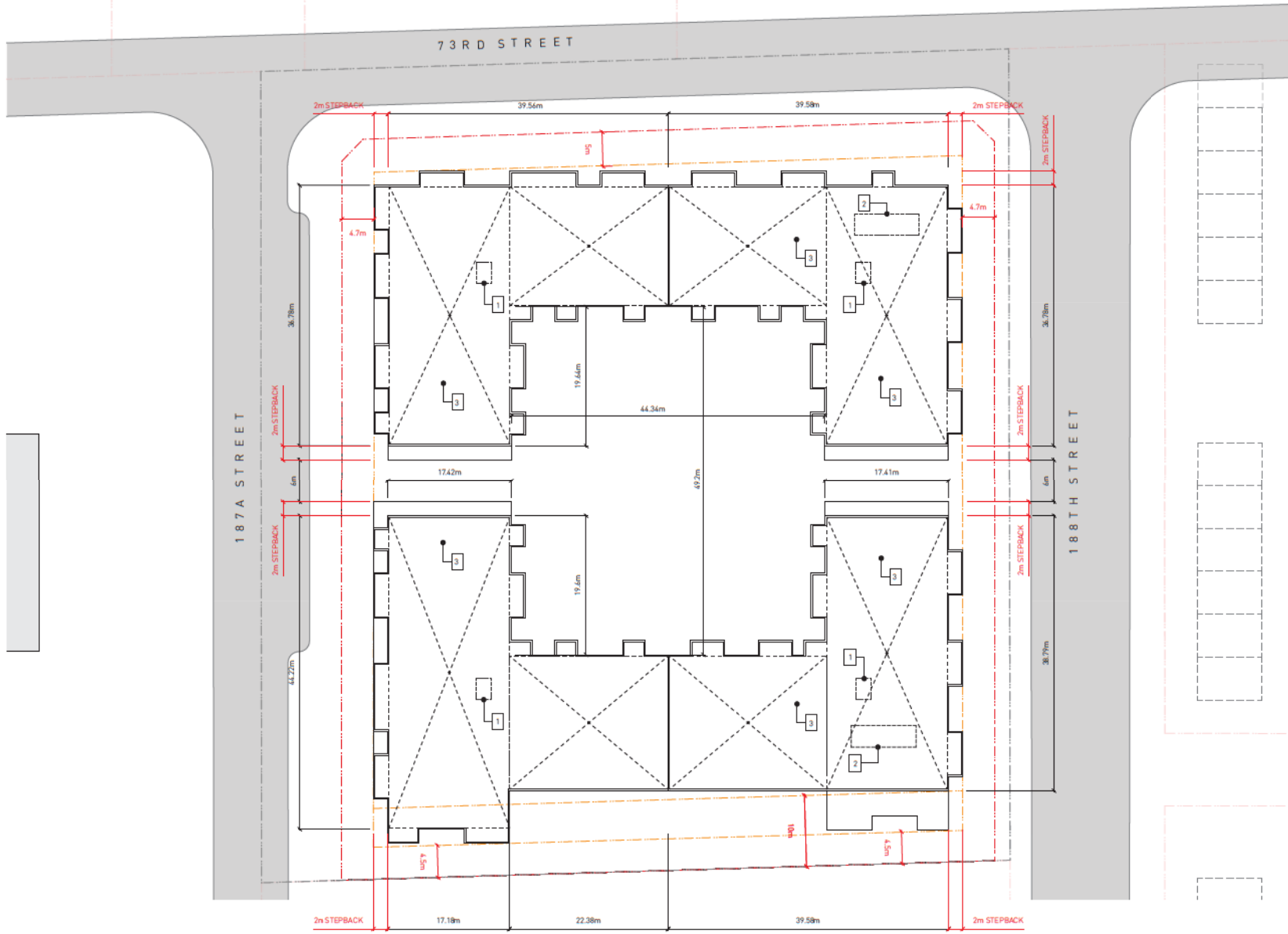
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STEELIX 188TH

7291, 7271, 7251 188th Street, Surrey, BC
 DESIGN RATIONALE Project 0462
 Sheet

ADP0.9



- KEYNOTE LEGEND**
- 1 ELEVATOR CAB
 - 2 MECHANICAL SYSTEMS COMPLETE WITH SCREENING (S.M. 2ADPO.6)
 - 3 LOW ALBEDO ROOF

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STEEL IX 188TH

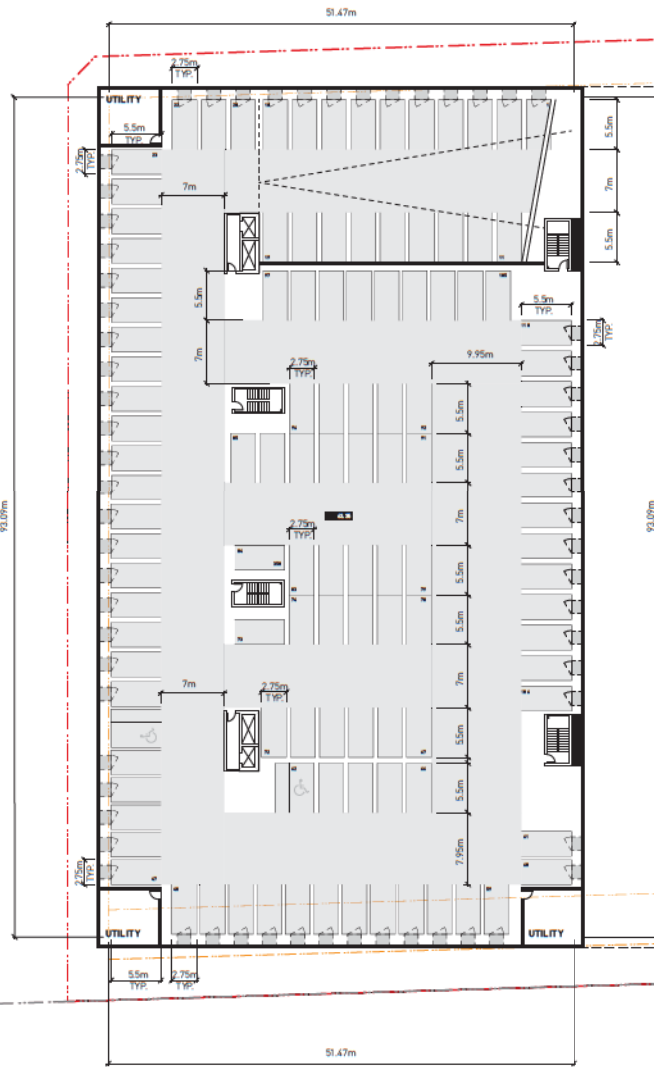
7291, 7271, 7251 188th Street, Surrey, BC
 SITE / ROOF PLAN Project: Steel
 ADP1.0 Sheet

1 SITE / ROOF PLAN
 ADP1.0 SCALE: 1/32" = 1'-0"

73RD STREET

187A STREET

188TH STREET



1 P02 PLAN
 ADP1.1 SCALE: 1/32" = 1'-0"

PARKING COUNT:

LEVEL 0:

- RESIDENT PARKING = 32
- VISITOR PARKING = 41
- RESIDENT BIKE PARK = 518
- VISITOR BIKE PARK = 26
- STORAGE LOCKERS = 158

LEVEL P01:

- RESIDENT PARKING = 209
- STORAGE LOCKERS = 93

LEVEL P02:

- RESIDENT PARKING = 118
- STORAGE LOCKERS = 64

TOTAL PARKING = 400
TOTAL BIKE PARKING = 544
TOTAL STORAGE LOCKERS = 315

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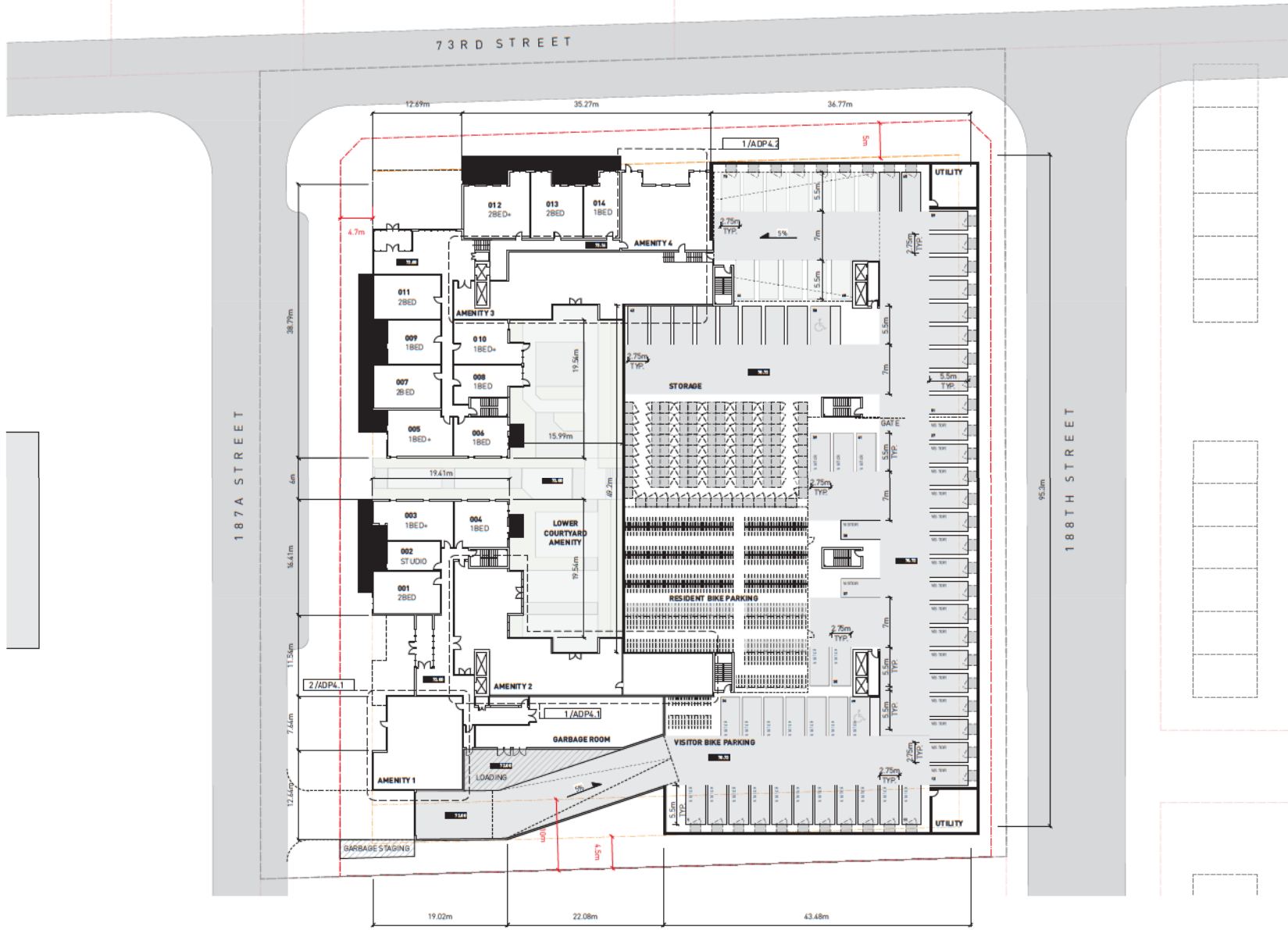
STEEL IX 188TH

7291, 7271, 7251 188th Street, Surrey, BC

P02 PLAN Project 0642

Sheet

ADP1.1



1 LEVEL 00 PLAN
ADP1.3 SCALE: 1/32" = 1'-0"

- PARKING COUNT:**
- LEVEL 0:**
 - RESIDENT PARKING = 32
 - VISITOR PARKING = 41
 - RESIDENT BIKE PARK = 518
 - VISITOR BIKE PARK = 26
 - STORAGE LOCKERS = 158
 - LEVEL P01:**
 - RESIDENT PARKING = 209
 - STORAGE LOCKERS = 93
 - LEVEL P02:**
 - RESIDENT PARKING = 118
 - STORAGE LOCKERS = 64
- TOTAL PARKING = 400**
TOTAL BIKE PARKING = 544
TOTAL STORAGE LOCKERS = 315

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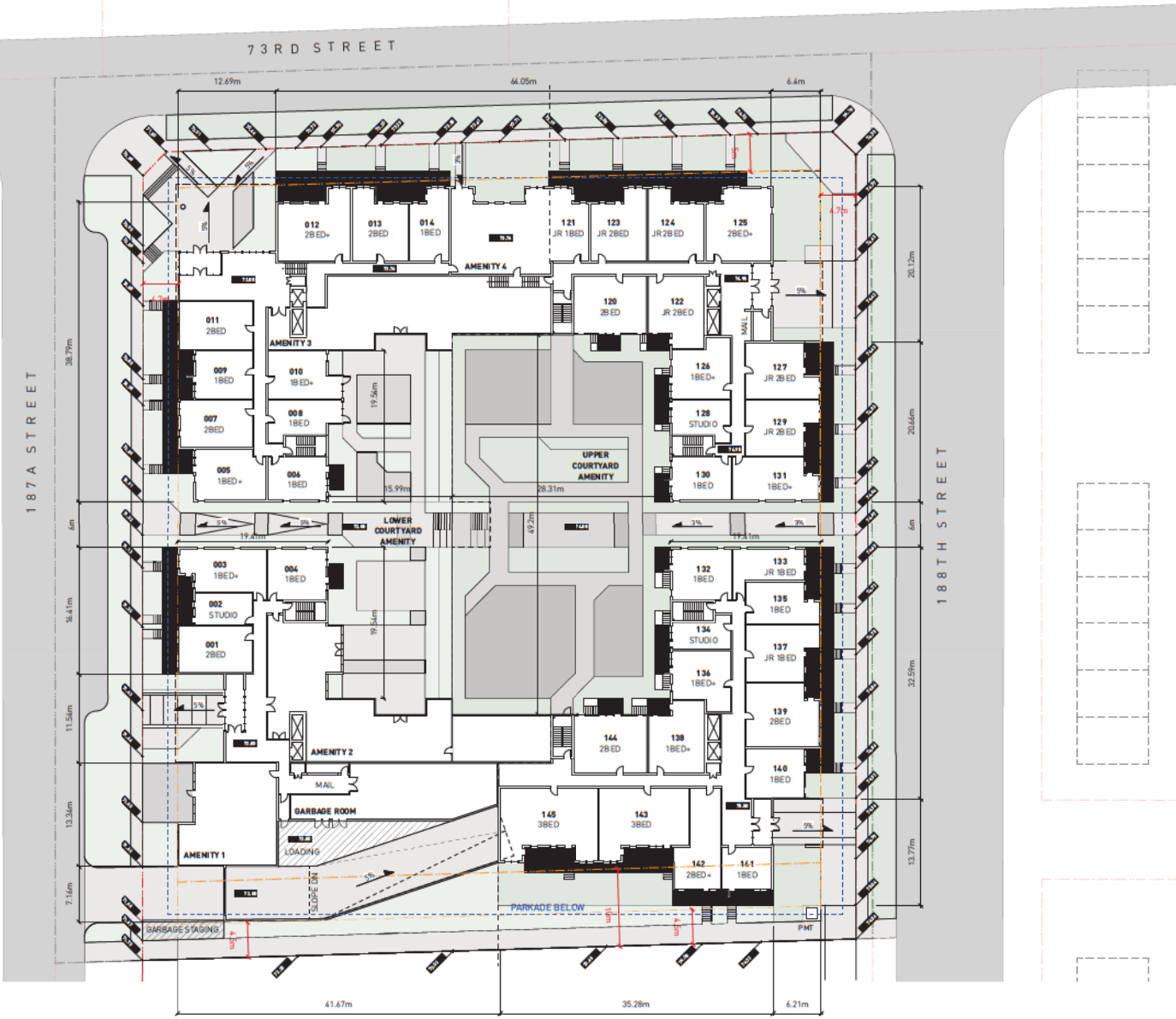
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1 LEVEL 00/01 PLAN
ADP1.4 SCALE: 1/32" = 1'-0"

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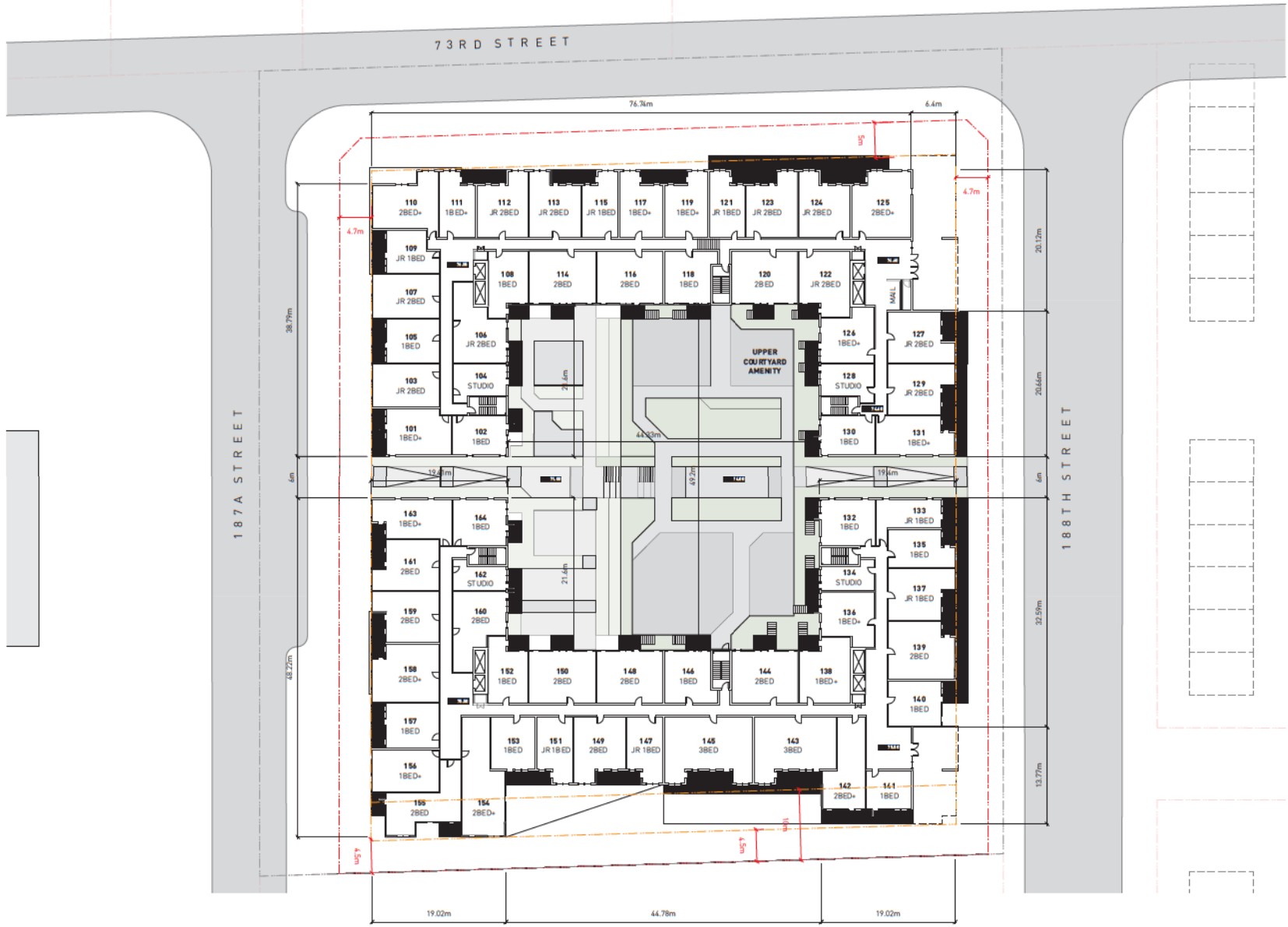
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LO0 / L01 AT GRADE PLAN
Project: 0662
Sheet: 06 of 06
ADP1.4



1 LEVEL 01 PLAN
ADP1.5 SCALE: 1/32" = 1'-0"

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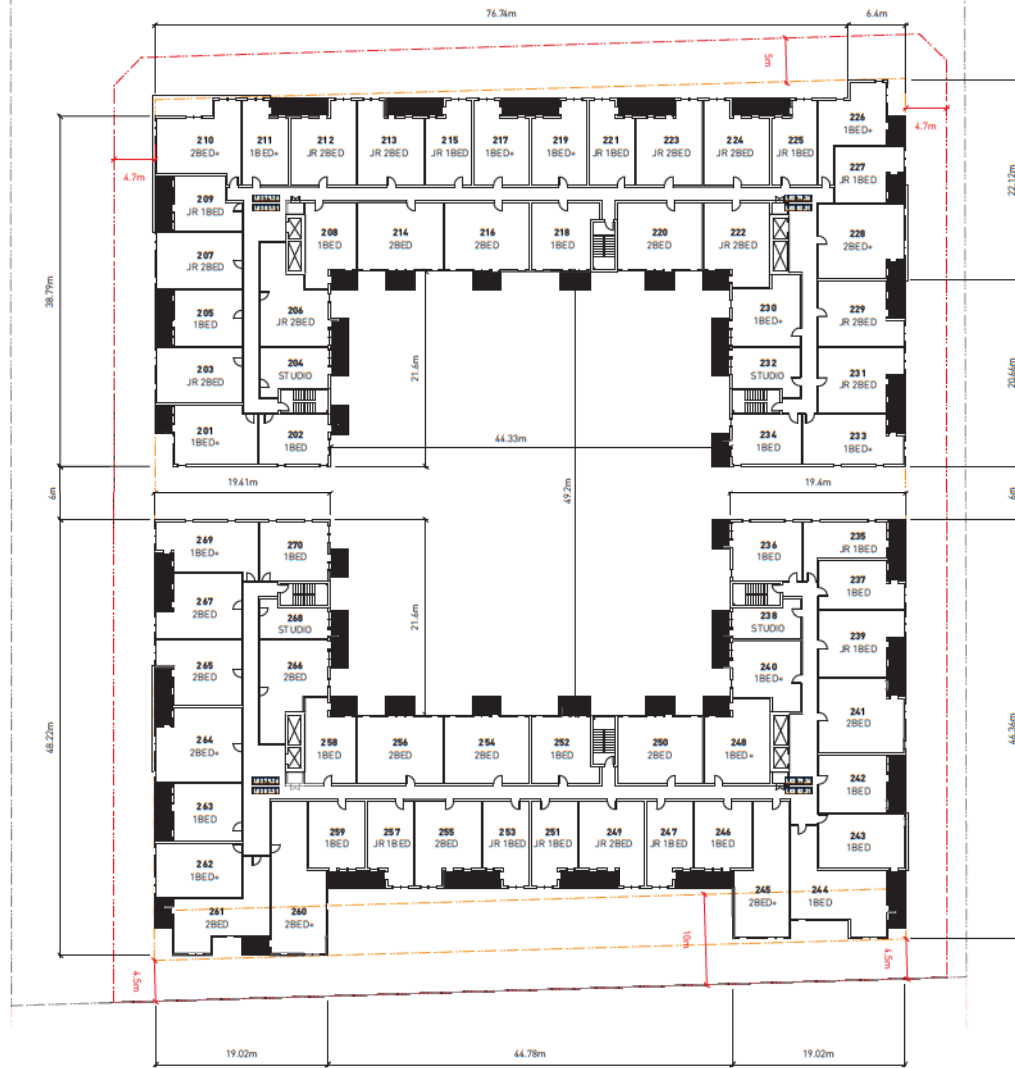
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 L01 PLAN Project 0642
 Sheet
 ADP1.5

73RD STREET

187A STREET

188TH STREET



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 Project: 1862
 L02 + L03 PLAN
 Sheet

ADP1.6

1 LEVEL 02 + 03 PLAN
 ADP1.6 SCALE: 1/32" = 1'-0"

73RD STREET

187A STREET

188TH STREET



1 LEVEL 04 PLAN
 ADP1.7 SCALE: 1/32" = 1'-0"

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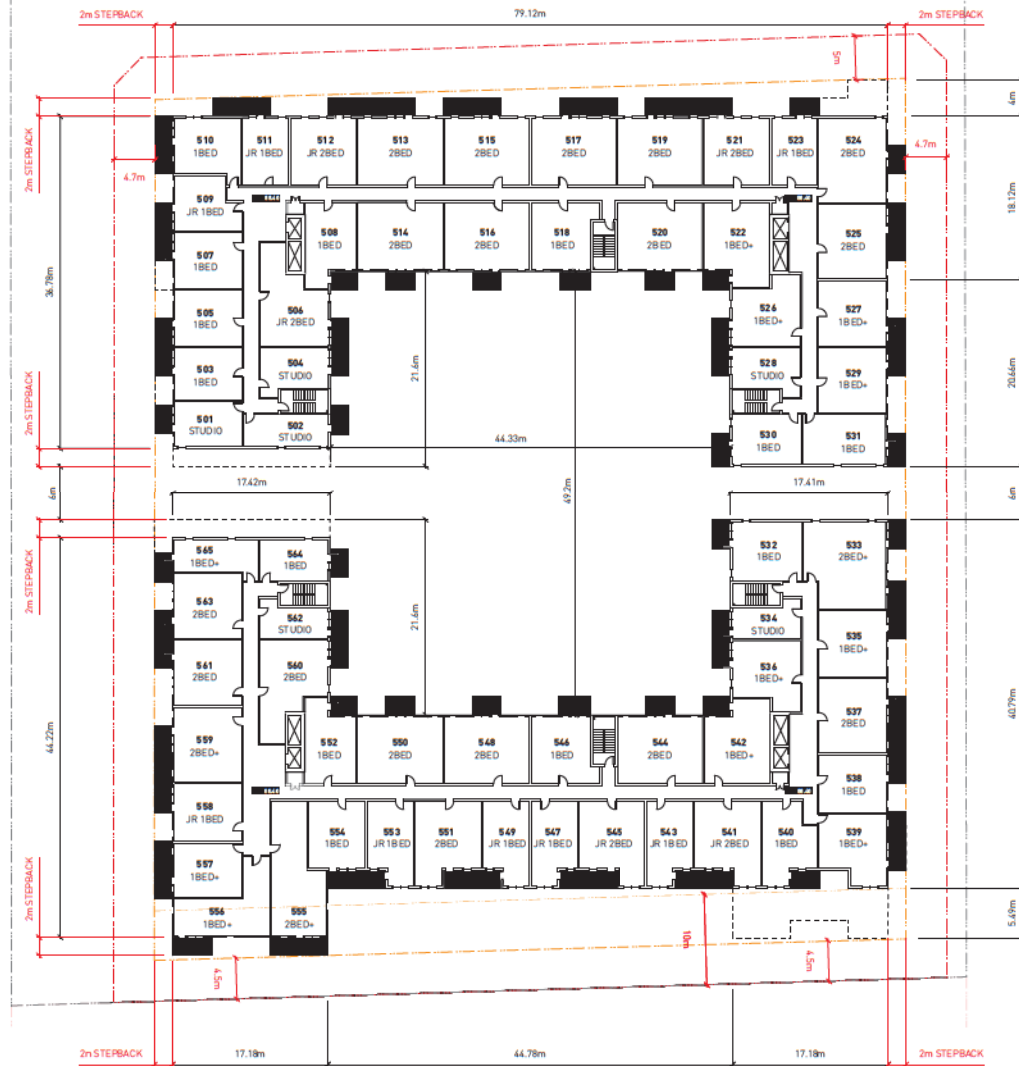
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 L04 PLAN Project 0462
 Sheet

ADP1.7

73RD STREET

187A STREET

188TH STREET



1 LEVEL 05 PLAN
ADP1.8 SCALE: 1/32" = 1'-0"

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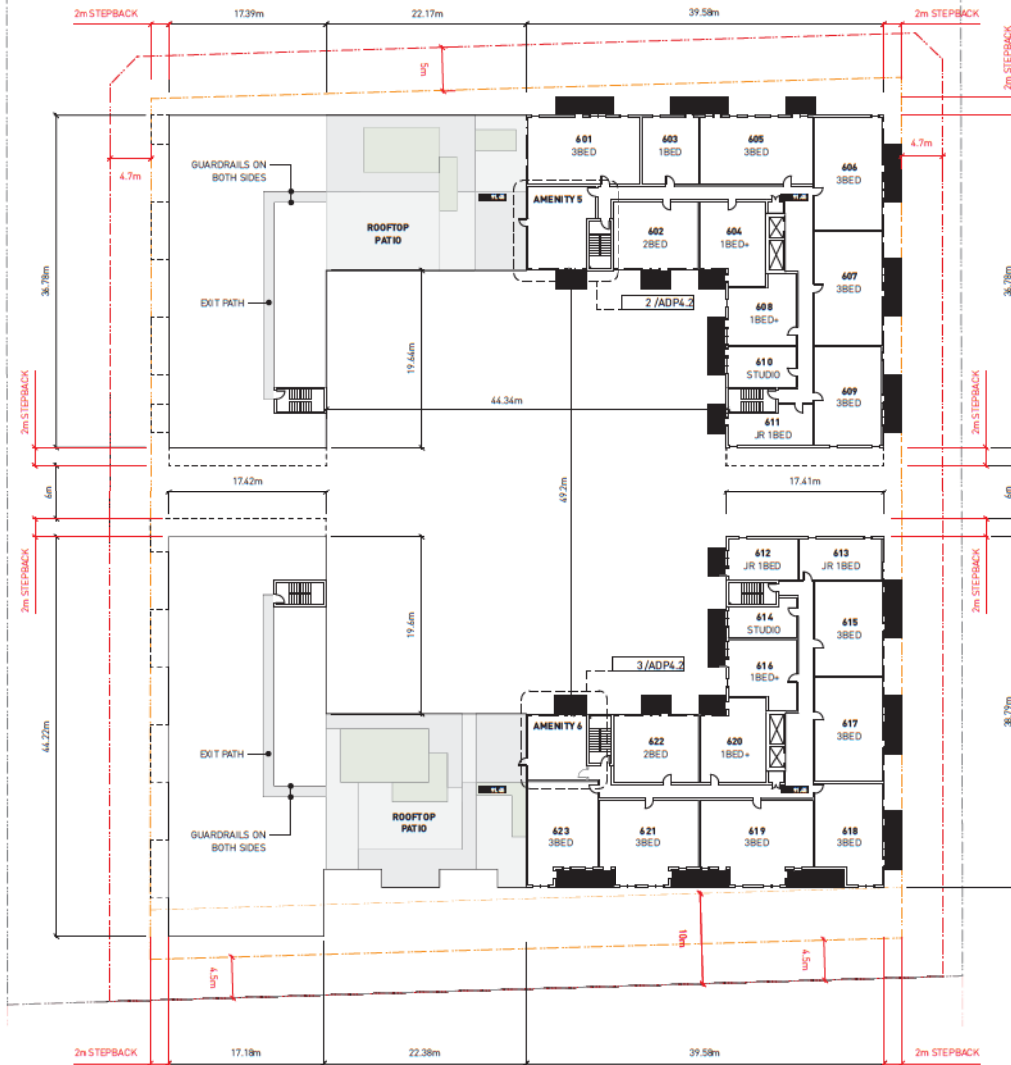
STEEL IX 188TH

7291, 7271, 7251 188th Street, Surrey, BC
Project: 0462
Sheet:
ADP1.8

73RD STREET

187A STREET

188TH STREET



1 LEVEL 06 PLAN
ADP1.9 SCALE: 1/32" = 1'-0"

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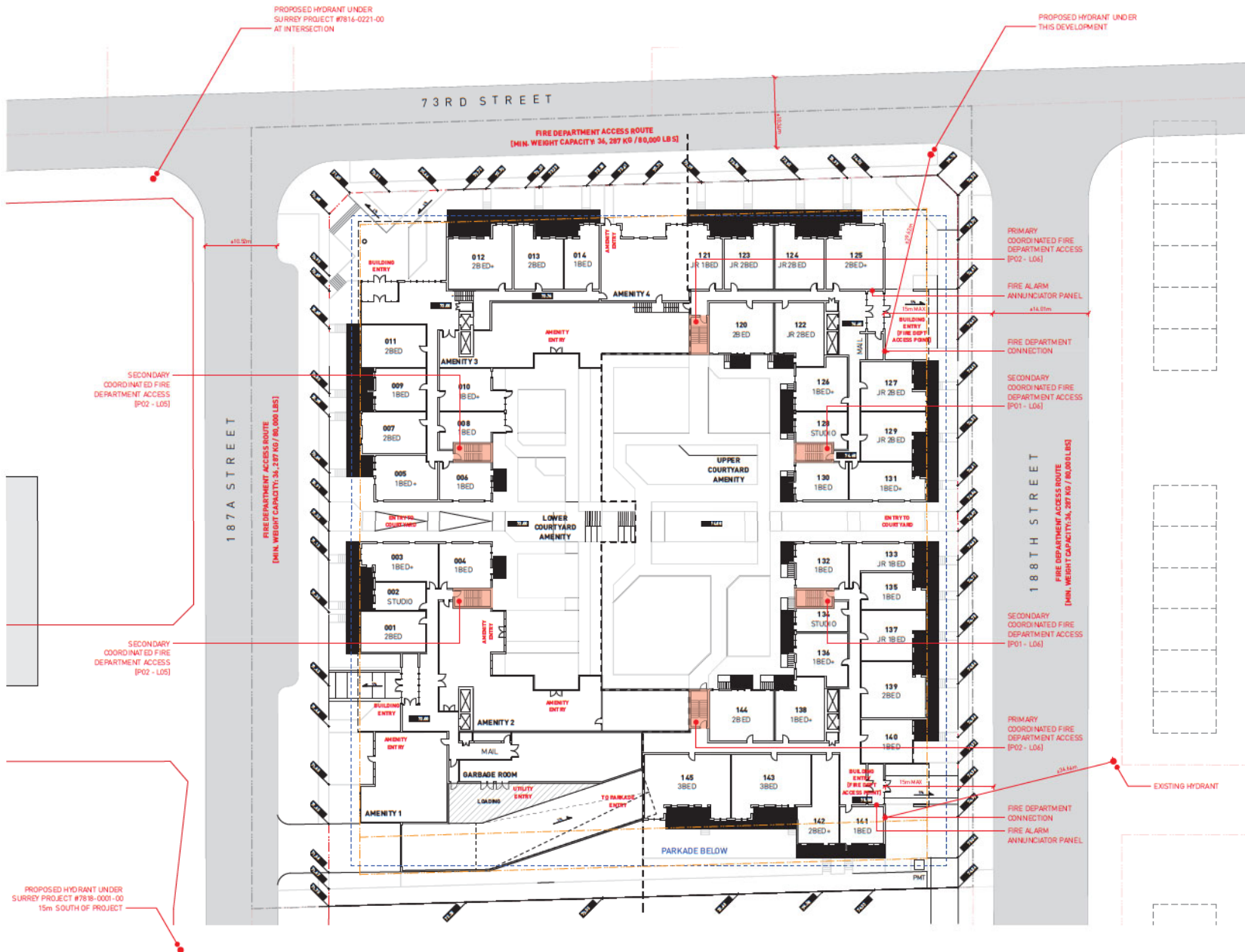


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STEELIX 188TH

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Project: 0642
Sheet: ADP1.9



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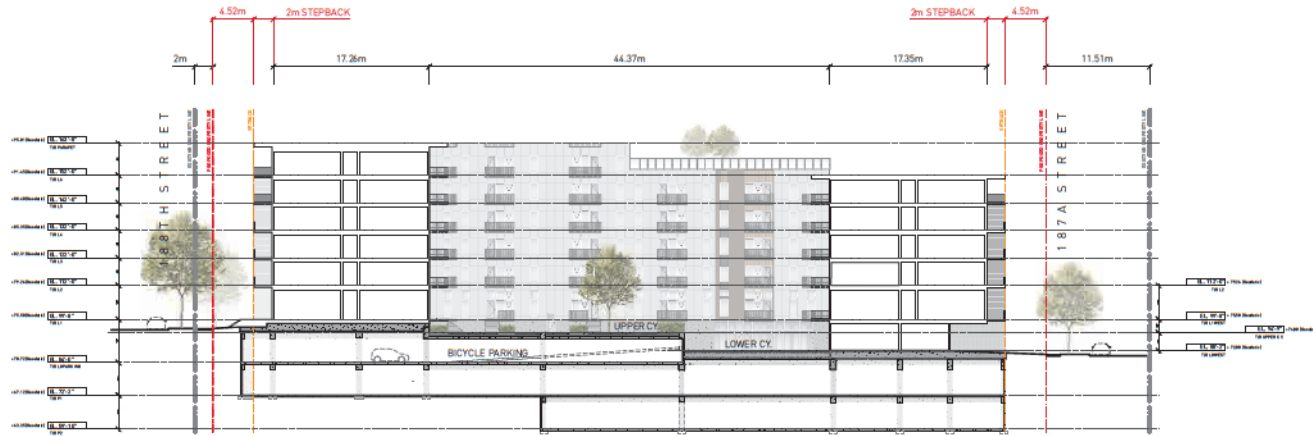
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FIRE DEPARTMENT
SITE PLAN

Project: 0462
Sheet: 04 of 04
ADP1.10

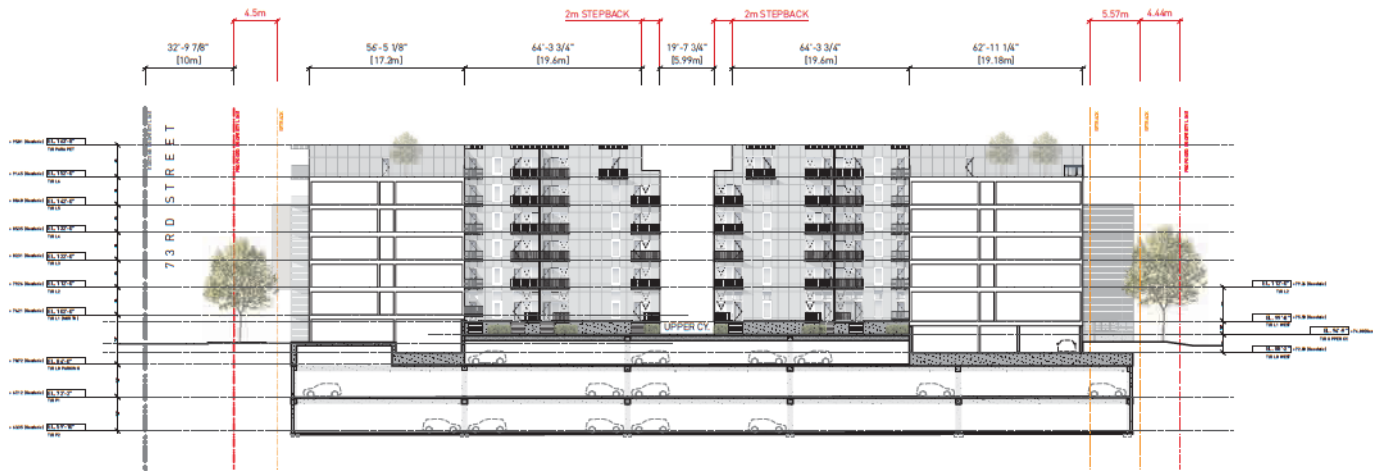
2 LEVEL 00/01 PLAN
ADP1.10 SCALE: 1/32" = 1'-0"

LEGEND

-  CONCRETE COLUMNS AND WALLS
-  RUNNING BOND BRICK CLADDING - CHARCOAL FINISH
-  VERTICAL CEMENTITIOUS PANEL SIDING - CHARCOAL COLOUR
-  SMOOTH CEMENTITIOUS PANEL SIDING - WHITE COLOUR
-  SALVAGE GUARD AND SCREEN - PAINTED METAL AND/OR GLASS FINISH
-  30 GAUGE PERFORATED ALUMINUM SOFFIT - WHITE OR BROWN COLOUR
-  VERTICAL CEMENTITIOUS PANEL SIDING - WOOD FINISH



1 E/W SECTION
ADP3.1 SCALE: 1/32" = 1'-0"



2 N/S SECTION
ADP3.1 SCALE: 1/32" = 1'-0"



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31.01.2025










STEELIX 188TH
ARCHITECTURE INC
266 MCCORMACK AVE
WINGANG MB R3M 0G8
P: 204.480.8421
F: 204.480.8876

2291, 2291, 2291 188th Street, Surrey, BC
SITE SECTIONS Project: 0462
Sheet:

ADP3.1

LEGEND

-  CONCRETE COLUMNS AND WALLS
-  RUNNING BOND BRICK CLADDING - CHARCOAL FINISH
-  VERTICAL CEMENTITIOUS PANEL SIDING - CHARCOAL COLOUR
-  SMOOTH CEMENTITIOUS PANEL SIDING - WHITE COLOUR
-  BALCONY GUARD AND SCREEN - PAINTED METAL AND/OR GLASS FINISH
-  30 GAUGE PERFORATED ALUMINUM SOFFIT - WHITE OR BROWN COLOUR
-  VERTICAL CEMENTITIOUS PANEL SIDING - WOOD FINISH

1 Issued for DP 13.01.2025

Drawn By: L.R./MG
 Checked By: CN./JK
 Printing Date: 31.01.2025

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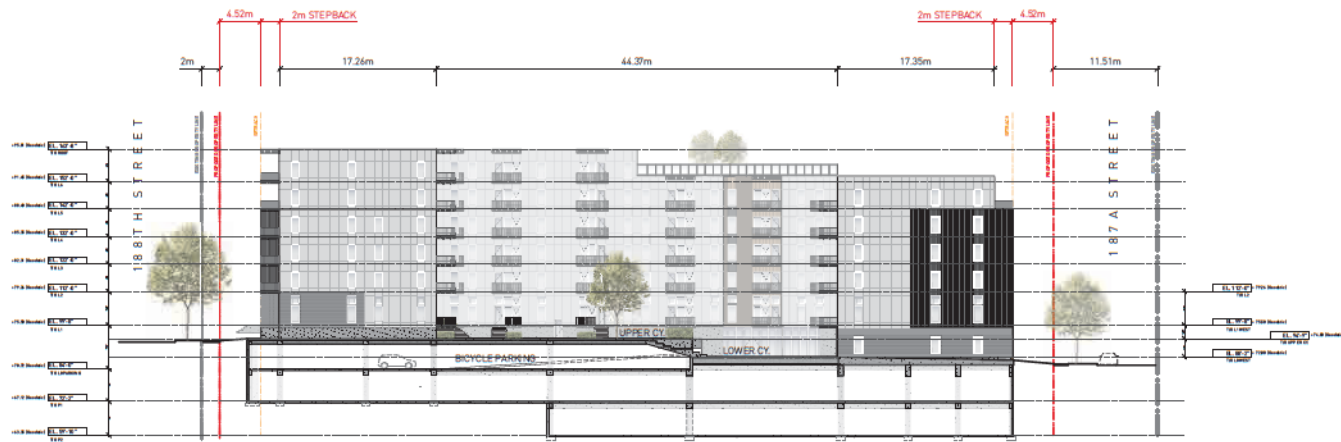


ARCHITECTURE INC
 266 MCCORMACK AVE
 VANCOUVER, BC V6L 3G8
 P: 604.683.8211
 F: 604.683.8976

STEEL IX 188TH

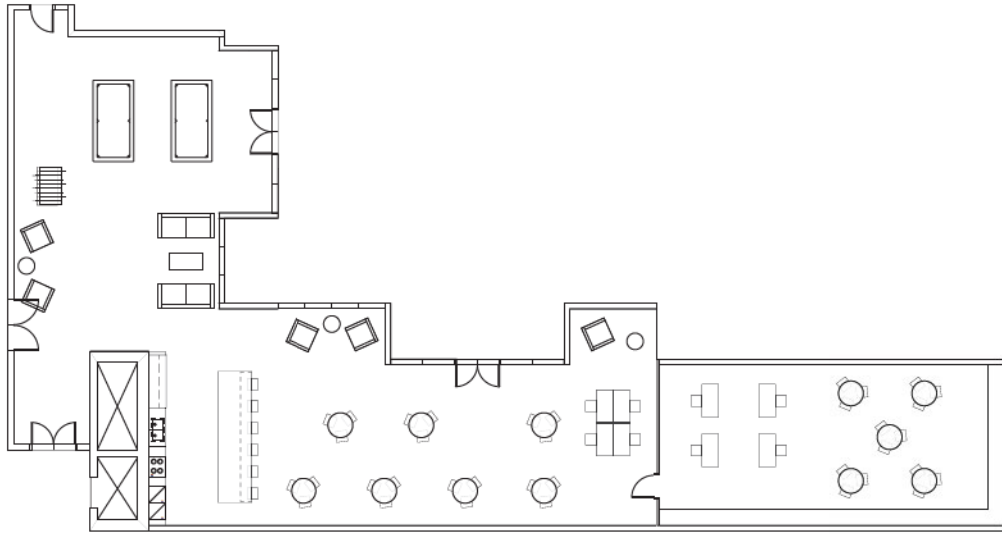
7291, 7271, 7251 188th Street, Surrey, BC
 SITE SECTIONS Project: 0462
 Sheet:

ADP3.2

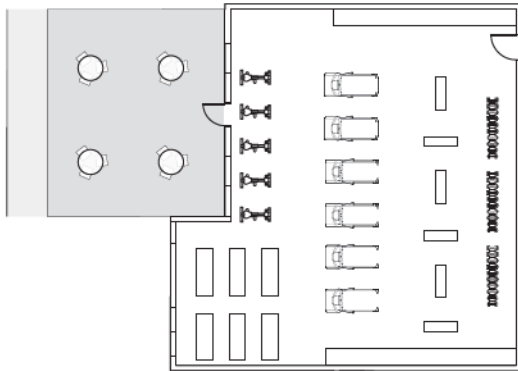


3 E/W SECTION - 187A / 188TH CONNECTION
 ADP3.2 SCALE: 1/32" = 1'-0"





1 COMMUNAL LOUNGE 2 / WORKSHARE 2
ADP4.1 SCALE: 3/32" = 1'-0"



2 FITNESS CENTER
ADP4.1 SCALE: 3/32" = 1'-0"



1 Issued For CP 13.01.2025

Drawn By: L.R./MG
Checked By: CH./JK
Printing Date: 31.01.2025

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206 MCCORMICK AVE
WILLOWDALE, ONTARIO
P: 296.680.8421
F: 296.680.8976

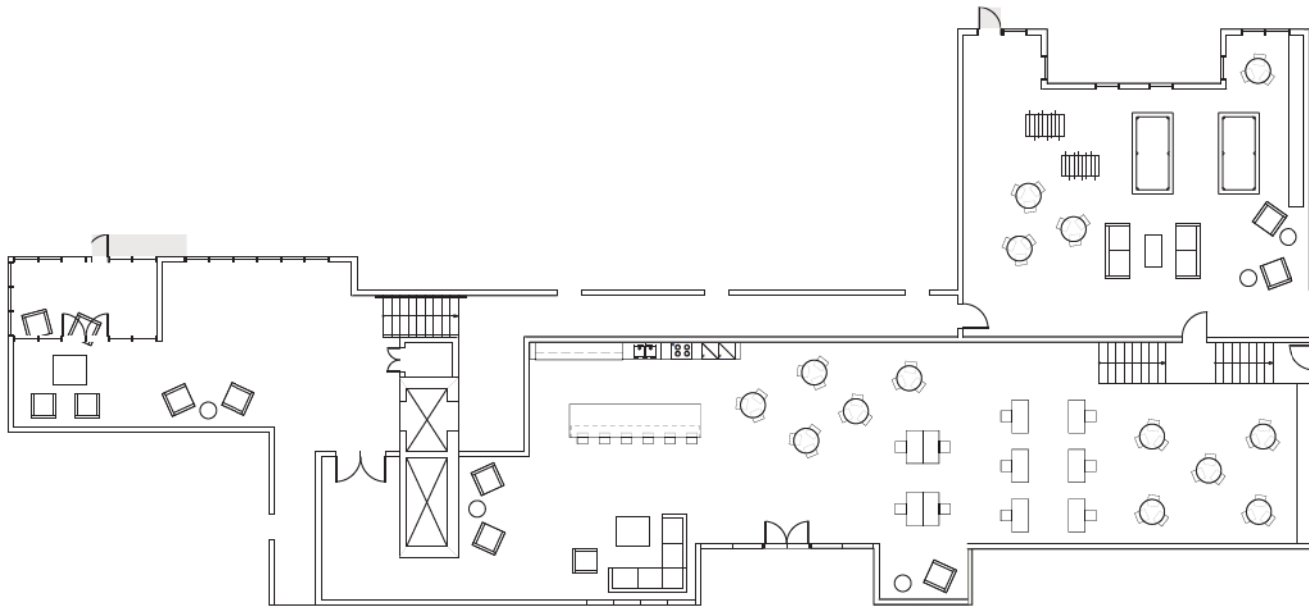
STEELIX 188TH

7291, 7271, 7251 188th Street, Surrey, BC

AMENITY PLANS Project 0442

Sheet

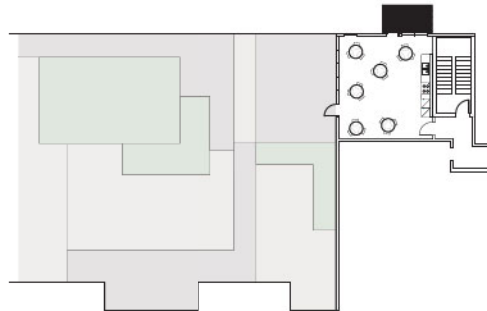
ADP4.1



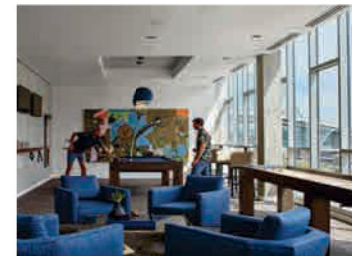
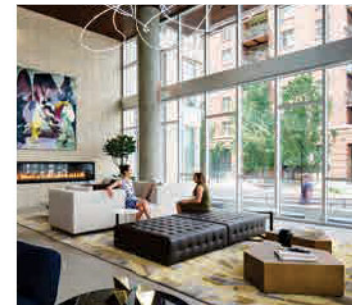
1 COMMUNAL LOUNGE 1 / WORKSHARE 1
ADP4.2 SCALE: 3/32" = 1'-0"



2 ROOFTOP LOUNGE NORTH
ADP4.2 SCALE: 1" = 20'-0"



3 ROOFTOP LOUNGE SOUTH
ADP4.2 SCALE: 1" = 20'-0"



1 Issued for CP 13.01.2025

Drawn By: L/R/MS
Checked By: CN/Z/K
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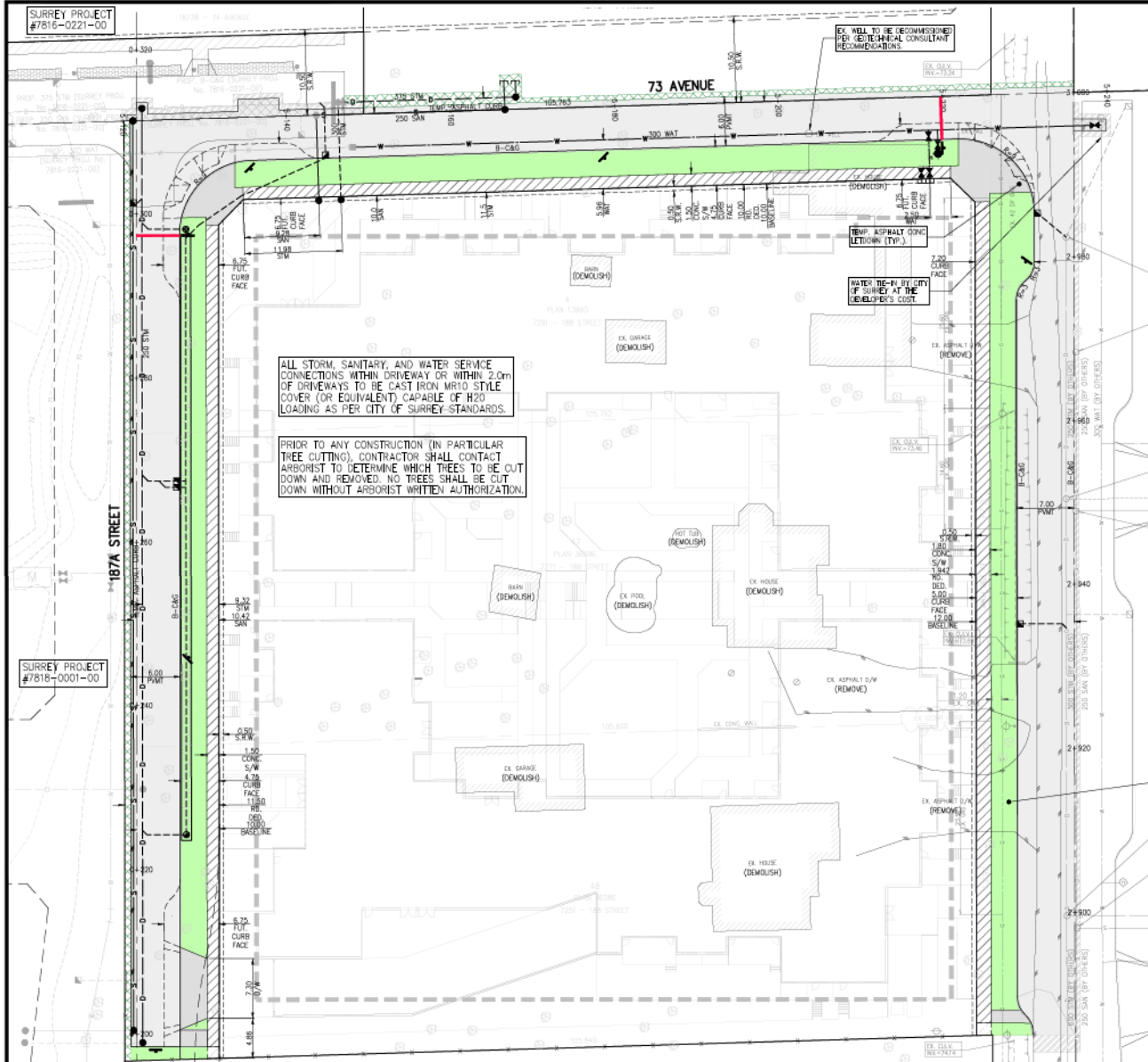


31.01.2025



STEELIX 188TH
ARCHITECTURE INC
266 MCCORMACK AVE
WILLOW GROVE BLDG
P: 204.680.8421
F: 204.680.8876

7291, 7291, 7291 188th Street, Surrey, BC
Project: 0462
Sheet:
ADP4.2



LEGEND

- NEW ASPHALT PAVEMENT AS PER GEOTECHNICAL ENGINEER RECOMMENDATIONS (BY DEVELOPER'S CONTRACTOR)
- MILL AND REPAVE EXISTING PAVEMENT AS REQUIRED (BY DEVELOPER'S CONTRACTOR)
- PAVEMENT RESTORATION TO CITY OF SURREY STD S30-G.2 TO G.5 (TYP.)
- MIN. 450mm TOPSOIL AND SOD TO SURREY STD (TYP.)
- REINSTATE DISTURBED BOLLIVARD WITH MIN. 450mm TOPSOIL AND SOD (TYP.)
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RETAINED w/ TREE ROOT ZONE
- TREE PROTECTION BARRIRED FENCE

NOTES:

- ALL DIMENSIONS ARE METRIC UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REINSTATE ALL DISTURBED AREAS TO EXISTING CITY OF SURREY STANDARDS.
- ALL NEW SERVICE CONNECTIONS SHALL CONFORM TO CURRENT CITY OF SURREY STANDARDS.
- ASPHALT PAVEMENT CUTS AND PATCHES SHALL CONFORM TO CURRENT CITY OF SURREY STANDARDS.
- ALL EXISTING UNDERGROUND WORKS AND SERVICES SHALL BE HEAVILY PROTECTED. SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL SERVICES. SHALL BE HEAVILY PROTECTED. SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL SERVICES. SHALL BE HEAVILY PROTECTED. SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL SERVICES.
- CONTRACTOR SHALL REPLACE ANY NATIVE BACKFILL OVER EXISTING MARKS WITH IMPORTED GRANULAR BACKFILL.
- ALL NEW ELECTRICAL AND TELECOMMUNICATIONS SERVICE CONNECTIONS TO BE LOCATED UNDERGROUND.
- ALL BOLLIVARD AREAS SHALL BE GRADED BY CONTRACTOR TO CURRENT MAOS AND CITY OF SURREY STANDARDS.
- CONTRACTOR SHALL ADJUST ALL EXISTING RIMS AND COVERS FLUSH WITH NEW SURFACE GRADES (UNLESS NOTED OTHERWISE).
- CONTRACTOR TO TIE IN ALL NEW SURFACE WORKS TO EXISTING SURFACE WORKS FORMING A SMOOTH TRANSITION.
- CONTRACTOR SHALL MAKE ARRANGEMENTS WITH CITY OF SURREY TO INSTALL ALL WATER SERVICES, RE-RIS AND WELLS AND ALL SERVICES ON DRAINAGE, AND ADVISE RUS ENGINEERING'S SITE REVIEWER OF INSTALL DATES.
- ALL EXISTING BUILDINGS, FENCES, DRIVEWAYS, STRUCTURES, POOLS, SEPTIC TANKS AND DISPOSAL PILES ON THE SITE SHALL BE DEMOLISHED AND REPAVED TO PROVIDE A SMOOTH FINISH WITH A 1% SLOPE TO THE STREET. ALL EXISTING DRIVEWAYS SHALL BE DEMOLISHED AND REPAVED TO PROVIDE A SMOOTH FINISH WITH A 1% SLOPE TO THE STREET. ALL EXISTING DRIVEWAYS SHALL BE DEMOLISHED AND REPAVED TO PROVIDE A SMOOTH FINISH WITH A 1% SLOPE TO THE STREET.
- REMOVE ALL TOPSOIL AND UNSTABLE MATERIAL WITHIN ROAD DEGRADATION AND DEPOSE OFFSITE.
- CONTRACTOR SHALL PREVENT RELEASE OF SEDIMENT LOADED WATER TO ANY OTHER WATER COURSE OR STREAM. ALL EXISTING WATER COURSES OR STREAMS SHALL BE PROTECTED. PREVENTIVE MEASURES INCLUDE (BUT ARE NOT LIMITED TO):
 - CONSTRUCTION OF SHALES c/w SILT FENCES AT DOWNSLOPE
 - SILT FENCES REQUIRED IN ALL CATCHMENTS THAT MAY COLLECT STREET SEWERAGE. TO BE PROVIDED.
 - CONSTRUCTION OF SILT FENCES REGULARLY.
 - ALL SILT SHALL BE SAVED IMMEDIATELY AFTER.
 - CONTRACTOR SHALL MAKE ALL EFFORTS TO PERFORM SITE STABILIZATION AND EROSION CONTROL ON EXPOSED SURFACES AND PERFORM CONSTRUCTION DURING DRY WEATHER.
- a) NEW STORM CONNECTION SHALL BE 150mm PVC AT MIN. 2% SLOPE TO THE STREET. b) NEW SANITARY CONNECTION SHALL BE TOPSOIL AND SOD TO CITY OF SURREY STANDARDS. c) NEW WATER CONNECTION SHALL BE TOPSOIL AND SOD TO CITY OF SURREY STANDARDS.
- ALL CATCHBAIN (CB) LEAVES TO BE 200mm AT MIN. 1% SLOPE.

PARK & TREE RETENTION NOTES:

- PARKS TECH TO BE LIMITED TO PRE-CONSTRUCTION MEETING CONTACT WITH THE CITY OF SURREY FOR AT 091-501-5888 TO MAKE THE NECESSARY ARRANGEMENTS.
- PRIOR TO CONSTRUCTION, TEMPORARY PARKS BARRIERS (200-3000S) SHALL BE INSTALLED AND ACCEPTED BY PARKS. ALL EXISTING BOLLIVARD TREES TO BE RETAINED FROM TO LAND CLEARING. FENCING SHALL BE INSTALLED TO PROTECT ALL EXISTING TREES. TECH TO MAKE THE NECESSARY ARRANGEMENTS.
- NO GRADE CHANGES PERMITTED INSIDE TREE PROTECTION ZONE.
- ANY WORK WITHIN THE CRITICAL ROOT ZONE OF ANY CITY TREES MUST BE REVIEWED BY CITY TREES PRIOR TO ANY PROCEEDING. ALL EXISTING TREES TO BE RETAINED FROM TO LAND CLEARING. FENCING SHALL BE INSTALLED TO PROTECT ALL EXISTING TREES. TECH TO MAKE THE NECESSARY ARRANGEMENTS.
- NO TREES OR VEGETATION ARE TO BE REMOVED FROM FUTURE OR EXISTING PARKLAND WITHOUT PRE-APPROVAL BY PARKS.
- PARKS TO INSPECT PARKLAND INTERFACE THROUGH LAND DEVELOPER'S FINAL SUBMISSIONS.

TRAFFIC MANAGEMENT PLAN

- A TRAFFIC MANAGEMENT PLAN WILL BE REQUIRED FOR WORK ON 188 STREET AND COLLECTOR ROAD. A TRAFFIC MANAGEMENT PLAN MUST BE SUBMITTED TO THE CITY OF SURREY FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION. THE TRAFFIC OPERATIONS SECTION OF THE ENGINEERING DEPARTMENT SHALL REVIEW THE PLAN.
- THE DEVELOPER'S CONTRACTOR SHALL COMPLETE AND OBTAIN APPROVAL FROM THE SURREY TRAFFIC OPERATIONS SECTION UNTIL APPROVAL HAS BEEN OBTAINED FROM THE TRAFFIC OPERATIONS SECTION. THE TRAFFIC OPERATIONS SECTION SHALL CONDUCT A PRE-CONSTRUCTION MEETING OR ISSUE AN ORDER FOR WORKS AND SERVICES.

LEGAL ENCUMBRANCES

SUBMISSION PLAN INCLUDING:

- 1.50M WIDE ROAD DEGRADATION ALONG 188 STREET FRONTAGE
- 1.00M WIDE ROAD DEGRADATION ALONG 73 AVENUE FRONTAGE
- 1.10M WIDE ROAD DEGRADATION ALONG 187A STREET FRONTAGE

2.00M WIDE S/W ALONG 188 STREET, 73 AVENUE, AND 187A STREET FOR UTILITY AND GENERAL MAINTENANCE.

RESTRICTIVE COVENANT FOR ONGOING SUSTAINABLE DRAINAGE WORKS PER CLAYTON ISMP:

- 450mm TRICK TRAP ASSIGNED TOPSOIL ON ALL REMOVED AREAS
- 40% LOT INFILTRATION AREA EQUAL OR GREATER THAN 10% OF LOT AREA
- RESTRICT POST-DEVELOPMENT FLOWS TO PRE-DEVELOPMENT FLOWS

CASH-IN-LIEU

- REQUIRED TO PROVIDE CASH-IN-LIEU FOR REMOVAL OF TEMP ASPHALT DRIVEWAY, TEMP ASPHALT LEADWAYS, CONSTRUCTION OF CONCRETE BOLLIVARD, CONSTRUCTION OF CONCRETE LEADWAYS, CONSTRUCTION OF ULTIMATE CONCRETE CURB BOLLIVARD AND BOLLIVARD RESTORATION AT INTERSECTIONS FRONTING THE SITE
- REQUIRED TO PROVIDE CASH-IN-LIEU FOR REMOVAL OF TEMP CURB AND ASPHALT DRIVEWAY, ULTIMATE CURB BOLLIVARD AND DRIVEWAY RESTORATION FOR 187A STREET

SCALE: 1:250

LEGAL DESCRIPTION: LOT 2 PLAN 3380, LOTS 47 & 48 PLAN 3036, SECTION 21, TOWNSHIP 8 NAD

REV	DATE	ISSUED FOR	BY
1	02/27/24	ISSUED FOR COORDINATION	JK
2	03/27/24	ISSUED FOR COORDINATION	JK
3	04/19/24	ISSUED FOR PROJECT SCOPING SUBMISSION	JK
4	04/19/24	ADD CURB BOLLIVARD AND REPAVE ROAD WIDTH	EY

PRELIMINARY

NOT FOR CONSTRUCTION

CONSULTANT

Hub Engineering Inc.
Engineering and Development Consultants
EGBC Permit to Practice Number: 1005404

Suite 210, 10992 - 76 Avenue, Surrey, B.C. V3W 2V6
Tel: 604-572-4328 | Fax: 604-501-1625 | mail@hub-inc.com
www.hub-inc.com



CLIENT

1168836 B.C. LTD.
14630 - 66 AVENUE, SURREY, B.C.

TITLE

KEY PLAN
7251/7271/7291 - 188 STREET

SCALE: 1:250

DATE

2024-09-23

CONSULTANT PROJ. NO.

21048

DATE

2024-09-23

REV.

3

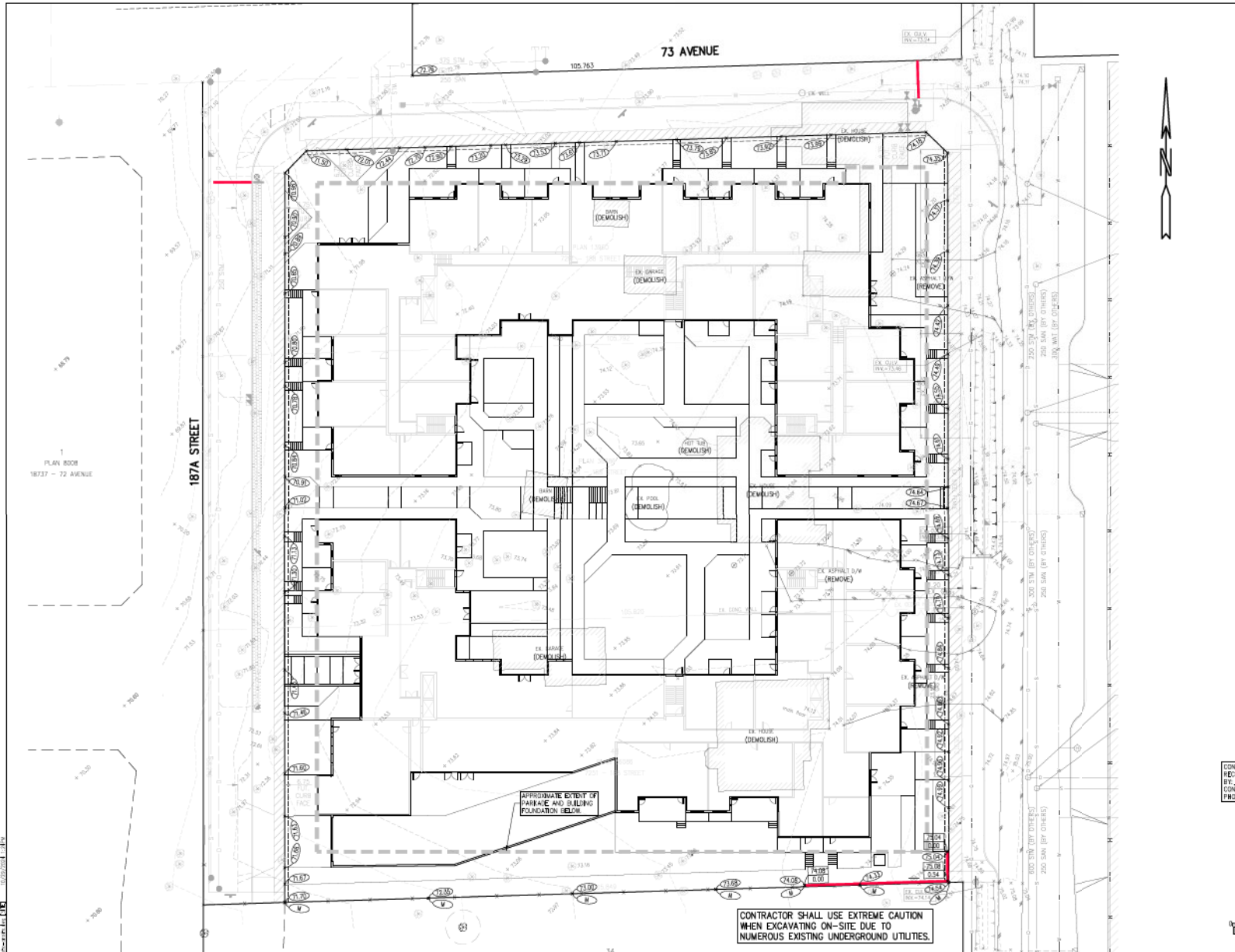
SURREY PROJECT NUMBER:

7821-0200-00

DRAWING TITLE:

KEY PLAN

DESTROY ALL PRINTS BEARING PREVIOUS NUMBER



ON-SITE SITE GRADING LEGEND

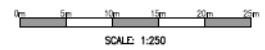
- EXISTING GROUND SURFACE ELEVATION
- EXISTING GROUND SURFACE CONTOUR ELEVATION
- NEW CATCHBASIN TO MINCD STANDARD S11 WITH CORNER IRON FRAME & GRATE 2/4" ALUMINUM GRATING HEAD BY 150MM DIA. OUTLET PIPE
- EXISTING GROUND SURFACE ELEVATION
- PROPOSED FINISHED PAVEMENT/SURFACE ELEVATION
- MEET EXISTING PAVEMENT/GROUND SURFACE ELEVATION
- PROPOSED FINISHED TOP OF RETAINING WALL ELEVATION
- PROPOSED HEIGHT OF RETAINING WALL
- PROPOSED PAVED AREA AS PER GEOTECHNICAL CONSULTANT'S REQUIREMENTS
- PROPOSED ASPHALT PAVEMENT CUT & PATCH AS PER MINCD AND GEOTECHNICAL CONSULTANT'S REQUIREMENTS
- PROPOSED CONCRETE AREA AS PER GEOTECHNICAL LANDSCAPE AND ARCHITECTURAL CONSULTANT'S REQUIREMENTS
- PROPOSED DECORATIVE FINISHES TO LANDSCAPE ARCHITECTURAL AND GEOTECHNICAL CONSULTANT'S REQUIREMENTS
- MIN. 450mm TOPSOIL AND SO2 TO SURREY STD (TOP)
- RESTATE DISTURBED BOULEVARD WITH MIN. 450mm TOPSOIL AND SO2 (TOP)
- DEVICES PROPOSED 500mm WIDE x 500mm HIGH CONTINUOUS SPEED BUMP FOR ON-SITE DRAINAGE CONTROL
- PROPOSED RETAINING WALL
- OUTLINE OF UNDERGROUND PARKAGE

- ON-SITE SITE GRADING NOTES:**
1. ALL DIMENSIONS ARE METRIC UNLESS NOTED OTHERWISE
 2. CONTRACTOR SHALL COMPLY WITH ALL NOTES AND SPECIFICATIONS ON THE "ON-SITE NOTES" SHEET
 3. CONTRACTOR SHALL RESTORE ANY AND ALL DISTURBED WORKS TO PRE-CONSTRUCTION CONDITION OR BETTER, AND TO THE SATISFACTION OF THE PROPERTY OWNER(S)
 4. CONTRACTOR SHALL TIE-IN ALL NEW SURFACE WORKS TO EXISTING SURFACE WORKS FORMING A SMOOTH TRANSITION
 5. CONTRACTOR SHALL RESTORE EXISTING PAVEMENT CUT AND PATCHES TO MINCD STANDARDS. INSTEAD NEW ASPHALT PAVEMENT MEETS EXISTING ASPHALT PAVEMENT. CONTRACTOR SHALL PROVIDE A MINIMUM JOINT WIDE x FORM TRUCK ASPHALT WELD AND LAP JOINT
 6. REFER TO ARCHITECTURAL DRAWINGS FOR SITE LAYOUT, BOLLING LAYOUT, LINE PARKING, WHEELWAY GROPS, DRIVEWAYS, WALKWAYS, PATHS, CURB & GUTTES, AND RAMP DETAILS FOR ALL SURFACE MATERIAL SPECIFICATIONS AND LOCATIONS
 7. REFER TO STRUCTURAL AND/OR GEOTECHNICAL DRAWINGS FOR RETAINING WALL DETAILS AND SPECIFICATIONS, CONSTRUCTION, INSPECTING AND IDENTIFICATION OF RETAINING WALLS BY OTHERS
 8. UPON CONSTRUCTION SUBSTANTIAL COMPLETION, THE CONTRACTOR'S SUPERVISORS TO PROVIDE HUB ENGINEERING INC. WITH COMPLETE IDENTIFIED (D.C.L.S. OR P. ENG. SEAL) AS-BUILT INFORMATION FOR THE NEW WORKS AND SERVICES SHOWN ON THIS DRAWING. SUPERVISOR TO COORDINATE WITH HUB ENGINEERING INC. PRIOR TO COMMENCEMENT OF THE AS-BUILT FIELD SURVEY.

CONTRACTOR SHALL COMPLY WITH ALL THE GEOTECHNICAL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT (PREPARED BY: _____) PROJECT # _____ CONTRACT PRICE _____ DIAL _____

PRELIMINARY

NOT FOR CONSTRUCTION



CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXCAVATING ON-SITE, DUE TO NUMEROUS EXISTING UNDERGROUND UTILITIES.

NO.	REVISIONS	DATE	BY	CHKD BY	SCALE
1	ISSUED FOR COORDINATION	OCT 28/24	400	400	1:250
2	ISSUED FOR COORDINATION	OCT 11/24	400	400	1:250
3	ISSUED FOR COORDINATION	JUL 18/24	400	400	1:250
4	ISSUED FOR COORDINATION	APR 06/22	400	400	1:250

Hub Engineering Inc.
Engineering and Development Consultants

212, 12992 - 76 Avenue, Surrey, B.C. V3W 2A6
Tel: 604-572-4328 | Fax: 604-501-1625 | mail@hub-inc.com
www.hub-inc.com

PROJECT: 7251/7271/7291 - 188 STREET SURVEY, B.C.
LOT 2 PLAN 12860, LOTS 47 & 48 PLAN 36088 SE: 27 TORONTO & 800

DATE: Oct 28, 2024
PROJECT: 7821-0200-00
SITE: ON-SITE

LOCATED AT 72 AVENUE & 188 STREET AND HAVING ELEVATION 14.811



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
(Symbol: Dotted pattern)	5.6.7 LD-01	CONCRETE PAVING
(Symbol: Solid grey)	1.2 LD-02	FEATURE PAVERS
(Symbol: Horizontal lines)	4 LD-04	PATIO PAVING
(Symbol: Yellow diagonal lines)	8 LD-01	RUBBER SAFETY SURFACE
(Symbol: Wood grain)	3 LD-02	DECKING
(Symbol: Tree icon)	1.2 LD-01	PROPOSED TREE Refer to tree schedule
(Symbol: Green patches)	3.4 LD-01	SHRUB PLANTING
(Symbol: Green stippled)	500	See landscape notes for type/quantity
(Symbol: Square with circle)	2 LD-03	TABLE AND CHAIRS
(Symbol: Square with cross)	5 LD-03	COMPOST BINS

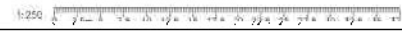
PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT.	CAL	QTY
(Tree symbol)	Acer saccharum 'Sentry' / Sentry Japanese Maple	B&B	8cm cal	18
(Tree symbol)	Fagus sylvatica 'Steyves Gold' / Dainton Gold European Beech	B&B	8 cm cal	25
(Tree symbol)	Magnolia grandiflora 'Vitalis' / Southern Magnolia	B&B	8cm	4
(Tree symbol)	Pantala orientalis 'Vermosa' / Vietnamese Persian Panda	B&B	8 cm cal	2
(Tree symbol)	Picea fascis 'Vandewater's Pyramis' / Vandewater's Pyramis Pine	B&B	8cm cal	5
(Tree symbol)	Quercus rubra / Red Oak	B&B	8cm cal	3
(Tree symbol)	Stewartia pseudocarrallita / Japanese Stewartia	B&B	8cm	5
(Tree symbol)	Styrax japonicus 'Snow Charm' / Snow Charm Japanese Swallow	B&B	8 cm cal	11
(Tree symbol)	Street Tree - to be specified by City of Surrey			25

No.	By	Description	Date
1	PC	Revised for GP	Dec 18, 2024
2	PC	Revised for GP	Oct 28, 2024
3	PC	Revised for GP	Aug 14, 2024
4	PC	Revised for Construction	Aug 02, 2024
5	PC	Revised for GP	May 04, 2023
6	PC	Issued for GP	Apr 12, 2023
7	PC	Issued for GP	Mar 02, 2023
8	PC	Issued for GP	Nov 12, 2021
9	PC	Issued for GP	July 27, 2021
10	BC	Revised	State

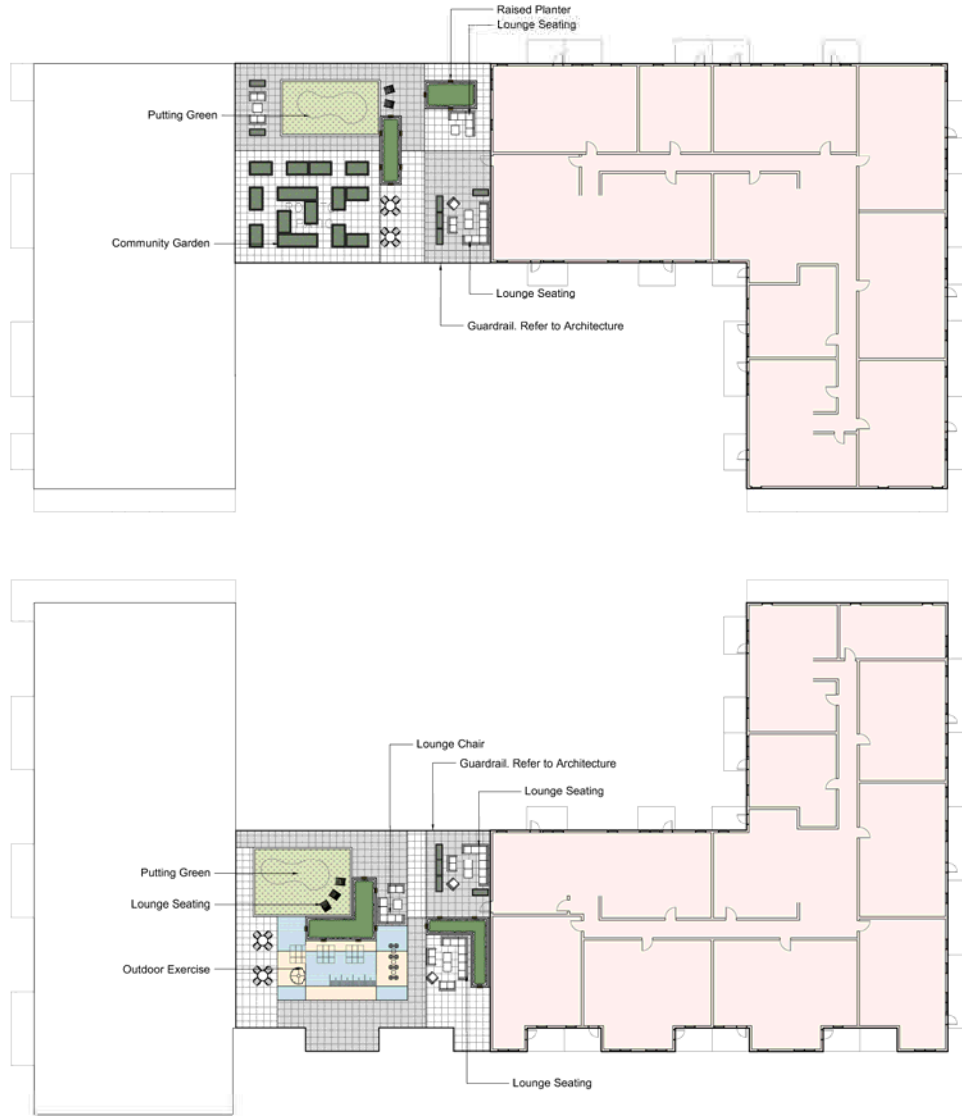
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No.	No.	Description	Date
REVISIONS TABLE FOR SHEET			
Project: Steeles 188th			
Location: 7251, 7271, 7291 188 St, Surrey, BC, V4N 1M9			
Drawn EZ FW	Stamp	[Signature]	
Checked PC	[Signature]		
Approved MVK	Original Sheet Size: 24" X 36"	[Signature]	
Scale: 1:250	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWING AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PERMITTED BY THE CONSULTANT. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS APPROVED BY THE CONSULTANT. CONTRACTOR SHALL MAINTAIN ALL DIMENSIONS SHOWN ON THE DRAWING.		



FOR PROJECT DEVELOPMENT PURPOSES ONLY. NOT FOR CONSTRUCTION. DIMENSIONS SHALL BE AS SHOWN.

FOR QUOTE DEVELOPMENT REF: ACTIVE DP2021-44 14TH STREET, DRWG: STEEL & A UPPER LEVEL SITE PLANNING



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4 LD-04	HYDRAPRESSED SLABS
	8 LD-01	RUBBER SAFETY SURFACE
	1.2 LD-01	PROPOSED TREE Refer to tree schedule
	3.4 LD-01	SHRUB PLANTING
		SOIL See landscape notes for specifications
	2 LD-03	TABLE AND CHAIRS
	5 LD-03	COMPOST BIN



No.	By	Description	Date
9	PC	Re-issued for DP	Dec 19, 2024
8	PC	Re-issued for DP	Oct 30, 2024
7	PC	Issued for DP	Aug 14, 2024
6	PC	Issued for Coordination	Aug 02, 2024
5	PC	Re-issued for DP	May 04, 2022
4	PC	Issued for DP	Apr 12, 2022
3	PC	Issued for DP	Mar 02, 2022
2	PC	Issued for DP	Nov 12, 2021
1	PC	Issued for DP	July 27, 2021

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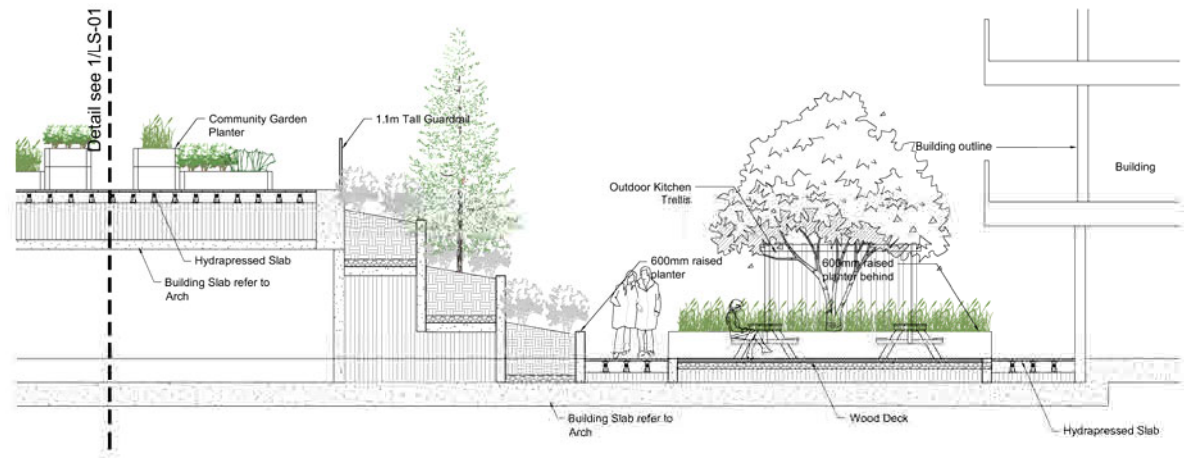
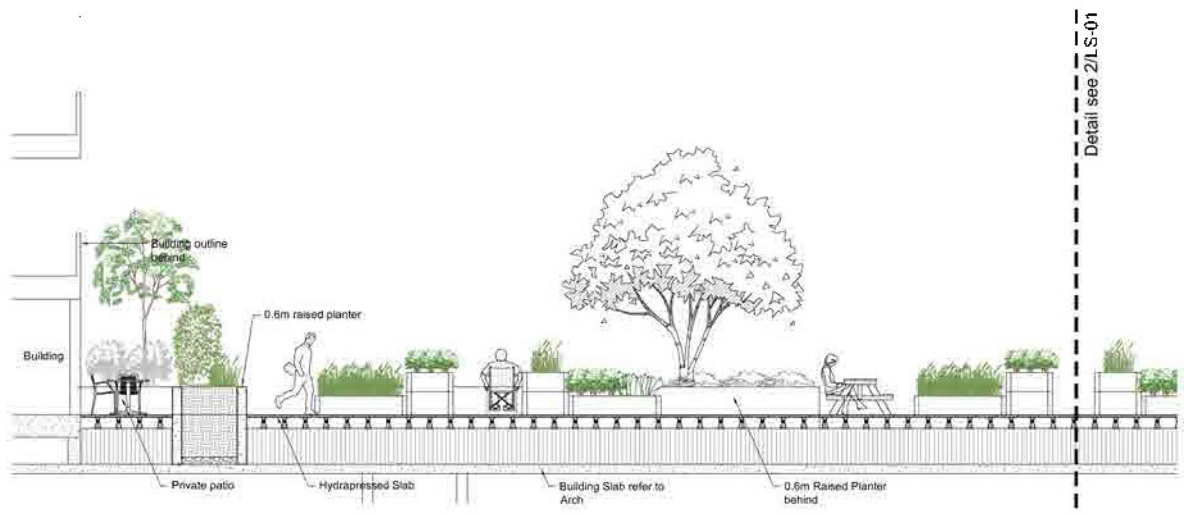
No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project: **Steelx 188th**

Location:
 7251, 7271, 7291 188 St,
 Surrey, BC
 V4N 1M9

Drawn: SZ FW	Stamp:
Checked: PC	
Approved: Mvixz	
Scale: 1:200	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWING AND REPORT ANY DISCREPANCIES TO THE OWNER AT LEAST 10 DAYS BEFORE COMMENCEMENT OF WORK. ALL DIMENSIONS AND MATERIALS SHALL BE THE RESPONSIBILITY OF THE OWNER AND NOT THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



No.	By	Description	Date
4	PC	Issued for DP	Apr 12, 2022
3	PC	Issued for DP	Mar 02, 2022
2	PC	Issued for DP	Nov 12, 2021
1	PC	Issued for DP	July 27, 2021

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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project: Steelex 188th

Location:
 7251, 7271, 7291 188 St,
 Surrey, BC
 V4N 1M9

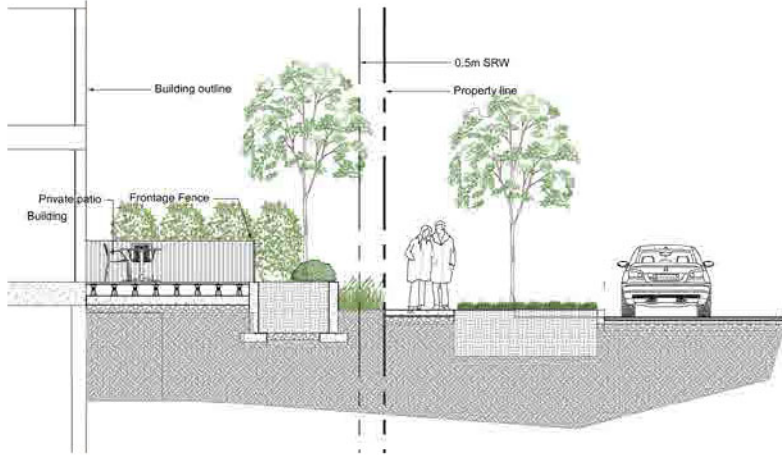
Drawn: SZ FW	Stamp
Checked: PC	
Approved: Mvixz	

Scale: 1:250	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWING AGAINST THE ACTUAL FIELD AND MAKE ANY NECESSARY ADJUSTMENTS TO THE CONTRACT DOCUMENTS. ALL DIMENSIONS AND MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
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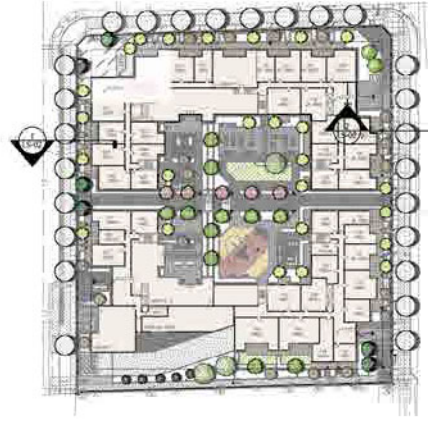
Drawing Title: SECTION
 VDZ Project #: DP2021-44
 Drawing #: LS-01

FOR PROJECT DEVELOPMENT: PRELIMINARY/DP/2021-44 188TH/187TH/186TH/185TH/184TH/183TH/182TH/181ST/180TH SECTION 1/LS-01

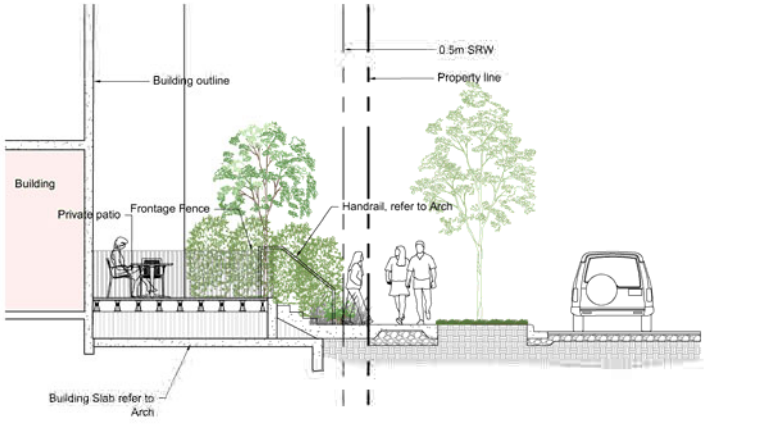
FOR QUOTE DEVELOPMENT PERMITS ACTIVE DP2021-44 14714 STREET, DRWG SHEET LS-02 SECTION 02



SECTION 1
SCALE 1/4"



KEY MAP



SECTION 2
SCALE 1/50"

No.	By	Description	Date
1	MVX	Issue for OP	Jan 22, 2021
2	PC	Issue for OP	Mar 12, 2021
3	PC	Issue for OP	Mar 09, 2022
4	PC	Issue for OP	Apr 12, 2022

No.	By	Description	Date
1	MVX	Issue for OP	Jan 22, 2021
2	PC	Issue for OP	Mar 12, 2021
3	PC	Issue for OP	Mar 09, 2022
4	PC	Issue for OP	Apr 12, 2022

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET
 Project: Steelix 188th
 Location:
 7251, 7271, 7291 188 St,
 Surrey, BC
 V4N 1M9

Drawn: SZ FW	Stamp:
Checked: PC	
Approved: MVX	

Original Sheet Size:
24" x 36"
 Scale:
1:250
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE OWNER AND ARCHITECT IMMEDIATELY. ALL DIMENSIONS AND MATERIALS SHALL BE THE RESPONSIBILITY OF THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

Drawing Title
SECTION



VDZ Project #
DP2021-44

Drawing #
LS-02

INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Director, Land Development, Engineering Department**

DATE: **December 09, 2024**

PROJECT FILE: **7824-0293-00**

RE: **Engineering Requirements**
Location: 7251 188 St

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 1.942m along 188 Street.
- Dedicate 10.0m along 73 Avenue.
 - Dedicate 11.5m along 73 Avenue, if application proceeds before 7816-0221-00/7817-0198-00.
- Dedicate 11.5m along 187A Street.
- Dedicate 3.0m X 3.0m corner cuts at 187A Street and 73 Avenue, 188 Street and 73 Avenue.
- Register 0.5m SRW along all development frontages.

Works and Services

- Construct west side of 188 Street.
- Construct south side 73 Avenue.
- Construct east side of 187A Street.
- Provide 7.3m wide concrete letdown.
- Construct all local drainage systems.
- Construct watermains along 188 Street, 73 Avenue and 187A Street.
- Provide on-lot sustainable drainage features as per the West Clayton NCP and Clayton ISMP.
- Applicant to register restrictive covenants for on-site storm water mitigation features.
- Provide downstream analyses for drainage and sanitary systems, and address as required.
- Provide adequately sized storm, sanitary and water service connection to each lot.



Jeff Pang, P.Eng.
Director, Land Development

RH

Department: **Planning and Demographics**
Date: **January 23, 2025**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **24-0293**

The proposed development of **375** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	59
---	----

Projected Number of Students From This Development In:	
Elementary School =	34
Secondary School =	15
Total Students =	49

Current Enrolment and Capacities:	
Regent Road Elementary	
Enrolment	342
Operating Capacity	612
# of Portables	0
Ecole Salish Secondary	
Enrolment	1560
Operating Capacity	1500
# of Portables	0

Summary of Impact and Commentary

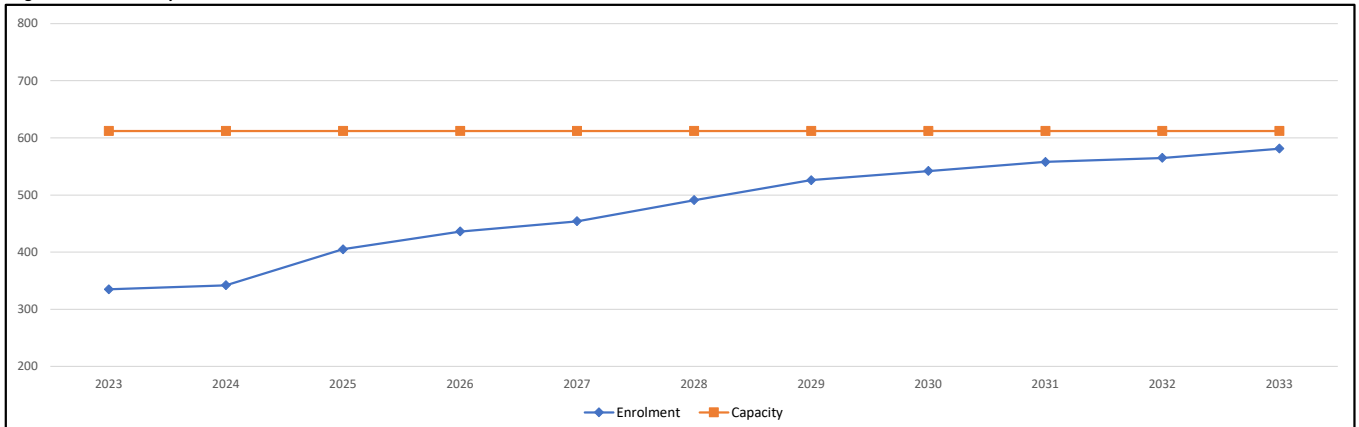
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2024, Regent Road is at 56% capacity. Currently, both Regent Road and Madaugh Elementary that opened in 2021 can handle student population growth over the coming years that is planned for in the current Clayton Plans.

The enrolment projections will need to be updated with the coming changes to the Clayton Corridor plan and the recent changes to Provincial legislation. Future schools will be required to accommodate these changes.

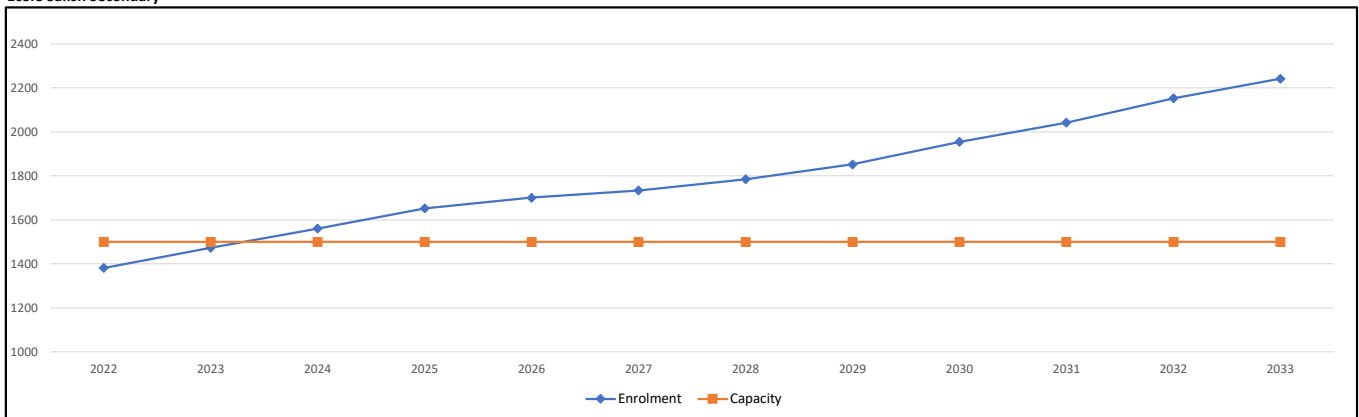
As of September 2024, E'cole Salish is at 104% capacity. This school was built to relieve enrolment pressure at both Lord Tweedsmuir and Clayton Heights Secondary. Salish is projected to continue to grow because of the strong in-migration of new secondary students moving into the community. Future expansions or new capacity will be required in the area.

Regent Road Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Ecole Salish Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

3.0 Findings: Tree Inventory and Risk Assessment

3.1 Tree Inventory

The tree inventory is summarized in Table 1 and the complete tree inventory is given in Appendix 1.

Trees On-site

One-hundred and ten (110) on-site trees were inventoried. Of those, 26 are alder and cottonwood trees. All on-site trees are recommended for removal as part of this project (see Appendix 1 for individual tree inventory information).

Please note that on-site tree #988 and shared tree Os04 are both under 30cm DBH. On-site tree #946 is dead. These trees are not included in our summary counts below.

Trees on City Property

Three (3) City trees were inventoried, all of which are recommended for removal.

Table 1: Summary of the on-site and City tree inventory by species, the recommended number to be retained and removed.

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Poplar (<i>P. bal. tri</i>)	1	1	0
Alder (<i>A. rubra</i>)	25	25	0
Deciduous trees			
Plum (<i>P. cerasifera</i>)	1	1	0
Maple (<i>A. macrophyllum</i>)	10	10	0
Maple (<i>A. palmatum</i>)	4	4	0
Cherry (<i>P. serrulata</i>)	1	1	0
Cherry (<i>P. emarginata</i>)	2	2	0
Birch (<i>B. papyrifera</i>)	6	6	0
Zelkova (<i>Z. serrata</i>)	1	1	0
Laurel (<i>P. laurocerasus</i>)	1	1	0
Coniferous Trees			
Douglas-fir (<i>P. menziesii</i>)	35	35	0
Cedar (<i>T. plicata</i>)	14	14	0
Hemlock (<i>T. heterophylla</i>)	5	5	0
Spruce (<i>P. abies</i>)	4	4	0
Total (excluding Alder and Cottonwood Trees)	84	84	0
Additional Trees in the proposed Open Space/ Riparian Area	-	-	-
Total Replacement Trees Proposed (excluding Boulevard/Riparian Area)		73	
Total Retained and Replacement Trees		73	

4.0 Tree Preservation Summary

Table 2: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number: Unknown
 Site Address: 7251, 7271, 7291 188th Street
 Registered Arborist: Dean Bernasch, ISA Certified Arborist (PN-8676A)

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	110
Protected Trees to be Removed	110
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: -Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 26 X one (1) = 26 -All other Trees Requiring 2 to 1 Replacement Ratio 84 X two (2) = 168	194
Replacement Trees Proposed	73
Replacement Trees in Deficit	121
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	12
Total Replacement Trees Required: -Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 3 X one (1) = 3 -All other Trees Requiring 2 to 1 Replacement Ratio 9 X two (2) = 18	21
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

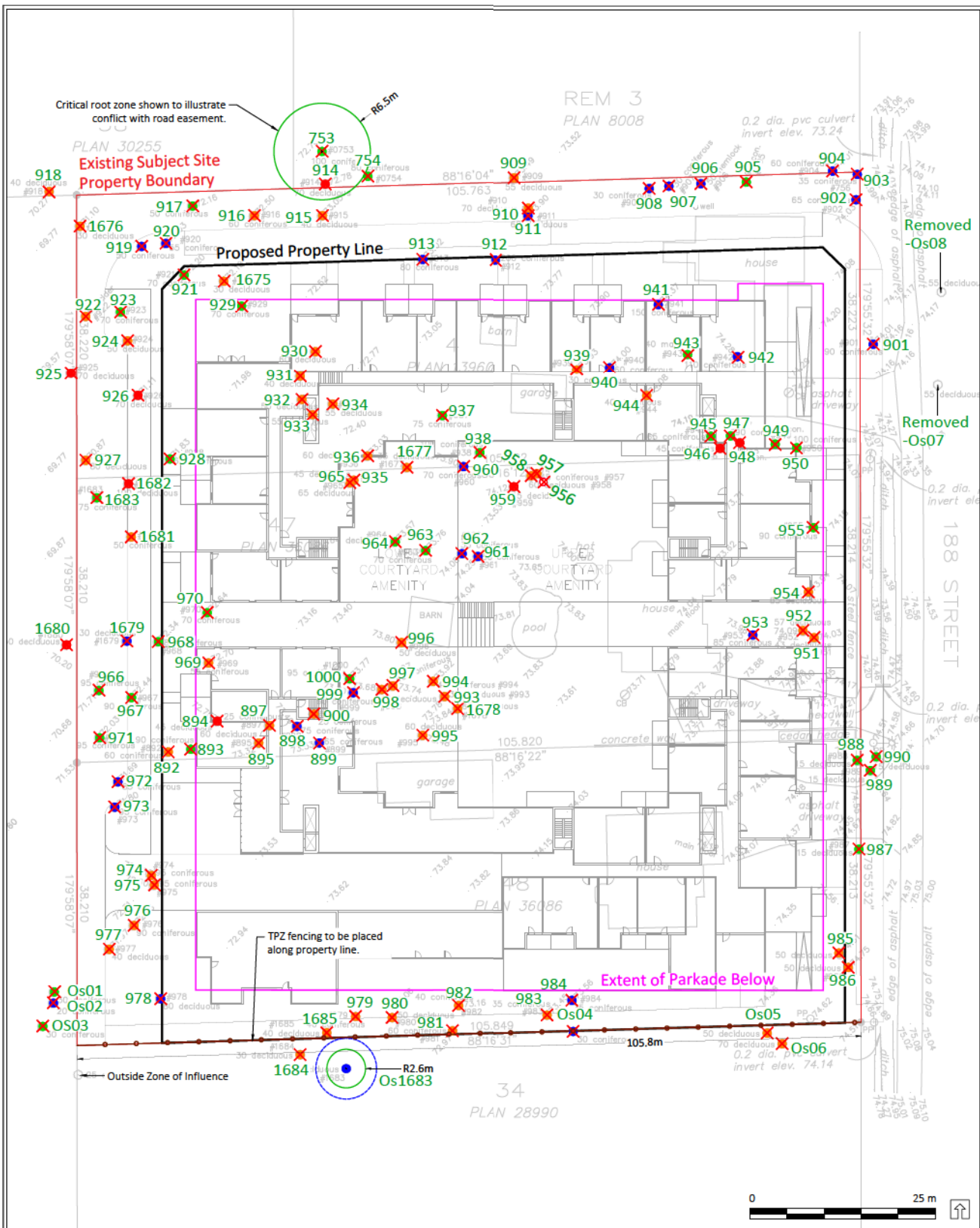
Summary, report and plan prepared and submitted by



Signature of Arborist

October 17, 2024

Date



LEGEND	
	CRITICAL ROOT ZONE
	TREE PROTECTION FENCING
	NO BUILD ZONE
	TREE TO BE REMOVED
	SURVEYED TREE TO BE RETAINED HIGH RETENTION VALUE
	SURVEYED TREE TO BE RETAINED MEDIUM RETENTION VALUE
	SURVEYED TREE TO BE RETAINED LOW RETENTION VALUE
	SURVEYED TREE TO BE RETAINED NIL RETENTION VALUE
	UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED) HIGH RETENTION VALUE
	UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED) MEDIUM RETENTION VALUE
	UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED) LOW RETENTION VALUE
	UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED) NIL RETENTION VALUE

- NOTES**
- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 - All tree protection fencing must be built to the relevant municipal bylaw specifications.
 - The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (½ the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
 - No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
 - The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
 - Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
 - This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and design drawings provided to Diamond Head Consulting.
 - This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and design drawings.

SUR

74 Ave

OCP Amendment from "Commercial" to "Multiple Residential".

Amendment to increase to the maximum density permitted in the "Multiple Residential" designation from "1.5 FAR to 2.9 FAR".

Amend OCP Figure 42: Major Employment Areas by removing the "Commercial" designation for the subject site.

188 St

MR

MR

MR

COM

72 Ave

187A St

COM

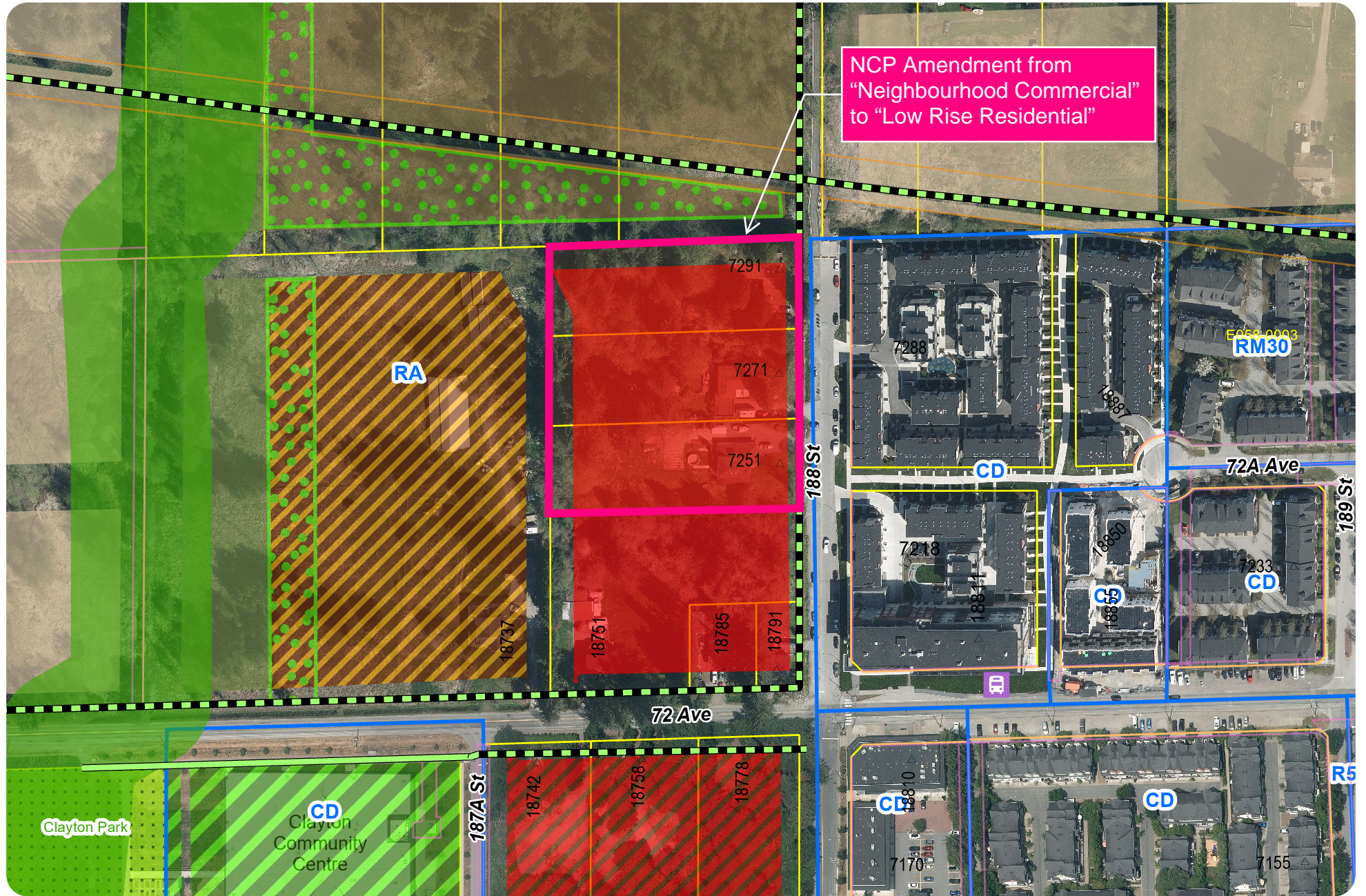
URB



OCP Amendment 24-0293-00

From "Commercial" to "Multiple Residential", an increase to the maximum density permitted in the "Multiple Residential" designation from 1.5 FAR to 2.9 FAR, and amend OCP Figure 42: Major Employment Areas by removing the Commercial designation for the subject site.



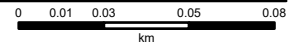


Enter Map Description

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Scale: 1:2,217



Map created on: 2025-02-13